

**MT. CRESTED BUTTE  
DOWNTOWN DEVELOPMENT AUTHORITY  
ARCHITECTURAL AND SITE DESIGN STANDARDS**

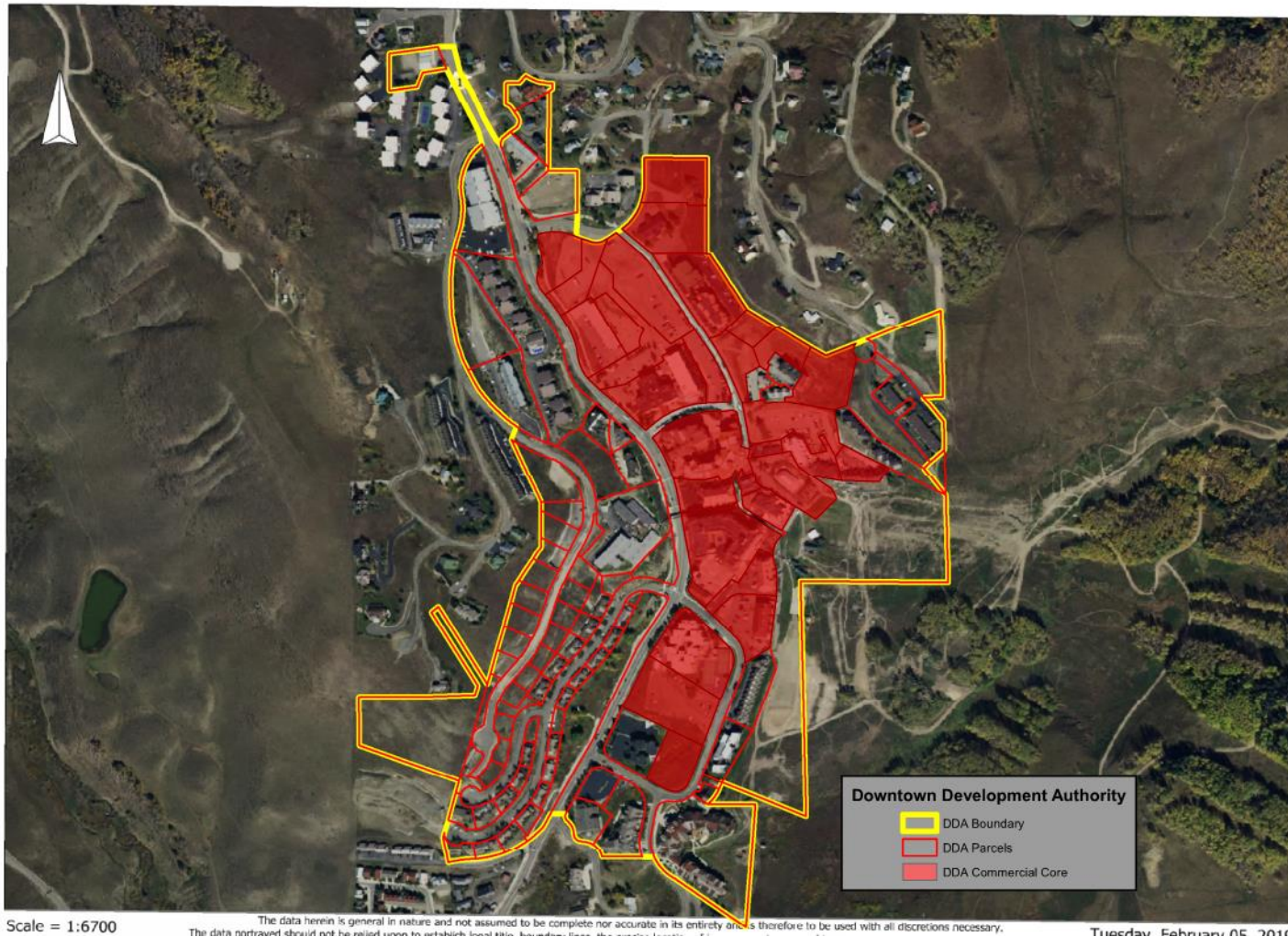
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## TABLE OF CONTENTS

INTRODUCTION .....	1
INTENT .....	3
HOW TO USE THE DESIGN STANDARDS .....	5
<b><u>A. RESIDENTIAL AND COMMERCIAL STRUCTURES</u></b>	
I. BUILDING SITING .....	6
II. ACCESS AND CIRCULATION .....	9
III. ARCHITECTURE .....	14
IV. LANDSCAPING .....	26
V. SNOW STORAGE AND REMOVAL .....	34
VI. LIGHTING .....	35
VII. SIGNAGE .....	39
VIII. PUBLIC ART .....	39
B. CIVIC STRUCTURES.....	40
I. BUILDING SITING.....	40
II. ARCHITECTURE.....	41
III. EXTERIOR LIGHTING.....	51
IV. SIGNAGE.....	51
V. PUBLIC ART.....	52

# Downtown Development Authority 2019



## **INTRODUCTION**

In 1998, the Downtown Development Authority (DDA), with support from the Mt. Crested Butte Town Council, produced the DDA Plan of Development as a guidebook for anticipated growth of commercial and residential development in the town center of Mt. Crested Butte. The DDA Plan of Development promotes the downtown area as the center of business and community activity and encourages development and construction of buildings and public spaces that convey the spirit and image of the town.

Mt. Crested Butte worked with the DDA Guidelines and modified them to create this set of standards. The purpose of these design standards are to ensure that future growth proceeds in a manner consistent with the vision of the community set forth in the Mt. Crested Butte Town Center PUD Guide as approved by the Town of Mt. Crested Butte.

Since 2005, the Mt. Crested Butte Town Center PUD has witnessed major growth development with the addition of Lodge at Mountaineer Square, Conference Center and the Town of Mt. Crested Butte Transit Center. During the past five years there have been a variety of proposals for the north end of the Town Center PUD that incorporated various themes of civic uses; an aquatic center, post office facility and performing arts center. Whereas the original intent of the Architectural and Site Design Standards was to regulate new and existing residential and commercial development and to retain or convey the heritage and traditions of the Crested Butte area, there was little consideration for civic or public structures and uses.

In 2011, the current Mt. Crested Butte Town Center PUD was amended with a supplemental Civic Structure section that will shape the form and function of civic development in the Town Center PUD.

In 2018, The Kelsey Wright Building was developed in the Commercial Core of the base area and was rezoned to PUD. Also, in 2018 the Nordic Inn PUD was approved. These PUD's highlighted areas in the DDA Guidelines that brought an opportunity to revise and update the design standards.

## **INTENT**

Nowhere in Colorado is the essential spirit of the western Rocky Mountain region more evident than in the Gunnison Valley. Here, an immense variety of natural resources and amenities combine with a rich history of ranching and mining to create an inviting and distinctive landscape. Old meets new and natural meets man-made, leaving residents and visitors alike inspired by the environment and cognizant of the impact of man's development patterns.

Throughout the mountains, memorable towns respond to both the immediate vicinity and the larger context of the Gunnison Valley by utilizing architectural details and indigenous materials that speak directly to the natural landscape of the area. Unique projects reach out beyond property lines, allowing the landscape, native vegetation, and views to penetrate the site, and connect visitors, residents, and employees with the local environment. Proposed development must include thoughtful, harmonious site planning concepts that capture the spirit of the mountains and complement the natural landscape.

An opportunity exists to create a vital and dynamic downtown core that has year-round use and appeal. Building type, style, and site planning could stimulate additional development within the DDA Commercial Core. Consequently, development occurring now will greatly impact future development patterns and will be instrumental in creating a distinct impression and style for future generations.

Building siting, architecture and landscape treatment should work harmoniously to advance the goals of the community and the Downtown Development Authority. Visible forms have a direct effect on the overall image and character of a Commercial Core. Buildings should look and feel like they belong to a particular neighborhood and have a direct relationship to their context. Each development and building project should be understood within the context of the neighborhood rather than viewed as an individual object. Developers should acknowledge that it is more important that the built environment express the spirit of Mt. Crested Butte than current trends in modern day architecture. The goal of the standards is to create continuity within the boundaries of the DDA by encouraging site planning and architecture that promotes quality and consistency throughout Mt. Crested Butte.

Architectural, landscape, and civil engineering plans must respond sensitively to the site; imposing buildings, parking "rooms", pedestrian walkways, and access drives will dramatically affect the existing character of the Mt. Crested Butte Commercial Core. New development must be conceived harmoniously in collaboration within the fabric of the existing landscape, ski trails, and transportation master plan. To create a community of lasting beauty and distinction, individual components must be considered an integral piece of a larger whole, fulfilling programmatic needs with an understanding that each building, each pedestrian connection, and each landscape directly impacts the progression of perceptions and events.

The Mt. Crested Butte DDA Design Standards contain information for site planning and architecture. The standards are based on commonly accepted principles of urban design and reflect the goals for Downtown Mt. Crested Butte as set forth in the Land Use and Transportation Plan. The standards provide a basis for making informed decisions regarding new construction and building renovations. Specifically, the standards address building orientation, architecture, construction materials and landscape requirements. The standards provide flexibility in individual building design yet promote a consistent design character and image vital to the economic success of the downtown core.

The Town of Mt. Crested Butte promotes the fundamental concepts associated with sustainable design by encouraging design solutions for minimal environmental impacts, resource conservation, energy conservation, waste reduction and recycled materials.

The Town promotes the use of local, recycled or renewable materials whenever possible. Such materials as compact fluorescent bulbs, low flow toilets and showerheads, set back thermostats and energy efficient appliances shall be specified whenever possible. Sustainable design communicates a shared value to residents, visitors and employees. Every project shall be an opportunity for continuing education of sustainable design ethics and resource issues facing the people of the 21st century.

These original standards have been accepted with some modifications for use by the Mt. Crested Butte Town Center PUD III as this document. This Planned Unit Development includes the lands within the DDA boundary. Modifications include adjustments to previously designated standards or proposed new standards. Original illustrations highlighting design approaches have been removed and replaced with new illustrations from the Mt. Crested Butte Town Center design.

## **HOW TO USE THE DESIGN STANDARDS**

The Mt. Crested Butte Town Center Architectural and Site Design Standards are to be used as a supplement to the Town of Mt. Crested Butte Zoning Ordinance and shall be applied to all lands within the Mt. Crested Butte Town Center PUD.

The Design Standards are categorized as follows:

(R) Requirements: Requirements are not permissive in that they contain language that is not discretionary, such as “shall”, “must” and “will”. Requirements must be satisfied by any plan. If a requirement cannot be satisfied, the plan will be denied. An applicant may seek relief through the variance process, revocable license agreement, or resubmittal.

(P) Presumptions: Some of the standards are presumptions. A standard that is a presumption normally will contain the word “should”. However, it is presumed that the standard will be followed unless the proponent can show that either (1) the intent of the standard can be satisfied in another manner, or (2) the standard should not apply in the particular case in question.

(C) Considerations: Design standards listed as Considerations are issues and concepts that an applicant should consider in preparing a plan. Their omission is not grounds for rejecting a plan, but their inclusion or recognition is encouraged and may assist in overcoming certain presumptions and in gaining acceptance for the plan.

Each standard is followed by a general statement that explains the objective of the standard. The design review process is outlined in the Town of Mt. Crested Butte Zoning Code: Article V, Section 21-299. New illustrations are added to reflect the specific design objectives of the Mt. Crested Butte Town Center PUD III. Standards not specifically addressed in SECTION B. CIVIC STRUCTURES shall defer to SECTION A. RESIDENTIAL AND COMMERCIAL STRUCTURES. Standards not specifically addressed in either SECTION A or B shall defer to Chapter 21, Zoning of the Mt. Crested Butte town code or applicable approved PUD.

## **A. RESIDENTIAL AND COMMERCIAL STRUCTURES**

### **I. BUILDING SITING**

Intent: Each site within the DDA Boundary and Commercial Core (depicted in the map on page 3) should address the unique combination of topography, views, access opportunities, proximity to public transportation, public plazas, and pedestrian corridors. The DDA Boundary should be considered more important than any one building and create memorable, lasting impressions for visitors and convey an image that local residents and property owners can market. Buildings should be interdependent; individual buildings impact the immediate surrounding environment and should be considered neighbors.

Spaces in between buildings and the comfort level of those spaces are a direct result of the siting of individual buildings. Development shall foster thoughtful, responsible site planning that contributes to the image of a cohesive mountain town and complements the existing natural landscape. Siting buildings to respect relationships with existing topography, surrounding structures, pedestrian areas and the mountain backdrop will create a dynamic, safe and appealing built environment.

#### *A. Site Suitability*

R 1. Proposed development including new buildings, primary pedestrian corridors and secondary pedestrian walkways shall create a series of interrelated spaces with direct visual and physical links to established development. Pedestrian connections shall be allowed to evolve as infill development occurs throughout the DDA. However, future development patterns shall complement the DDA Plan of Development and promote pedestrian access throughout the DDA.

P 1. Aspect and solar exposure should be considered in understanding the microclimate associated with any site. Sun charts and topographical

maps should be used to understand seasonal shading patterns and to identify areas in prolonged winter shade.

P 2. A diagram should be generated that illustrates sun and shadow patterns on proposed outdoor vehicular and pedestrian circulation, public gathering areas and adjacent buildings to understand the implications of natural land forms and adjacent buildings on creating winter shade to avoid creating areas in prolonged winter shade. Constant winter shade results in ice buildup, prevents natural snow melt, and creates cold pockets between buildings.

### *B. Setbacks*

R 1. Commercial storefronts shall generally align with adjacent buildings. Alignment of buildings promotes visual continuity that contributes to the character of the street and defines the pedestrian corridors. The relationship of the street, the pedestrian walkways, the service access and the parking areas influences the overall character and image of the place. The setback of a proposed building shall not penetrate the building alignment along an existing street or pedestrian corridor.

R 2. Setbacks shall be per the Mt. Crested Butte Zoning Ordinance Town Code, or associated PUD Guides.

### *C. Building Siting and Orientation*

R 1. Within the DDA Commercial Core, new buildings, building renovations and building additions must acknowledge and respond to the concepts described in the DDA Plan of Development. Building siting in the DDA Commercial Core is critical due to the integrated relationship between the pedestrian corridors and adjacent buildings. **FIGURE 1**

R 2. Outside of the DDA Commercial Core, proposed buildings shall respond to existing topography. This includes the building and landscape, including the earthwork and retaining walls. Each shall be fully integrated with one another. A cohesive site plan must be prepared that visually and functionally integrates proposed development with the



**FIGURE 1: Outdoor seating and dining areas are oriented towards views and southern exposures.**



surrounding site. Natural features of the existing landscape such as existing slope, natural drainages, rock outcroppings, tree stands, and view corridors shall be preserved to the fullest extent possible.

P 1. Building orientation should respond to extremes in winter weather and must be a priority in the final design. Primary concerns are orientation to the sun, staying outside of areas in perpetual winter shade, reducing exposure to high winds, protecting vehicular and pedestrian corridors from the dangers of snow and ice build-up, snow shed, facilitating pedestrian circulation patterns, and snow storage and removal.

#### *D. Lot Coverage*

R 1. Lot Coverage and Densities shall be per Town of Mt. Crested Butte Zoning Code or associated PUD Guides.

#### *E. View Corridors*

R 1. Maintaining view corridors to Crested Butte Mountain first and then to Whetstone Mountain, Mt. Emmons, the Town of Crested Butte, and/or the Maroon Bells Wilderness Area from public spaces shall be a priority and identified and acknowledged in the site planning process. New development shall include opportunities to view the surrounding mountain landscape from pedestrian corridors. Visual connections along the entire length of pedestrian corridors shall be reinforced and maintained. Proposed development shall not project into established sight lines and view corridors when locating outdoor structures, furnishings, landscape and signage.

R 2. Architectural building elements shall not disrupt major view corridors to the surrounding mountains, within primary pedestrian corridors. Dominant architectural elements, such as sculptures, cupolas, porches, and signage shall act as focal points along pedestrian walkways. Such features draw the eye toward the object and help orient people within the framework of the larger community.

P 1. Land located within the Downtown Development Authority boundary can be viewed from surrounding residential development on hillsides and from the ski slopes and therefore, special attention should be given to roof design and roof materials which directly impact what residents and visitors see as they view the community from above.

P 2. Buildings in the South Village will be connected where possible to provide year-round access. The use of arcades or bridge connections is encouraged.

## II. ACCESS AND CIRCULATION

Intent: To minimize the amount of vehicular traffic through the Commercial Core and thus enhance the downtown “walking village” experience for visitors, residents and employees, the automobile must become secondary to the pedestrian. Access drives and parking lots must respond to the topography to minimize the intrusion into the existing landscape and allow for logical pedestrian connections to the DDA Commercial Core and adjacent residential development.

Pedestrian corridors and connections must create dynamic, safe, and appealing environments that leave lasting memories and distinct impressions. Development that functions as an independent, cohesive community must emphasize the pedestrian experience. The automobile should be subservient to the pedestrian, resulting in pedestrian corridors that are lively, animated, and full of activity. A hierarchy of pedestrian connections should provide a sequence of experiences that promotes interaction. Pedestrian corridors should link primary activity centers and the ski slopes, encouraging impromptu gatherings and group activities. Secondary pedestrian walkways should provide direct, logical connections to individual buildings, to parking lots and structures, and primary pedestrian corridors and open spaces. Gothic Road remains the primary access into the Town of Mt. Crested Butte. The approach along Gothic Road into the DDA Commercial Core is a very important first impression.

The arrival into Crested Butte and the winding mountain road leading to

the center of Mt. Crested Butte builds anticipation. Architectural and site features need to be thoughtfully located in relation to this entry road and designed to contribute to the overall arrival sequence. Once in the commercial core, the speed of the car has been reduced and a visitor's first impressions of the town are being molded.

Primary pedestrian corridors are flanked by commercial and residential buildings and encourage leisurely walking, window-shopping and informal gathering. Secondary pedestrian walkways link businesses, parking areas and residential development to primary pedestrian corridors and adjacent development. Tertiary trails are informal connections between buildings and development.

#### A. Automobile Access

R 1. All vehicular driveways from Gothic Road shall provide clearly defined access to parking facilities and visitor check-in points.

#### FIGURE 2

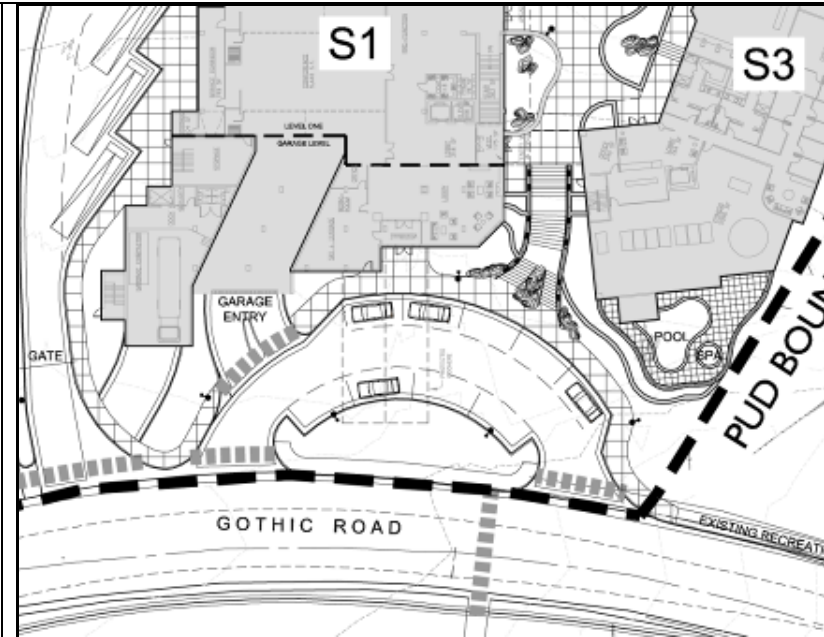
R 2. Shared and private access drives shall be coordinated with existing drives.

R 3. Access drives shall intersect any primary and secondary street at a 90° plus or minus 15° angle.

R 4. Visitor drop-off areas shall be separated from the primary street by paved or landscaped medians. Vertical elements, such as signage and/or landscape materials located within the median shall not impede driver visibility.

R 5. Vehicular access drives shall not exceed 5% slope for the first 20 feet from the primary drive or get a modification approval from the Planning Commission per Section 21-914 of the Mt. Crested Butte Town Code

P 1. Vehicular access drives should minimize crossing other drives,



**FIGURE 2: Entrances from Gothic Road address pedestrian access, fire, service and transit center uses. Gates prevent unauthorized access to Transit Center Facilities. Garage entries are integrated into building structures.**

pedestrian corridors, bicycle trails, or pedestrian plazas.

P 2. Loading docks and service areas should not conflict with established pedestrian corridors and walkways.

C 1. Garage entrances should be located to the south or west for maximum solar exposure and to prevent ice buildup to the extent possible without jeopardizing the siting of public plazas, pedestrian corridors, or other exterior public areas that would benefit from a south or west solar exposure. This condition may be waived if entrances are snow-melted.

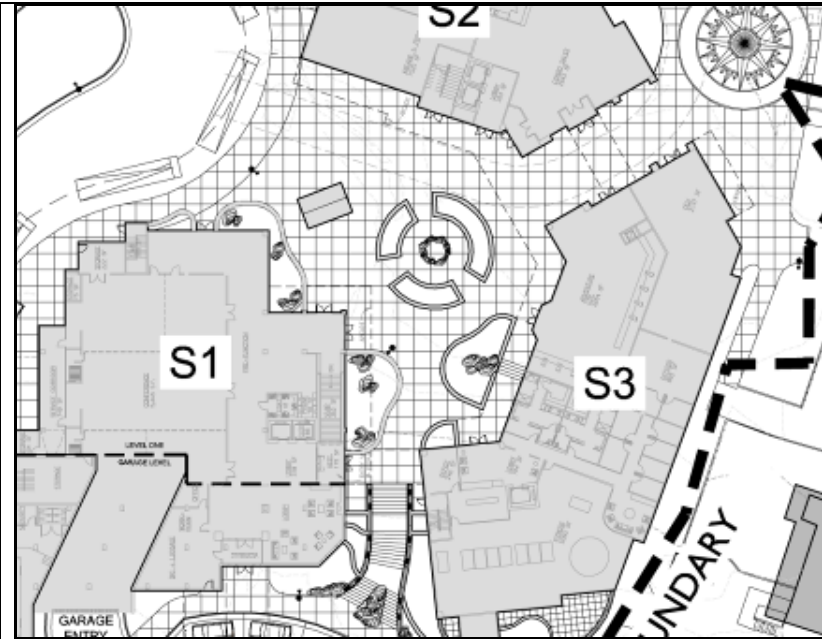
#### *B. Pedestrian Access*

R 1. Proposed buildings shall provide pedestrian walkways that connect to primary pedestrian corridors. Pedestrian corridors and secondary pedestrian walkways provide critical connections to the DDA Commercial Core, transportation center and accommodations throughout the DDA, minimizing the need for private automobiles within the town. **FIGURE 3**

R 2. The available walking surface for primary pedestrian corridors shall be 15'-0" wide, minimum, 60'-0", maximum. Not including temporary walking surfaces. All secondary pedestrian walkways shall be 10'-0" - 30'-0" wide. During the ski season, many pedestrians may be carrying skis and/or walking in ski boots, requiring extra area for easy maneuvering. Tertiary trails shall be 3'-0" wide, minimum.

R 3. Primary pedestrian corridors shall be surfaced with concrete, concrete pavers or stone pavers. Secondary pedestrian walkways shall be surfaced with concrete, concrete pavers or stone pavers. Not including temporary walking surfaces which may be asphalt.

R 4. To provide continuity, pedestrian corridors and walkways shall utilize the same concrete or paving material when crossing asphalt, driveways or road. This condition may be waived with the approval of the Planning Commission and the selection of an appropriate paving material.



**FIGURE 3: Pedestrian Plaza – Access is provided via a central plaza that provides limited service access as well.**

R 5. Pedestrian bridges shall include railings that utilize pickets to allow for maximum solar exposure to the bridge and to prevent ice buildup.

R 6. Pedestrian bridge supports shall not interfere with pedestrian flow underneath bridge. Supports shall be integrated with the landscape.

R 7. Surface treatment of bridge supports shall be coordinated with adjacent structures and wrapped with logs, cobble, stone, stucco or a combination of the aforementioned materials.

R 8. Outdoor stair connections shall accommodate vertical changes in grade whenever necessary to link to primary pedestrian corridors to adjacent development and to secondary pedestrian walkways. Stairways shall be designed to include a 6' minimum landing at both top and bottom of stairs that minimizes interference with pedestrian flow at pedestrian intersections.

R 9. Outdoor stairs shall have 6" maximum riser and 16" minimum to 18" maximum treads to accommodate ski boots. Stair design shall minimize the chance of trash and debris falling through open air risers. If risers are open air, stair design should consider access to space beneath stair to allow for maintenance.

R 10. Exterior stairs shall have one (1) landing for every 5'-0" maximum of vertical rise. Intermittent landings reduce the number of stairs pedestrians must ascend before an opportunity to rest. In addition, intermittent landings divide long stairways that may visually overwhelm the pedestrian.

R 11. All stairways shall include hand rails for length of intermittent landings measuring 5'-0" or less in length to assist people moving up and down the stairs in ski boots and carrying skis.

R 12. All walkways and accessible ramps must comply with the Americans with Disabilities Act.

P 1. Sidewalks paralleling local streets and arterials, except in the case of Treasury and Emmons roads when sidewalks should be attached, should be trails detached from street to protect pedestrians from vehicular traffic and to allow for adequate snow banks and plowing. All sidewalks and trails will need to comply with the code requirements as stated in Sec. 18-135 Trail Design Standards per Mt. Crested Butte Town Code.

P 2. Exterior stairs should be constructed of grated metal whenever possible to reduce snow and ice buildup. See stairs currently used in Base Area and at Town Hall and as described in this link - [STAIR TREADS](#). As an alternative, non-metal site stairs may be acceptable with snowmelting.

P 3. Loading and service entrances that are visible from public walkways should include architectural detailing, lighting and signage. Employee entrances should not reflect "back door" design.

### *C. Parking*

P 1. Encourage use of parking structures especially below grade.

P 2. Parking lots should consider landscaping to mitigate the visual effects of hardscaping. Any landscaping plans should consider snow removal.

## III. ARCHITECTURE

Intent: The Town of Mt. Crested Butte is striving for an architectural style that is indicative of high quality, indigenous architecture. Architectural detailing and building materials should complement and enhance the local mountain environment. The visual impact of architectural composition is far reaching and results in a sequential understanding of place. Forms evident within built structures must be suited to the building's function within the immediate neighborhood and climate. No one building should dominate within the DDA Commercial Core, but

should be designed as an integral component of a greater whole. Individual buildings must not be developed at the expense of the larger mountain village. All of us have witnessed developments that have been constructed without regard to topography, natural drainages, vegetation, unsuitable soils, climate, or views. The impact of one unsuitable building or development on a community is disruptive and jeopardizes the spirit and image vital to its longevity and success. Individual buildings should be sited so as to contribute to the greater neighborhood form.

Spaces between buildings and the spaces defined by multiple buildings often create a greater impact than any one individual building, allowing each building to function as one part of a total complex or development. Development can then be construed as a cohesive neighborhood and each individual building owes allegiance to the greater whole.

New development in Mt. Crested Butte should create an identity by using building mass, forms, materials and architectural detailing while permitting a variety of compatible architectural solutions. Architectural design should relate to the area's unique history as well as provide visual connections to the surrounding environment. Architectural style, finish and detailing should integrate the DDA Commercial Core with adjacent residential development. Building materials shall present an image of permanence, authenticity and high quality. Specific architectural elements that convey quality and are considered "character defining features" include construction materials, doors, windows, roof form and ornamental detailing.

#### *A. Architectural Character*

R 1. New development, redevelopment, building additions and renovations to existing buildings shall be compatible with the mountain setting of Mt. Crested Butte. New development, redevelopment, building additions, and renovations shall be based on a theme or character representative of environments or locations common to most mountain resort towns.

## *B. Building Form and Massing*

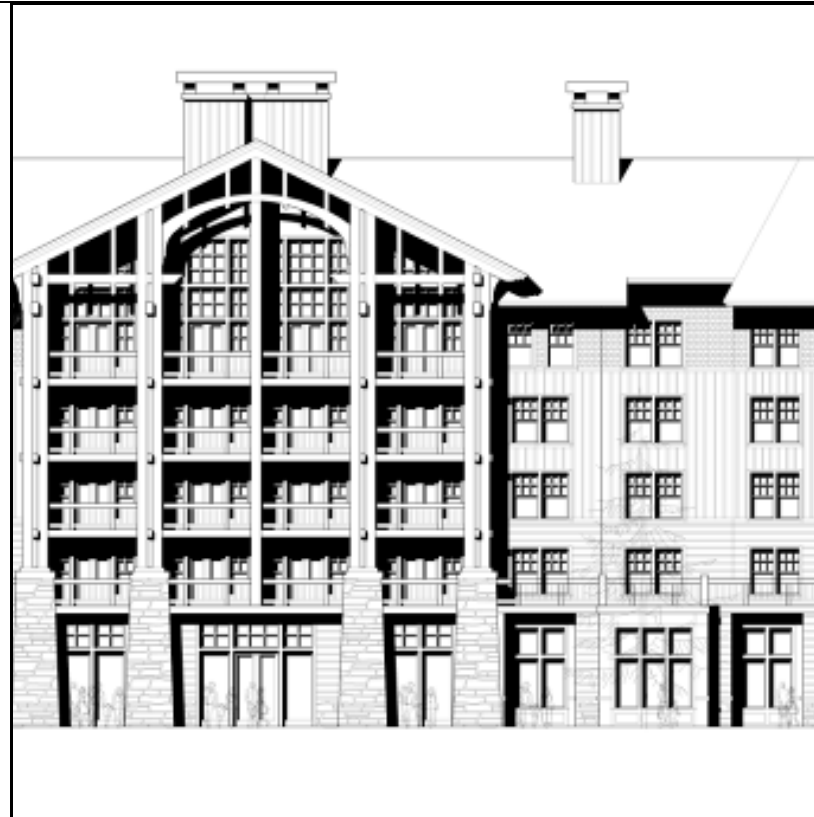
R 1. Site coverage shall be per the Mt. Crested Butte Zoning Code or as specified in associated PUD Guides.

R 2. There shall be sequential change from the base or foundation of the building to the shop fronts, to second and third stories to the roof. Three distinct layers are critical to building form and massing; buildings can be unappealing because they do not include the three basic, fundamental architectural layers. **FIGURE 4**

- Base: Landscaping, arcades and active uses such as shops and restaurants storefronts shall be open and inviting and anchor the building.
- Middle: Passive uses such as office and residential shall be architecturally delineated with punched windows and balconies.
- Top: Roof shall be the visual key; the materials, form and detailing to be viewed from both street level and the surrounding hillsides. The roofscape shall knit the entire community together.

R 3. The primary building mass shall include secondary projections that transition from street edge to center of parcel, with smaller, human-scaled elements such as arcades and awnings located at street level. Those architectural elements need to be transparent, so they are inviting to pedestrians. Buildings shall have clearly defined entrances that feature at least three (3) of the following architectural elements: canopies or porticos, overhangs, recesses or projections, arcades, arches, peaked roof forms, outdoor patios, display windows, architectural stonework or moldings integrated into the building facade, or integrated planters or wingwalls that incorporate landscaped areas or seating.

R 4. Building height shall be per Mt. Crested Butte Town Code or as specified in associated PUD Guides. Increased building heights and decreases in parking are identified as an incentive for providing onsite community housing pursuant to the Mt. Crested Butte Town Code.



**FIGURE 4: S-4 Building, noting change in sequence from base to roof.**



R 5. All facades shall include variation in wall plane. Overall building length shall be articulated with wall offsets, multiple roof breaks, structural delineation, front porches, exterior trim, and awnings to provide visual interest and reduce overall scale of building. Building facades shall have “punched” openings. Curtain walls or facades incorporating horizontal strip windows are not permitted. Group items, such as windows and doors to create a traditional facade composition; such features provide visual interest to the pedestrian, reduce monolithic appearance and add character to new development. These elements must be integral, structural components of the building and not be superficially applied trim elements.

R 6. Arcades provide overhead protection from climatic elements and orient pedestrians toward building entrances and commercial development. If included in the building design, attached arcades or loggias shall be proportional to the structural system of the building.

**FIGURE 5**

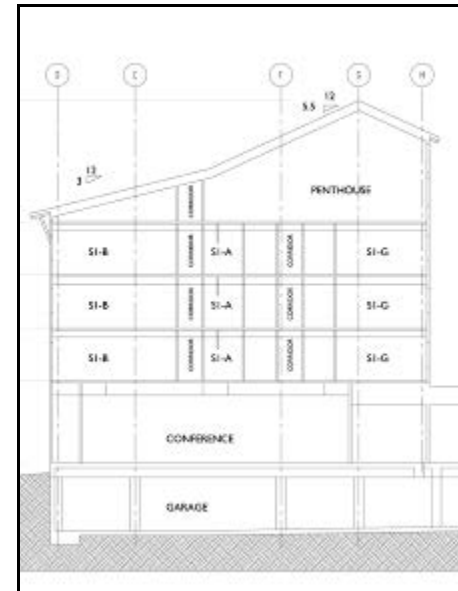
R 7. Cascading of multi-family residential development in the Commercial Core is prohibited. The design of individual units shall not be repeated. Traditional mountain communities include small-scale buildings whose location and placement respond to topography. Large building masses that include repetitive architectural elements create monotony and appear intrusive on the landscape.

R 8. Mirror imaging of multi-family structures in the Commercial Core is prohibited. Multi-family structures housing four or fewer units shall be designed to appear as a single-family structure and shall not be designed in a manner that results in each half of the structure appearing as a mirror image in design to the other.

C 1. Cascading of multi-family residential development outside the Commercial Core is discouraged. The design of individual units should not be repeated. Traditional mountain communities include small-scale buildings whose location and placement respond to topography. Large building masses that include repetitive architectural elements create



**FIGURE 5. S-4 Building, noting arcade along pedestrian plaza**



**FIGURE 6: S-1 Building, noting roof system.**

monotony and appear intrusive on the landscape.

C 2. Mirror imaging of multi-family structures outside the Commercial Core is discouraged. Multi-family structures housing four or fewer units should be designed to appear as a single-family structure and should not be designed in a manner that results in each half of the structure appearing as a mirror image in design to the other.

### C. Roofs

R 1. Roof pitch of the largest roof form shall be not less than 3:12 and not greater than 6:12. Secondary roof forms attached as an extension of the primary building form shall have a pitch of not less than 4:12. All roofs to be designed to hold snow, shed to non-pedestrian areas or incorporate snow melt systems so as to not be shoveled to pedestrian areas below.

R 2. The dominant roof form shall be restricted to gable, hip and shed roofs. Secondary roof forms attached to the primary roof form may be shed roofs. Dormers shall be relatively small in proportion to overall scale of the roof and should be gable, hip, or shed form. Mansard roofs are prohibited. **FIGURE 6**

R 3. The primary sloped roof plane shall be segmented using dormers, shed roofs, or other architectural elements that intersect the ridgeline in at least one location, resulting in a minimum variation of 33% of the primary roof plane.

R 4. All roof structures shall be designed to conduct rain and snow melt water in such a way as to prevent it from dripping, icing, or flooding pedestrian walkways, service areas or vehicular areas below. Adequate systems and devices shall be installed to allow safe and effective removal of snow from roofs. Cold roof assembly is encouraged to prevent ice build-up along the eaves; adequate ventilation is critical to the cold roof concept. A cold roof system is a double roof with a cold air gap between the outer roof and the insulated inner roof to prevent ice dams. Convective ventilation, consisting of continuous vents at the



**FIGURE 7. Variations in flat roof planes**

eaves and exhaust vents at gable ends or along the roof ridgeline, is preferred.

R 5. Flat roofs shall be stepped horizontally and vertically to add depth and character to building. Flat roofs shall have snow melt systems or be designed to hold snow so as to not be shoveled to pedestrian areas below. **FIGURE 7**

#### *D. Building Materials*

R 1. Each project shall have a solid-to-void ratio that adequately expresses the type of building use (residential or commercial). Commercial window glazing systems are inappropriate on residential buildings. Traditional commercial buildings located adjacent to streets and primary pedestrian corridors shall include large display windows. Large display windows are appropriate at ground level only, promoting commercial activity. **FIGURE 8**

R 2. Stone walls shall have deep reveals and minimum mortar joints. Volcanic rock and concrete block are not acceptable. However, rusticated concrete block may be used on above ground parking structures.

R 3. Stucco shall be combined with wood and stone to convey the character of a western Colorado mountain town.

R 4. Integrally colored concrete, textured or board formed is acceptable only if concrete wall is integrated with adjacent buildings and surrounding landscape improvements.

R 5. Artificial building materials that imitate natural materials, such as aluminum or vinyl and cultured stone siding, are acceptable only if their texture, shape, size and color are similar to the natural materials they are simulating and are not obviously artificial.

R 6. Roof materials shall be unit pieces such as metal, copper, slate, flat-profile unglazed tile, cedar shakes, sawn wood shingles, concrete



**FIGURE 8: Variations in material**

composite tiles or architectural grade asphalt shingles.

R 7. Parking structures shall utilize architectural detailing to lessen the visual impact of the facility on surrounding properties, pedestrian corridors and adjacent streets.

P 1. Parking structures should be constructed of integrally colored or tinted concrete, rusticated concrete block, stucco, brick or rock and should be optimally wrapped with retail to conceal the parking.

#### *E. Colors*

R 1. All building and roof colors shall be presented to the Planning Commission during Design Review of the planning submittal process. Color samples on the proposed building materials including roof materials shall be affixed to a board and labeled according to use and location on the proposed building. Also, a digital copy of the materials and colors palette shall be provided.

R 2. Roof surfaces visible from adjacent hillsides, buildings and ski area shall not be of intensely bright colors that distract from the street or pedestrian corridor. Flat, muted colors are preferred.

R 3. Metal roofs shall be dark, non-reflective colors.

R 4. If stain is used, transparent, natural or weathering wood stains are required. Opaque, dark colored stains are discouraged because they do not reflect that natural color of the wood.

P 1. If paint is used, wall surfaces should be muted earth tones. Architectural details such as door, window trim, soffits, awnings and signs should introduce a strong palette of color to create visual richness.

#### *F. Foundations*

R 1. Foundation walls shall not be exposed. Foundation walls must be integrated with proposed building materials and faced in wood, stucco

cobble or stone as described in Section III-D addressing materials.

### *G. Doors and Windows*

R 1. Recessed building entrances shall be incorporated into all commercial building facades that front all streets and pedestrian corridors. Recessed doors provide protection from the weather, orient the pedestrian and prevent the door from opening out into the pedestrian corridor and interfering with pedestrian flow. In the absence of recessed entries, arcades or covered entries are required.

R 2. All front entry doors shall have windows that include mullions, or small glass panes or other detailing to communicate depth. Window mullions help to reduce scale of glass panels and are typically applied on residential development and often visible on commercial development.

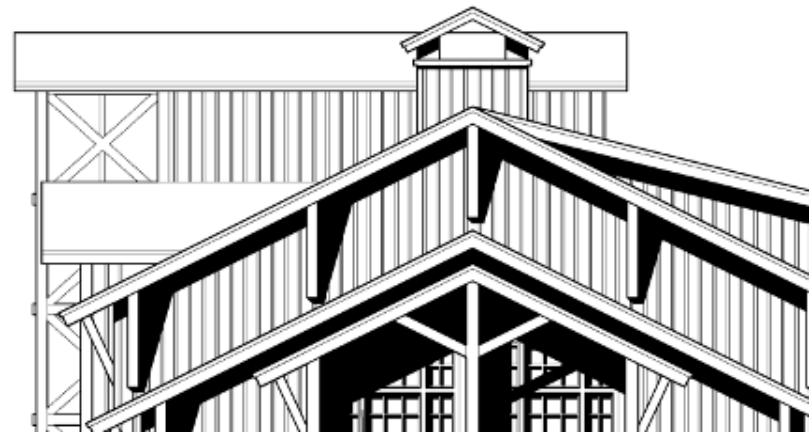
R 3. Front entry doors shall parallel the street and the primary pedestrian corridor unless the parcel and/or building occupies a corner lot abutting two streets or pedestrian corridors, in which case the front entry door may be positioned at a 45-degree angle to the corner.

R 4. Garage doors must be integrated with the composition of the building facade and shall not visually compete with the primary entrance to the building. Garage doors may not be considered the primary entrance to a building.

R 5. All glass panels on commercial buildings at ground level shall have low reflectivity and high transparency allowing for visual access into the building at ground level. Tinted glass is prohibited on commercial buildings at ground level.

R 6. Commercial storefronts must utilize materials consistent and compatible with the exterior material of the overall building. Commercial facades must be integrated with upper floors and adjacent tenants of the same and adjoining buildings.

R 7. Skylights shall be proportional to windows and locations shall be



**FIGURE 9: Example of the use of ornamental details.**

fully integrated with the roof design.

#### *H. Architectural Ornamentation*

R 1. Ornamental detailing adds interest and creates unique identities for buildings. New development and renovations to existing development shall include simplified interpretations of traditional architectural detailing such as cornices, window arches, brackets and railings. **FIGURE 9**

R 2. Buildings that exceed one story shall have architectural delineation between all floors along the primary and secondary street elevations to help promote traditional building scale and differentiation of ground level and upper floors.

R 3. All buildings located within the DDA boundary shall include windows, doors and ornamental detailing and shall be architecturally delineated on all sides

R 4. Clock towers and flag poles are excluded from building height maximum, up to a maximum of 15' higher than the maximum building height. However, such elements must not detract from the architectural composition of the building. This requirement may be modified by approval of Planning Commission and requirements of the PUD III guide.

R 5. Shutters shall be proportional to the window to which they are attached.

R 6. Exterior exposed building columns and posts shall reflect structural composition of the building.

#### *I. Awnings*

R 1. Awnings shall be triangular in section with a valance of 8" maximum, extending at an acute angle from the building facade.

R 2. Awnings shall be proportional to the window and door frame and not obscure architectural and ornamental detailing. The top edge of the

awning shall align with the top of the window or align with the framing that separates the transom from the main display window.

R 3. Plastic, backlit awnings are prohibited. Solid color, canvas awnings are encouraged. Fabric awnings may be fixed or operable. Fixed awnings wear longer, but operable awnings have the flexibility of being changed with weather and light conditions.

R 4. Multiple businesses housed within a single building shall use similar awning shape to reinforce the overall building scheme.

R 5. Awnings on buildings abutting a primary pedestrian corridor shall not project more than 5'-0" into pedestrian corridor.

R 6. Clear height under awnings to finish grade must be a minimum of 8'-0".

R 7. Signage on awnings shall be limited to the valance.

#### *J. Screening*

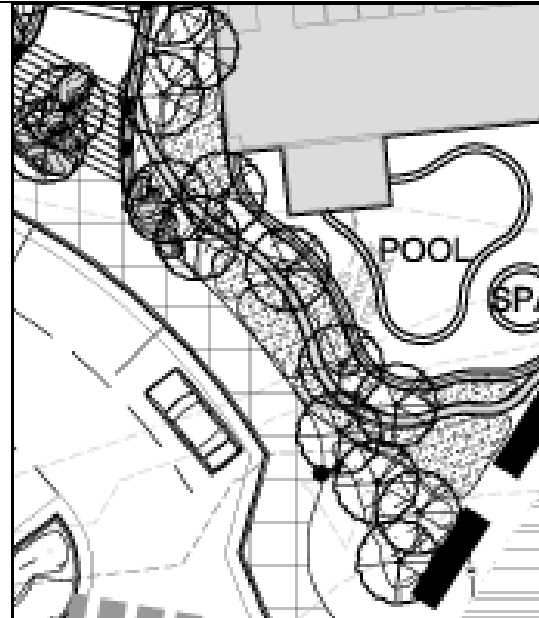
R 1. Rooftop screening of mechanical equipment is required and shall be integrated into the building and roof design.

R 2. Loading docks and service areas shall be screened from public view using opaque fencing, garage doors, walls or plant material. Trash containers must be inaccessible to wildlife. Fencing or walls shall be compatible with the materials and forms of the building.

#### *K. Decks and Balconies*

R 1. Balconies shall be proportional to the overall building facade and not dominate the architectural composition of the building elevation. Balconies must be fully integrated with the structural components of the building and not superficially attached or applied.

R 2. Balcony materials shall be consistent in character and compatible



**FIGURE 10: Placement of outdoor spas and pools should include appropriate screening.**

with exterior materials of the building.

P 1. Balcony railings should be designed to allow for maximum transparency, promoting solar exposure.

#### *L. Hot Tubs and Pools*

R 1. Outdoor hot tubs and pools shall be located adjacent to the building for convenience and accessibility.

P 1. Screening of outdoor hot tubs and pools is expected. All activity associated with such facilities should be contained within the development and not be a distraction to residents on adjacent parcels or people walking along adjacent pedestrian corridors. **FIGURE 10**

#### *M. Downspouts*

R 1. Runoff from downspouts shall be fully integrated into the internal surface drainage system of the development.

P 1. Downspouts should be considered architectural details, should be constructed of high quality, durable materials and should be fully integrated with architectural trim of building. Internal downspouts are encouraged.

#### *N. Mechanical Systems*

R 1. Chimneys, roof vents and flues shall be designed in such a manner so as not to cause fumigation of ground level areas or adjacent buildings during down slope wind conditions. Chimneys shall be located high on the up-wind side of the building as the best means to efficiently disburse smoke. Vents and flues shall be designed to group such roof projections and conceal them from public view by enclosing them in forms compatible with the building and roof form.

R 2. All roof top mechanical equipment shall be painted dark, flat colors to match roof color.



R 3. Ground mounted mechanical equipment located on private property shall be screened from public view using opaque fencing or a combination of fencing and plant material. Screening of all mechanical systems located at ground level will ensure that such systems are safe from personal injury and vandalism. Screening mechanisms shall be installed to shield mechanical equipment from public view.

R 4. Exterior overhead heating elements shall not interfere with signage or lighting fixtures and shall be used only in areas requiring additional heating for outdoor pedestrian areas. Heating elements shall be fully integrated with building facade.

R 5. Garage exhaust vents shall not be located adjacent to primary pedestrian corridors and secondary pedestrian walkways, unless such vents are integrated into structure, walls or planting areas such that they do not hinder pedestrian movements and are innocuous.

#### *O. Utility Systems*

R 1. Transformer locations shall meet guidelines set forth by the utility company. Transformers shall be located as close as possible to main electrical room inside the building to minimize the length of service conductors. Transformers shall be painted dark flat colors.

R 2. Meters and electrical panels shall be located in an area readily accessible for maintenance, service and emergency access. Meters and electrical panels shall be painted to match exterior wall color.

R 3. Ground mounted electrical equipment located on private property shall be screened from public view using opaque fencing or a combination of fencing and plant material. Screening of all electrical systems located at ground level will ensure that such systems are safe from personal injury and vandalism. Screening mechanisms shall be installed to shield electrical equipment from public view.

R 4. Exposed conduit is prohibited at all times.

R 5. Exterior outlets shall be installed and located adjacent to outdoor public plazas and landscaped areas to provide electrical power for special events and lighting.

*Q. Temporary Structures: Vending Carts, Tents, Temporary Storage Facilities, Temporary Parking Control Structures*

R 1. Vending Carts shall comply with Section 11-44, Vending on Public Property; Code of the Town of Mt. Crested Butte.

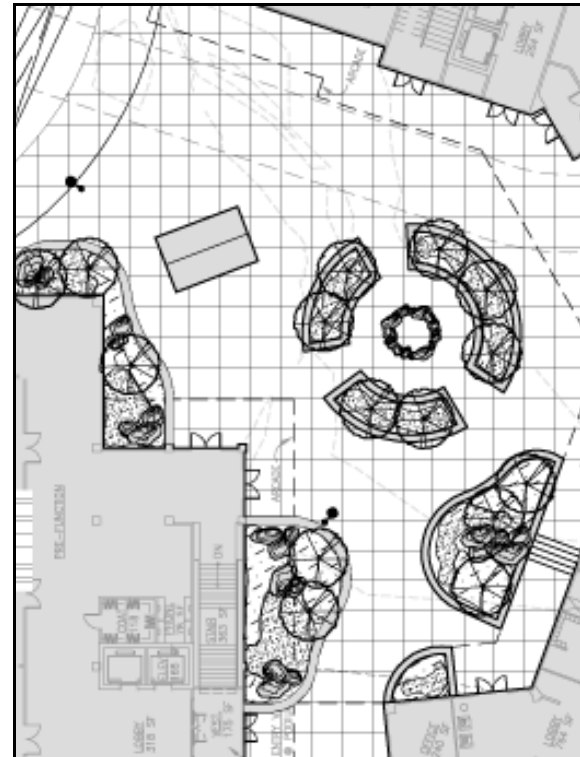
R 2. Tents erected for special events shall not impede pedestrian traffic along primary pedestrian corridors. Entries into tents shall connect to established pedestrian corridors or walkways. Any temporary utilities, including conduit, shall be screened from public view.

R 3. Temporary storage facilities shall not interfere with established vehicular and pedestrian routes. Storage facilities will be constructed of high-quality durable materials that do not distract from the associated building.

R 4. Temporary parking control structures for interim surface parking areas shall be constructed of high quality, durable materials. Structure shall provide protection from climatic elements for employees. Structures shall be able to withstand heavy snow loads and be located in areas that will not interfere with vehicular traffic circulation, sight lines, or snow removal.

R 5. The structure and design of vending carts shall present an attractive, maintained appearance. Canopies, wheels and storage must be self-contained components of the cart and not superficially attached.

R 6. Vending carts which sell food must integrate condiments and trash receptacles with the overall design of the cart. Condiment areas and trash receptacles may not be detached elements.



R 7. Temporary buildings and structures for ancillary resort/skier services may be allowed within the DDA boundary, if approved by the Town of Mt. Crested Butte.

#### IV. LANDSCAPING

Intent: To create attractive, planted environments at building entrances, along pedestrian corridors and plazas, at the street edge, and along the perimeter of individual properties, the intent is to differentiate the Downtown Development Authority Commercial Core from residential development along Gothic Road, Treasury Road and Emmons Road. To design and install landscaped areas that complement the natural mountain plant communities, accommodate snow loads and require minimal maintenance during summer months. Naturally occurring drainages and native vegetation must be allowed to penetrate the village and individual properties and be present throughout the proposed development ensuring that new man-made patterns are intertwined with the natural ecological systems of the mountains and surrounding valleys. All landscaping must meet the Town of Mt. Crested Butte landscape ordinance and point system or associated PUD Guides.

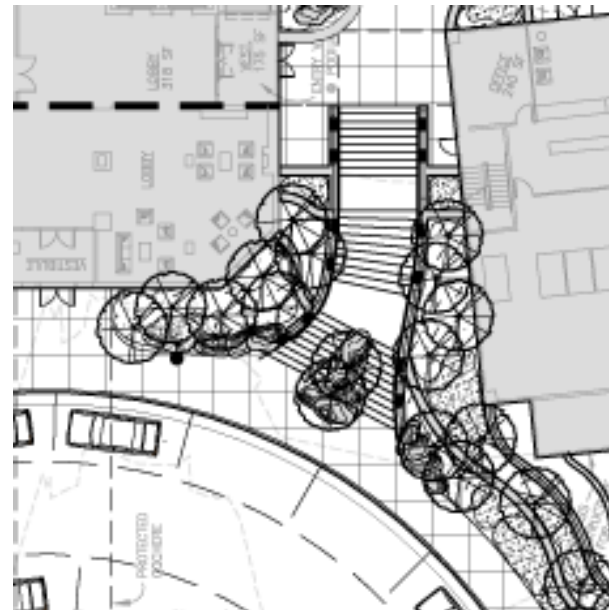
##### A. Hardscape, Paving

R 1. Outdoor public plazas and gathering areas shall be concrete, concrete pavers or stone. Concrete scoring patterns shall be designed to reduce the overall scale of large, paved areas. Outdoor public spaces that abut primary pedestrian corridors shall transition according to grade and materials. **FIGURE 11**

R 2. Paving materials and construction detailing shall accommodate and withstand the removal of snow by mechanical plowing devices and tolerate heavy pedestrian traffic.

R 3. All paved areas shall be stone, concrete unit pavers, colored and/or textured concrete, brick or stamped concrete. Asphalt may be used for temporary paved areas or walkways.

**FIGURE 11: Use of landscape “islands” to break up mass of pedestrian spaces.**



**FIGURE 12: Extensive plantings are grouped into masses to soften edges and define spaces.**

*B. Plant Material*

R 1. Large deciduous shade trees shall be 3" caliper minimum. Coniferous trees shall be 8'-0" in height, minimum. Ornamental trees, including aspens, shall be 2" caliper, minimum.

R 2. Ornamental trees, including aspens, should be grouped together to create small groves of vegetation as exemplified in their natural habitat. All trees shall be staked at installation. Shrubs and perennials shall be spaced to achieve massing. Ground covers, including sod and seed, shall be planted at a rate to achieve full coverage within one growing season. **FIGURE 12**

R 3. New landscape installations shall utilize plant material that is compatible with the local climate. Landscape design shall result in the integration of plant material that is in keeping with native plant communities. Ornamental plant material and landscape areas requiring substantial maintenance shall be minimal and located adjacent to building entrances, in entry plazas or along primary pedestrian corridors.

R 4. Site perimeter landscaping is required on all proposed High-Density Multi-Family development and proposed Low Density Multi-Family development located within the DDA boundary. Property abutting Gothic Road, Treasury Road and Emmons Road right-of-way shall include maintained landscape treatment along the street edge, hardscape and tree grates where appropriate.

R 5. Plant material shall be installed with respect to adjacent properties and shall not interfere with pedestrian and vehicular movement, sight lines and snow storage.

R 6. Landscaped areas shall be irrigated upon installation. Drought tolerant plant material shall not require irrigation once established.

R 7. All landscaped areas shall be maintained, and all sod and seeded lawn areas shall be mowed regularly.

R 8. All planted beds shall be mulched with organic material to an appropriate depth to retain moisture and reduce dust. Cobble and gravel mulch are prohibited in landscape areas abutting primary pedestrian corridors and secondary pedestrian walkways. Cobble and/or river rock mulch is not in keeping with the texture of ground covers found in native mountain plant communities. Gravel mulch shifts during periods of heavy snowfall and in the snow removal process.

R 9. Formal, irrigated landscape treatment shall not abut native, undisturbed ground without edge treatment. Edge transition shall be in the form of a defined grade break, drainage swale, building wall, planted and mulched bed or pavement.

P 1. Landscaping on parcels located within the DDA Commercial Core will enhance established vehicular circulation routes and pedestrian corridors.

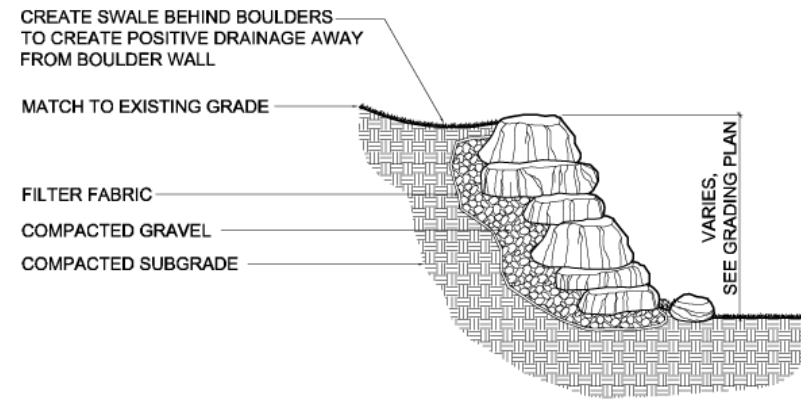
P 2. Commercial building facades fronting primary pedestrian corridors should include planters and/or window boxes to provide seasonal landscape opportunities.

P 3. Seasonal landscape elements such as decorated trees, garlands and wreaths should present an image of high quality. Dead branches and brown leaves are unsightly and pose a significant fire hazard.

P 4. The plant list shall be the same as the native plant list used for the Prospect Subdivision with the addition of Narrow-Leaf Cottonwood.

### *C. Slope Conditions and Drainage*

R 1. Natural conditions in the DDA area have been significantly altered by existing development. Heavy snowfall, precipitation and steep slopes require new development and redevelopment to carefully assess existing slope, drainage conditions and storm water management needs. Plans shall address appropriately designed and landscaped detention basins and channels.



**FIGURE 13: Boulder walls provide naturalized appearance.**

R 2. Erosion control and revegetation techniques shall reduce and/or eliminate erosive potential and control of transported sediment. Erosion control and revegetation of all disturbed areas shall be addressed in the landscape and planting plan. Techniques for permanent revegetation and stabilization of all disturbed areas shall be listed and described in detail on the final landscape plan.

R 3. Runoff from impervious surfaces such as roofs and pavement areas shall be directed to catch basins and inlets.

R 4. All public and private plaza and walkway areas shall be designed to sheet drain to prevent ice buildup and corrosive puddling.

R 5. Natural drainages must be integrated into the proposed site plan.

R 6. All stone walls shall minimize small filler stones and prevent long, continuous horizontal and vertical joints.

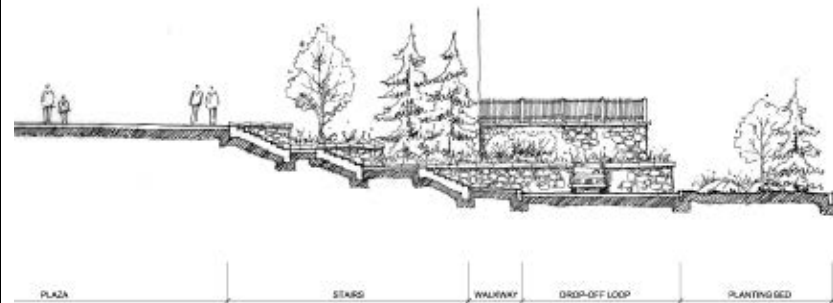
R 7. Boulders are to be set in the way they are found naturally in the ground at their natural camber depth. Boulder walls should incorporate pockets to allow for planting areas.

R 8. No retaining wall shall be higher than 8'-0" per Mt. Crested Butte Town Code or as approved in a PUD. When additional height is necessary, a system of terraced walls is preferred.

P 1. Mortar joints should be deeply raked in an effort to make the wall appear as a dry-stacked wall.

P 2. Grading requirements resulting from development should be designed to blend into the natural and/or existing landscape. Cut and fill should be feathered into the existing terrain within the property boundaries. Proposed slope of cut and fill banks shall avoid erosion and promote revegetation opportunities. Slope should not exceed 2:1.

P 3. Retaining walls may be necessary to accommodate changes in grade. Wood timber retaining walls resistance to overturning depends



**FIGURE 14: Planter walls are used to define spaces, provide seating opportunities and integrate landscape elements into plaza.**

upon one-half of its height being below finished grade; therefore, it is not economical or practical to use wood timber design for retained heights of over 3'-0". The design and layout of a boulder retaining wall should result in the base of the boulder being submerged into finished grade. Where appropriate, pockets in between boulders should be planted to achieve a natural appearance. **FIGURE 13**

P 4. Retaining walls should be proportional to the building. The length of a retaining wall should not exceed the length of the building. Ideally, the wall length should be segmented when possible to minimize the perceived mass of the wall.

#### *D. Walls and Fencing*

R 1. Security and privacy fencing along primary streets in the DDA Commercial Core is prohibited. Outdoor dining areas may utilize 42" maximum fencing to separate the dining area from pedestrian corridors.

R 2. Site and screening walls shall complement the colors, materials, textures and forms of the building.

R 3. Split rail wood fences are prohibited in the DDA Commercial Core. Outside the DDA Commercial Core, privacy fences shall be wood or a combination of wood and rock or other approved materials. Chain link fencing is prohibited unless used for demarcation of temporary construction staging.

R 4. Screening fences shall be solid and architecturally compatible with the structure.

R 5. All walls shall be finished with a full width cap stone, allowing for a min. 1" overhang and a minimum thickness of 2".

R 6. Security walls and fencing required by code shall be a minimum of 42" height, per building code.

P 1. Wind control in densely inhabited areas is difficult. However,

strategically located fencing and plant material can help to deflect some wind patterns. Dense foliage with branches close to the ground provides effective wind protection. Vegetative wind breaks and hedges should not interfere with sight lines along pedestrian corridors or views from adjacent properties.

P 2. To encourage and promote pedestrian congregation area through available seating, planter walls are recommended and shall be constructed to a maximum height of 20". **FIGURE 14**

#### *E. Exterior Fixtures and Furnishings*

R 1. Benches shall not impede pedestrian corridors, walkways, or snow storage.

R 2. Trash and recycle receptacles shall be wildlife resistant and be provided at regular intervals along pedestrian corridors and walkways. Commercial businesses selling take-out foods and beverages shall be required to install wildlife resistant trash and recycle receptacles in close proximity to the building entrance.

R 3. Trash and recycle receptacles shall be constructed of high quality, durable material, easily maintained and installed in locations that do not interfere with snow removal.

R 4. Site furnishings shall not be permanently attached to the paving, allowing for ease of street maintenance and snow removal.

P 1. Bollards should be installed in areas where high pedestrian activity is subject to occasional vehicular access. Removable bollards help to segregate pedestrians from automobiles and service trucks. Bollards should be durable and be coordinated with other public furnishings such as light poles, benches and trash receptacles.

P 2. Kiosks help orient visitors to the local community and provide a singular location for information and events. Kiosks should integrate with the architectural character of the surrounding buildings. They should be



constructed of durable, high quality material and include surfaces that can easily receive temporary information such as flyers. Kiosks should be located in highly visible areas with substantial pedestrian traffic.

P 3. Benches should be located in areas receiving direct sunlight throughout the day. Benches provide respite for pedestrians and encourage rest, social interaction, and people watching.

P 4. Newspaper box locations should be identified on site plans. Adequate space should be given for multiple boxes. Locations should be convenient for daily service and not impede pedestrian traffic.

P 5. The site furnishings should provide a cohesive look to create continuity throughout the village. Materials and quality of craftsmanship shall set the tone for the pedestrian environment.

P 6. Site furnishings should be made of metal or metal/wood combination. Stone and 100% wood benches are encouraged in garden areas and private patios only.

#### *F. Satellite Dishes, Antennae*

P 1. Exterior antennae should be screened from public right-of-way.

P 2. All wiring and cable related to a satellite dish should be concealed as much as possible.

P 3. Satellite dishes on or attached to structures should be painted or finished to match finish of building material.

C 1. Location of Satellite dishes should consider adjacent properties when deciding the installation location.

C 2. Each building should employ one satellite dish to accommodate multiple units instead of each unit having their own satellite dish.

## V. SNOW STORAGE AND REMOVAL

Intent: To mitigate the effects of snow and ice build-up. Snow, if improperly handled, can be destructive to buildings, exterior hardscaped areas, vehicles and pedestrians as well as impose excessive snow removal and maintenance costs. Snowfall and extreme freeze/thaw cycles at Mt. Crested Butte combine to make snow management an important factor in architectural and site design.

### *A. Snowshed and Snowmelt*

R 1. Snowshed from roofs must be anticipated and delineated in the proposed site plan. Snow and drainage from roofs shall be managed within the property boundary and may not fall onto adjoining streets or adjacent properties.

R 2. Snow will be retained. Snow diverters, snow retainers, roof pitch and roof materials influence snow retention capabilities.

R 3. Shedding snow must be deflected from all pedestrian areas by dormers, angled roofs, or other means to prevent injury. Because of the anticipated density of development within the Downtown Development Authority boundary, protective features such as arcades or loggias shall be considered. The roof line shall always extend over building entries and balconies.

### *B. Snow Storage*

R 1. Designated snow storage areas must not interfere with pedestrian walkways, building access, service access, or public rights-of-way.

R 2. Proposed parking areas must include designated snow storage areas. Such areas must be identified in site plan. Per Mt. Crested Butte Town Code, functional snow storage shall equal a minimum of 25% of the areas to be cleared of snow. This requirement may be waived by the Planning Commission if such parking is only transitional in nature.

## VI. LIGHTING

Intent: Vehicular, pedestrian, building and signage lighting shall be provided to promote both pedestrian and vehicular safety. Lighting along streets, pedestrian walkways and in public parking lots shall be of a unified design throughout Downtown Development Authority. Exterior building lighting, pedestrian walkway lighting and street lighting must be uniform along Gothic Road, Treasury Road and Emmons Road to promote continuity and character throughout the commercial core. All lighting must meet the Town of Mt. Crested Butte Lighting Ordinance.

### A. Pedestrian Lighting

R 1. Sidewalks and pedestrian corridors shall be lit using the Lumec: Domus DOS fixture or AAL: Universe Collection (Final selection to be determined). **FIGURE 15**

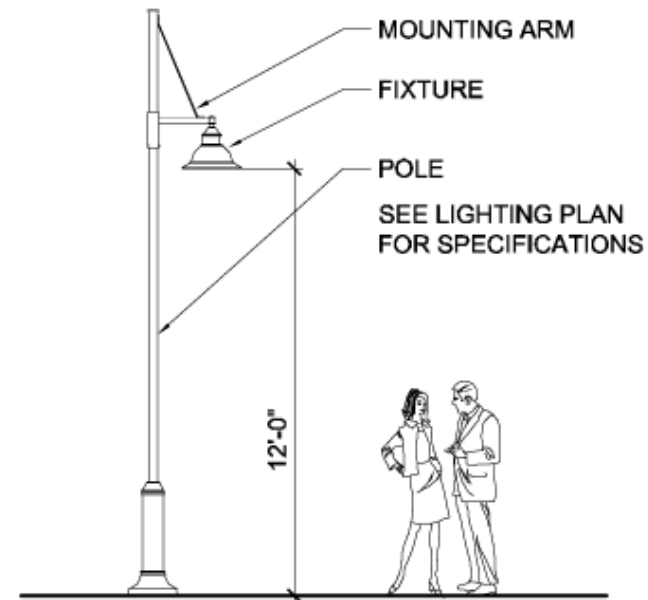
R 2. Fixture placements shall be consistent from parcel to parcel. Fixtures shall align, and placement shall result in a uniform path of light that leads the pedestrian from one block to the next.

R 3. Fixture placement shall not interfere with mechanical snow removal and shall withstand the climatic effects of snow banks.

R 4. Direct burial fixtures are prohibited unless used for a temporary or interim use. Fixtures shall be installed using precast or cast in place foundation to prevent damage from snow plow blades.

R 5. Lighting fixtures shall include a pole base cover positively fastened to either the pole or the foundation to prevent damage from snow plow blades.

R 6. Pedestrian fixtures shall be 12' -0" maximum height to the bottom of the luminaries to reinforce the pedestrian scale along walkways and corridors.



**FIGURE 15: Pedestrian scale light fixture.**

*B. Exterior Building Lighting*

R 1. All display windows shall be designed to provide indirect glow, illuminating adjacent pedestrian areas. Evening hours are important to the economic livelihood of the commercial core. Illuminated shop windows provide an indirect glow of light into pedestrian walkways.

R 2. Coordinate lighting of the following elements: residential front porches, primary building arcades, porticoes, entrances, signage and building details such as clock towers, awnings and outdoor dining areas. Front building facades and primary building entrances shall be the dominant lit elements and shall not be overpowered by other light sources.

R 3. All exterior lighting shall conform, at a minimum to Article XVI, Division 2. Exterior Lighting Regulations of the Mt. Crested Butte Town Code.

*C. Light Pollution*

R 1. Full cut-off fixtures, and fixture shields shall be utilized to minimize light pollution. Light pollution and light trespass have become primary concern for both residents and visitors to mountain communities. Minimizing light pollution and glare shall be a priority for every development located within the Downtown Development Authority boundary.

R 2. New construction or renovations or remodels require full cut-off fixtures.

*D. Decorative Lighting*

R 1. Seasonal, festive decorative lighting adds spirit and celebration to heavily traveled pedestrian walkways and individual development. Decorative lighting shall be low voltage and temporary. Small, decorative white lights shall be used for seasonal lighting effects only. Such lights

left on deciduous trees for extended periods of time generate heat that is a potential hazard to the health of the tree.

### *E. Exterior Lighting*

R 1. Off-street parking lots shall be lit for safety purposes. Fixtures shall correspond to other site lighting elements and include specific features that minimize light trespass onto adjacent parcels. For interim or temporary surface parking areas, this condition may be waived for a period of five (5) years from design review approval. Following this period, an applicant may formally request an extension of the waiver or must provide a revised site plan in accordance with this requirement.

## VII. SIGNAGE

Intent: To encourage signs that are sized and located to convey information, character, and that use color and materials that contribute to the desired image of Mt. Crested Butte. All signage shall be per Chapter 16 of the Mt. Crested Butte Town Code. The following guidelines are intended to guide the owner/developer in the design and image of the proposed signage package.

R 1. Signage shall be integrated with any building facade that abuts a street or pedestrian corridor or walkway. Flush mounted signs shall be integrated into the facade and shall complement the scale of doors, windows, porches and roof lines. Where several businesses share a building, signage shall be integrated with the architectural details of the building facade. Multiple use buildings shall have a sign theme to assure each tenant has adequate exposure and to prevent any one individual business from detracting from the overall building signage.

R 2. Signage shall not overwhelm the building facade or hide architectural details of the building. Signage shall be positioned to reinforce the horizontal lines of the building. Placement of projecting signage of the business entrance helps guide the pedestrian's eye to the primary access point of the business.

R 3. Sign materials shall be compatible with the building facade materials and must be durable to withstand climatic effects. Painted wood or metal is preferred. Highly reflective materials are prohibited. The Town of Mt. Crested Butte promotes the use of recycled plastics in the design and construction of signage. HDPE plastic, manufactured from recycled plastic milk jugs, provides sustainable cost-effective signage material.

R 4. Sign colors shall complement the architectural detailing and ornamentation of the building. Neon and fluorescent colors are not permitted.

R 5. Sign shapes shall be simple and lettering on the sign shall be legible from the street or primary pedestrian walkway.

R 6. Signage shall not impede pedestrian flow into and out of buildings and along the pedestrian right-of-way.

R 7. Placement of monument signage shall not impede pedestrian visibility along the sight lines at street intersections.

R 8. Internal lighting of signs is prohibited. Downlighting is required because the light is focused on the sign, allowing the viewer's eye to move comfortably between the sign and the building. In addition, glare is minimized.

R 9. Exterior illumination of signs shall be used to enhance the overall composition of the building. Please refer to the town code for specific requirements for signage and lighting.

## VIII. PUBLIC ART

Intent: To create dynamic and memorable public walkways and plazas for residents, visitors and employees in order to fully experience the mountain environment and the vitality of the downtown area.

*A. Murals*

R 1. Murals are prohibited.

*B. Sculptures*

R 1. Sculptures shall not interfere with the flow of pedestrian traffic along pedestrian corridors and walkways. Furthermore, placement of any sculpture must address service and fire access within pedestrian plazas. Sculptures, including all exterior permanent art work, add spirit and character to pedestrian settings. Sculptures and other forms of exterior art work shall be made of durable materials that withstand climatic effects. Designated sites for such art work shall tolerate winter snow buildup and snow removal by snow plows.

P 1. Sculptures should be in keeping with the pedestrian scale of the associated public plaza, walkway, or pedestrian corridor.

*C. Music*

R 1. Music emanating from commercial development shall be limited per Colorado State Code to 60 decibels between the hours of 7:00am and 7:00pm and 55 decibels between the hours of 7:00pm and 7:00am. Music shall not contain offensive language.

*D. Seasonal Decorations*

R 1. Seasonal decorations, other than lighting, that are temporary in nature are permitted for 60 days prior to the scheduled celebration and must be removed 60 days after the designated celebration.

*E. Temporary Installations*

R 1. Special event and supersize graphics to be installed in conjunction with a festival event or special function must attain a sign permit from the Town of Mt. Crested Butte prior to scheduled events.



**FIGURE 16: Civic Structures**

## B. CIVIC STRUCTURES

Civic uses are defined as buildings or developments that are designed to serve the public at large. Civic building functions include but are not limited to community centers, performance theaters, courthouses, government offices, art centers, hospitals, libraries, post offices, museums, religious buildings, schools, multi-purpose meeting spaces, and public parking garages. **FIGURE 16**

### I. BUILDING SITING

Intent: Civic buildings are expected to have a prominence relative to the residential and commercial buildings due to their stature and use in the Town.

#### *A. Building Location*

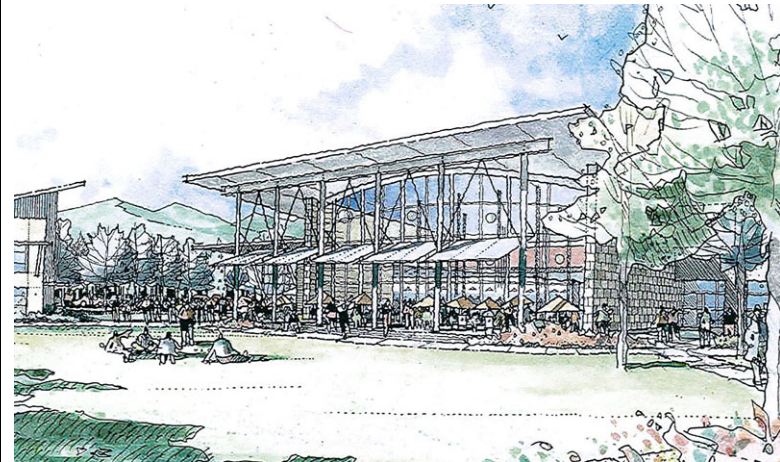
R 1. The building entry shall not be below grade. It should be at or above grade to give a prominent sense of arrival and a friendly sense of entry.

R 2. Structured parking shall be situated in such a manner as to conveniently serve all intended patrons with easy access for vehicles and pedestrians.

P 1. The primary entrance should face a welcoming sunny exposure, preferably south. **FIGURE 17**

P 2. There should be enough open space in front of the building to lend a spirit of calm and dignity to the setting.

C 1. Outdoor public gatherings sometimes take place at civic buildings so there should be open space adequate to support a public assembly.



**FIGURE 17: A welcoming main entrance with open space in front.**



## II. ARCHITECTURE

Intent: The Town of Mt. Crested Butte encourages the evolution of the built environment over time in order to establish a more cohesive character for the community and especially in the Town Center area. It is important to create guidelines for the civic buildings that will be built. The exterior appearance of these public buildings should have a pronounced stature. The architecture should embody the values of the residents, the grandeur of the Rocky Mountain setting and the spirit of our present time. Buildings serving the public should stand out from commercial and residential ones so as to express the dignity of these public institutions. The character of the architecture will be distinctive, just like most civic buildings in towns across the Country, but still contextual with the spirit of the other buildings in the Mt. Crested Butte town center.

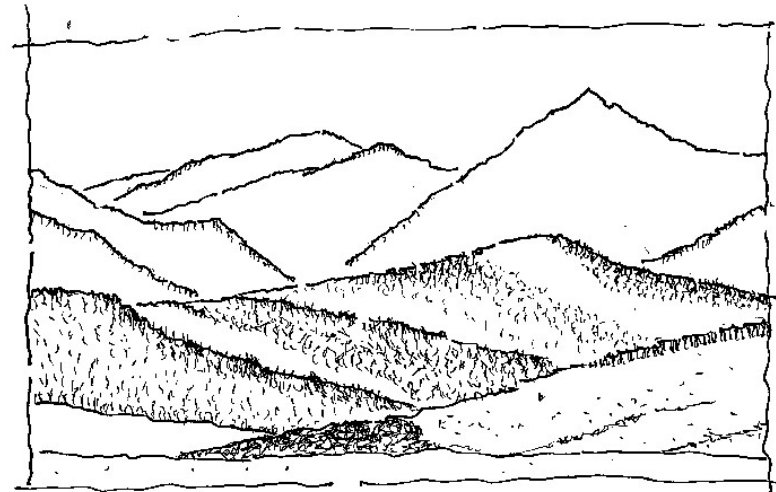
### *A. Architectural Exterior Character for Civic Buildings*

The design of the building exterior will be contextual to its setting but in a fresh and differentiating manner.

R 1. New structures shall be compatible with the mountain setting of Mt. Crested Butte in two ways. The appearance of the building should be respectful of the neighboring buildings and inspired by the features of nature. The architecture should be contextual and related to the buildings nearby. However, artistic liberties can be taken so that the look of the building is inspired by, rather than copying, the nearby buildings. It also means that the civic buildings should recall aspects of the natural setting in terms of patterns (of trees, mountain ridges, rivers, etc.), materials (rugged), and grandness. **FIGURE 18**

P 1. The building design should be appropriate to deal with the mighty seasonal conditions. Delicate details will not be long lasting in this climate.

P 2. Parking structures should be constructed to blend in with



**FIGURE 18: Mountain design influences**

surrounding buildings as much as possible. The composition of the exterior materials and form of the garage should be intentionally varied to break up the mass of the facility.

C 1. We are living in the 21<sup>st</sup> century and our buildings should express our times. This statement is intended to permit the designers to include a contemporary sensibility in the appearance of the building exterior. And yet, in the same way that we are standing on the shoulders of those who came before us, so should our civic buildings build on the traditions of the architecture history of the region. The goal is that civic buildings will have characteristics of prophecy and legacy... looking to the future and at the same time, recalling the traditions of the past.

### *B. Building Form and Massing*

Civic buildings should have a sense of grandeur and loftiness.

R 1. Regulations on how buildings can cover the ground is outlined out in the Mt. Crested Butte Zoning Code or as specified in the appropriate PUD Guide.

R 2. There shall be clarity in how the main entrance is communicated visually. It is preferred that the entry be overstated in order to give it clarity and a welcoming feeling.

P 1. Often civic buildings have large assembly spaces within. There should be a clear expression of these grand interior rooms on the outside of the building in terms of massing.

P 2. Sometimes civic buildings have towers or other tall functional conditions, which may make it impossible to remain within the Town height limits. Exemptions to the maximum height shall be determined by the Planning Commission on a case by case basis if not previously addressed in the PUD guide. **FIGURE 19**

P 3. Parking structures are very large and “boxy” by nature. Reducing the scale of these buildings can be most effectively and economically



**FIGURE 19: Dynamic tower features are frequently used with civic buildings**

done by varying exterior material and colors. Vertical circulation elements (stair and elevator towers) should be enhanced to create visual interest. Landscaping should be heavily relied upon to break up the mass of the structure.

C 1. The architectural expression of a civic structure should add grandness to the shapes of the building forms. While appropriate for the typical residential and retail resort architecture in the Town Center, a tri-partite composition is not ideally suited for civic structures. The charm of this Roman-originated proportional system is great for breaking down the scale of multi-story residential structures but is too limiting for the larger expression of civic structures.

C 2. The façades of civic buildings should make the community feel both welcome and a little bit in awe of the grand nature of the facility. There should be enough variation in the architecture massing to break down the scale of the walls to a pedestrian-friendly appearance.

C 3. Exterior walls should be very open so as to feel welcoming. This can be accomplished with areas of large windows. Rather than the look of privately-owned residences with small windows, the exterior wall fenestration of civic buildings should be large to reveal the public spaces within. Such large doors and windows also afford tremendous views from the public amenities inside the building up to Mt. Crested Butte and to the Mountaineer Square North town center.

### *C. Roofs*

Because of the hilly terrain in Mt. Crested Butte, roofs in the valley are very visible from the hillsides above. So, the character of roofs is very important.

R 1. All roof structures shall be designed to conduct rain, ice, drifting snow and snow-melt water away from pedestrian walkways, service areas or drive areas.

P 1. Roof shapes can vary from the typical gable forms of the residential

buildings. The intent is to give the building a distinctive quality appropriate to its unique public function.

P 2. The primary roof plane should be modulated in some manner to break the scale of this portion of the building. Since civic buildings are by nature different in function than residential or commercial buildings, its encouraged to use other means than dormers to break down the scale of the roof forms. Options include varying the roof planes, changing materials, breaking up long runs of eaves and ridges, etc. **FIGURE 20**

P 3. A cold roof construction assembly system is strongly recommended to prevent ice build-up.

P 4. Many Town residents will view parking garages from the hillsides above the valley floor. The top decks of the garages should have some visual interest, just as the side walls do. Varying the color of the concrete surfaces and the height of the edge railings to break up the long horizontal lines is encouraged.

C 1. In the same way that the exterior walls should express grandeur and a welcoming personality, so to should roofs.

C 2. Just as the character of the building is intended to be inspired by the natural setting, so to should the roof. There is even more opportunity to have this building element relate to the geometrically angular, surrounding mountain ridges, especially as it will be seen against the sky.

#### *D. Building Materials*

Civic buildings should have a clearly different expression from residential and commercial structures in the proportions of the openings and the materials of the exterior walls.

R 1. Roofing must be of materials that perform well in the adverse climate conditions in Mt. Crested Butte. Possibilities include but are not limited to; architectural grade asphalt shingles, cement tiles, metal tiles,



**FIGURE 20: Dynamic roof lines give character to the civic building**

standing seam metal panels, corrugated metal panels, etc.

P 1. Windows should have a large size to express a sense of welcome and transparency.

P 2. Stone, if used for walls or columns, should be of a larger scale than the small pieces seen in residential construction. The intent is to make this material more in proportion with the larger size and grandeur of the civic building. Panels of stone are appropriate for this type of building. These could have right angles or irregular (organic) shapes.

P 3. Metal or cement panel siding can be used which is durable and rugged in appearance. The amount of surface area should be broken up by trim borders, breaks in the wall plane, or juxtaposing with complementary materials.

P 4. Stucco can be used as long as the amount of surface area is broken up by control joints, trim borders, breaks in the wall planes or complementary materials.

P 5. Parking structures should have a variety of exterior materials on them; rusted metal siding, colored concrete, stucco, and stone are all materials that can be used to give definition to levels of buildings and change to long unbroken planes.

#### *E. Colors*

In this fun-loving, mountain resort setting, civic buildings can have a lively and expressive appearance that lends a strong personality to the structure.

R 1. The design team shall present all building colors to the Planning Commission for their approval during the design review phase of the submittal process. Actual color samples shall be affixed to a board and labeled according to use and location on the proposed building.

R 2. Colors of paint used on wall surfaces must be in conformance with

the Town's regulations is association with The Munsell Book of Color and approved by the Town of Mt. Crested Butte. Architectural details such as doors, window frames and trim, roof soffits and eaves, and overhangs may introduce a stronger palette of color to create visual richness.

P 1. It's recommended that wall materials are specified with a muted and non-reflective color. However, it is allowable to select wall colors that may be more distinctive than the typical resort buildings, given the unique civic nature of the facility.

P 2. It's recommended that roof materials are specified with a muted and non-reflective color. However, it can be appropriate to select a roof color that may be more distinctive than the typical resort buildings, given the unique civic nature of the facility.

C 1. If stain is used on wood surfaces it should be semi-transparent, natural or weathering.

#### *F. Foundations*

The foundation wall of a building may be a cast-in-place concrete retaining or basement wall or a structural wall complete with load-bearing pilasters.

R 1. Finish materials such as stone and siding shall be applied to the concrete foundations that extend above grade and are visible from adjacent properties.

P 1. The designers should detail foundation walls, so they are not exposed. Sometimes it's unavoidable on steeply sloping sites, but in all cases, it should be minimized. If exposed, the appearance of a building foundation should be minimized by a variety of methods detailed below.

P 2. In some instances, materials such as siding or synthetic stone, can't extend into the grade around the building without damaging the materials. In these cases, the foundation may be exposed to the

minimum manufacturer's recommendations.

### *G. Doors and Windows*

Civic buildings have distinctive fenestration that creates a feeling of welcome and grandeur.

R 1. Entry doors shall have a high degree of visibility.

R 2. Skylights shall be proportional to windows and the locations shall be fully integrated with the roof design.

P 1. The entry doors should have large areas of uninterrupted glass to dissolve the sense of indoor to outdoors. Small glass panes with mullions are appropriate for residential projects but not for civic structures.

P 2. Service area garage doors should be unobtrusive in both detailing and color. They should be integrated with the composition of the building façade and shall not visually compete with the primary entrance to the building.

P 3. Civic buildings should have large areas of windows to open the building up as a welcoming gesture.

P 4. Window glazing should have low reflectivity and high transparency, with a minimum amount of tinting. However, given the greater amount of glazing in civic buildings, it is appropriate to use treatments like tinting and low emissivity films to reduce glare and heat gain on south exposures.

### *H. Architectural Ornamentation*

Adds interest and creates unique identities for civic buildings.

R 1. New construction shall include simplified interpretations of architectural detailing that has been historically prevalent in the Crested

Butte locale. Civic buildings should use architectural details that enhance the expression of the building. It's more appropriate in the 21st century that the exterior character of civic buildings should have contemporary expression that abstracts, rather than copies, traditional cornices, arches, brackets and railings.

R 2. Buildings that exceed one story shall have some detailing to demark the distinction between floor levels, especially on the main street exposures. However, this can be accomplished in a more contemporary manner than that for residential structures.

P 1. The entrance to parking structures should be built in such a way as to shed snow to either side and be detailed to give a more inviting feel. At entrances, timber or other mountain rustic accents should be used to diminish the industrial appearance.

#### *I. Awnings*

These are not typical elements on civic buildings but may appear as a part of a system of sun shading.

R 1. If used, awnings shall be constructed out of durable materials, rather than the more delicate cloth used in residential and retail construction.

R 2. They shall be sized in proportion to the window frames and shouldn't obscure window details.

#### *J. Screening*

Because of the hilly terrain in Mt. Crested Butte, rooftop mechanical systems and service areas can often be seen from above. It's especially important to screen these.

R 1. Screening of rooftop mechanical equipment is required and shall be integrated in the building and roof design.



R 2. Mechanical equipment mounted on the ground shall be screened from public view using opaque fencing or dense plant foliage. Fencing shall be compatible with the materials and forms of the building.

P 1. Loading docks, dumpster areas and service areas should be screened from public view using opaque fencing, garage doors or dense plant foliage. Fencing shall be compatible with the materials and forms of the building.

#### *K. Decks and Balconies*

Can be utilized to add character to the exterior wall elevations of buildings.

R 1. Materials shall be consistent in character and compatible with exterior materials of the building.

P 1. These elements should be shaped in proportion to the overall composition of the building facades. You would expect them to be larger in scale than those found in residential buildings

P 2. Railings should be designed for maximum transparency so as not to look heavy or block views.

#### *L. Downspouts*

Should be considered architectural features.

R 1. Shall be constructed of high quality, durable materials and integrated with the building elevations.

#### *M. Mechanical systems*

Should be unobtrusive.

R 1. Equipment located on the ground shall be screened as called out in section J.

P 1. The color of roof top mechanical equipment should be either dark or finished to match the color of the adjacent roof areas.

#### *N. Utility Systems*

Should be unobtrusive.

R 1. Meters located on the walls of the building shall be enclosed in a structure that blends with the exterior of the building.

R 2. Equipment located on the ground shall be screened as called out in section J.

P 1. The color of roof top electrical equipment should be either dark or finished to match the color of the adjacent roof areas.

### III. EXTERIOR LIGHTING

Intent: Lighting for civic buildings is exempt from residential standards and should be considered on a case by case basis for each building and each individual placement of a light.

R 1. Up lighting of civic buildings shall be avoided in order to preserve the dark sky of Mt. Crested Butte.

P 1. Parking garage lights and civic building lighting should relate in appearance to the established lights used in the Mountaineer Square neighborhood.

### IV. SIGNAGE

Intent: To ensure that signs are sized and located to convey information in an attractive but not garish manner. The appearance should be in character with the architecture of the civic building. Due to the public function of civic buildings, it's appropriate to have signage that is more

demonstrative than typically used for residential, retail or commercial structures. Refer to Chapter 16 of the Mt. Crested Butte Town Code for more guidance in sign specifics.

R 1. Electronically programmable signs are permitted to advertise upcoming civic, entertainment, or business events. However, they shall not have animated (moving) images because that appearance is not appropriate for the Town setting.

R 2. Marquee signs shall not project no more than 5 feet from the plane of the wall on which they are mounted.

R 3. Internally illuminated signs are permitted. They shall not flash.

R 4. Placement of monument signage away from the building shall not impede pedestrian, automobile, or emergency vehicle visibility, especially along sight lines at street intersections.

P 1. The detailing of signage should be derivative of the building architecture character in pattern, geometry / massing, and materials. Highly reflective materials are prohibited.

P 2. Sign colors should complement the architectural details of the civic building. Accent luminaries are permitted as ornamental elements for civic buildings, in very limited amounts.

## V. PUBLIC ART

Intent: To create dynamic and memorable public experiences at and around civic buildings.

### A. Murals

There is a long tradition of murals artistically applied to the walls of civic buildings.

R 1. Proposals for murals shall be submitted to the Downtown Development Authority and to the Planning Commission for review and approval, prior to installation. This shall consist of a representation of the art work shown on the wall of the building, presented on an illustrative board. All proposals must be done to scale, so they can be accurately evaluated in comparison to their proposed location.

*B. Sculptures*

There is a long tradition of sculptural art used in concert with civic buildings.

R 1. Proposals for sculpture shall be submitted to the Downtown Development Authority and to the Planning Commission for review and approval, prior to installation. This shall consist of a representation of the art work shown in relation to the building, presented on an illustrative board. All proposals must be done to scale, so they can be accurately evaluated in comparison to their proposed location.

R 2. Shall not impede pedestrian or automobile movement or visibility, especially along sight lines at street intersections.

R3. Shall not impede emergency vehicle movement or visibility, especially along sight lines at street intersections.

*C. Music*

Civic buildings will enhance the experience for the community in the Town Center. Music performances will be regularly programmed to occur outside of civic buildings.

*D. Seasonal Decorations*

R 1. Seasonal decorations, other than lighting, that are temporary in nature are permitted for 60 days prior to the scheduled celebration and must be removed 60 days after the designated celebration.

*E. Temporary Installations*

R 1. Special event and supersize graphics to be installed in conjunction with a festival event or special function must attain a sign permit from the Town of Mt. Crested Butte prior to scheduled events.