

VICINITY MAP

HB	HOSE BIBB	O	OA	OVERALL
HD	HEAD	OC	OC	ON CENTER
HDB	HEAD BOARD	OD	OD	OUTSIDE DIAMETER
HDNR	HARDENER	OF	OFF	OFFICE
HDWD	HARDWOOD	OPNG	OPEN	OPENING
HDWR	HARDWARE	OPP	OPP	OPPOSITE
HM	HOLLOW METAL	P		
HORIZ	HORIZONTAL	P	PA	PAGE
HR	HOUR	PA	PA	PUBLIC ADDRESS
HT	HEIGHT	PAR	PAR	PARALLEL
HTG	HEATING	PARTN	PARTN	PARTITION
HU	HEATER	PL	PL	PORTLAND CEMENT PLASTER
HWC	HANDICAPPED URINAL	PERP	PERP	PERPENDICULAR
HYD	HYDRANT	PLAM	PLAM	PLASTIC LAMINATE
I		PL	PL	PROPERTY LINE
IC	INTERCOM	PLAS	PLAS	PLASTER
ID	INSIDE DIAMETER	PLBG	PLBG	PLUMBING
IN	INCHES	PLYWD	PLYWD	PLYWOOD
INDIV	INDIVIDUAL	PNL	PNL	PANEL
INSUL	INSULATION	PNLG	PNLG	PANELLING
INT	INTERIOR	PR	PR	POURED GYPSUM
INV	INVERT	PREFAB	PREFAB	PREFABRICATED
J		PT	PT	PAINT
JST	JOIST	PTD	PTD	PAINTED
JT	JOINT	PTR	PTR	PAPER TOWEL
K				RECEPTACLE
KIT	KITCHEN	R		
L		R	R	RADIUS
LAM	LAMINATE	RA	RA	RETURN AIR
LAV	LAVATORY	RCP	RCP	REFLECTED CEILING PLAN
LGTH	LENGTH	RD	RD	ROOF
LKR	LOCKER	RECP	RECP	RECEIPT
LT	LIGHT	REF	REF	REFRIGERATOR
M		REIN	REIN	REINFORCING
MAS	MASONRY	REV	REV	REVERSED
MAS BLK	MASONRY BLOCK	REQD	REQD	REQUIRED
MATL	MATERIAL	RFG	RFG	ROOFING
MAX	MAXIMUM	RPH	RPH	ROLLED PAPER HOLDER
MB	MARKER BOARD	S		
MC	MISC. CHANNEL	S	S	SOUTH
MECH	MECHANICAL	SCHED	SCHED	SCHEDULE
MFR	MANUFACTURE(R)	SHR	SHR	SHOWER CURTAIN ROD
MN	MANHOLE	SD	SD	SOAP DISPENSER
MI	MIRROR	SECTION	SECTION	
MIN	MINIMUM	SH	SH	SHOWER HEAD
MO	MASONRY OPENING	SHEET	SHEET	
MTD	MOUNTED	SHWR	SHWR	SHOWER
MTGHT	MOUNTING HEIGHT	SIM	SIM	SIMILAR
MTL	METAL	SMLS	SMLS	SEAMLESS
N		SND	SND	SANITARY NAPKIN DISPENSER
N	NORTH	SP CTG	SP CTG	SPECIAL COATING
NIC	NOT IN CONTRACT	SPEC	SPEC	SPECIFICATION
NO	NUMBER	SPKR	SPKR	SPEAKER
NOM	NOMINAL	SQ	SQ	SQUARE
NTS	NOT TO SCALE	SS	SS	SEAMLESS STEEL
		STD	STD	STANDARD
		STL	STL	STEEL
		STOR	STOR	STORAGE
		STRUCT	STRUCT	STRUCTURAL

	EARTH/ PREPARED SUBGRADE
	GRAVEL, STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND,GROUT,MORTAR
	IRON,STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO

$$12'' = 1'-0''$$



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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

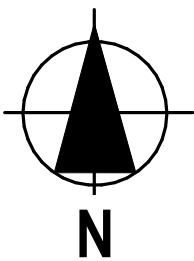
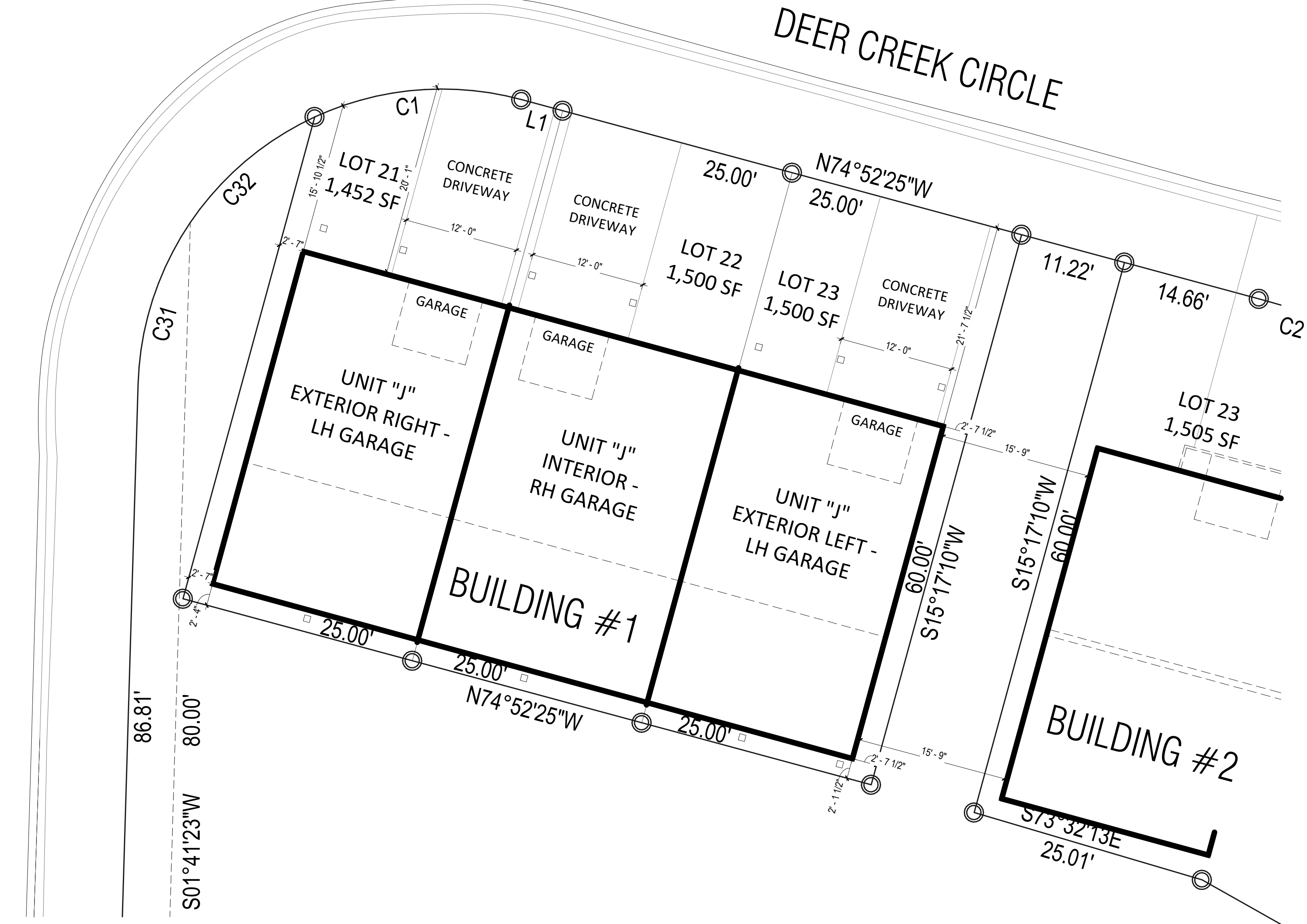
400 N. Main Street
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LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'



1 PLOT PLAN
1/8" = 1'-0"

No.	Description	Date

SCALE: 1/8" = 1'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
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PLUMBING GENERAL NOTES

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No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
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BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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100% COMPLETE CONSTRUCTION
DOCUMENTS

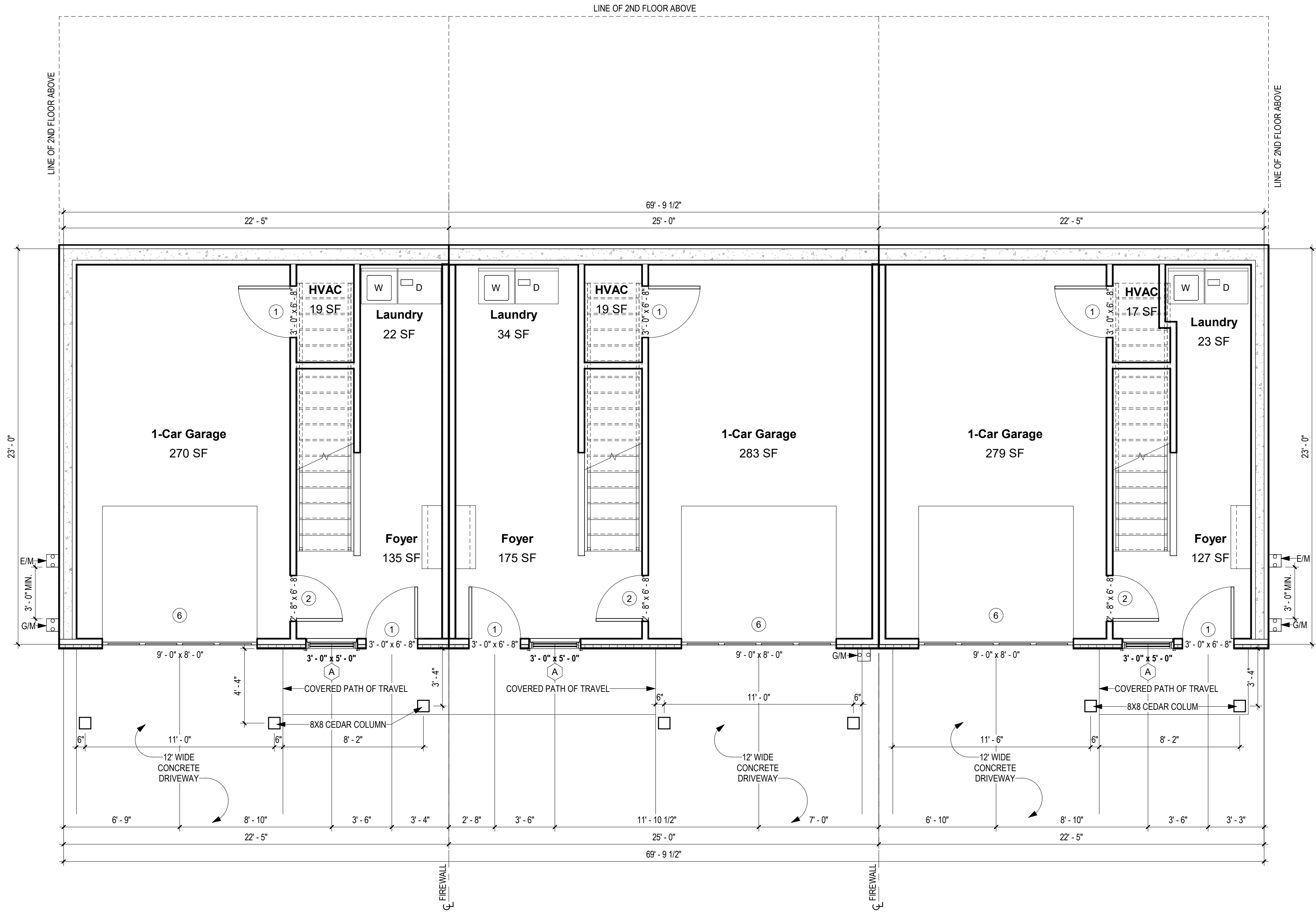
Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
TRIPLEX - 1ST
FLOOR PLAN

SCALE:

As indicated

1 BUILDING #1 PLAN - 1ST FLOOR
1/4" = 1'-0"



NOTES
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CONSULTANTS:

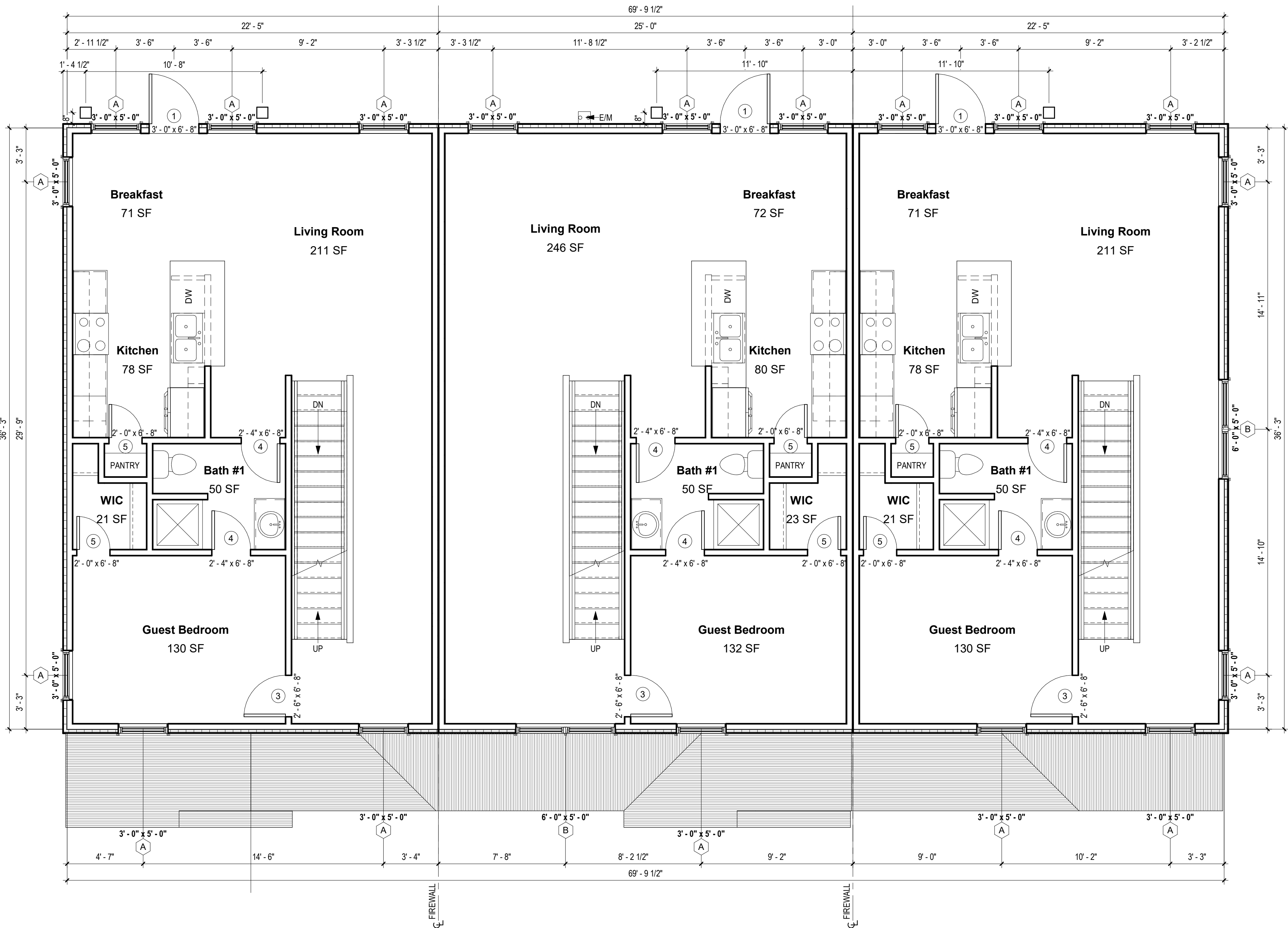
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1. BUILDING #1 PLAN - 2ND FLOOR
1/4" = 1'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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A-101.1
TRIPLEX - 2ND
FLOOR PLAN

SCALE:

As indicated

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6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
7. DO NOT SCALE DRAWINGS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
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13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
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22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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No.	Description	Date



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207 Caddo St.

Ardmore, OK 73401

580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

CONSULTANTS:

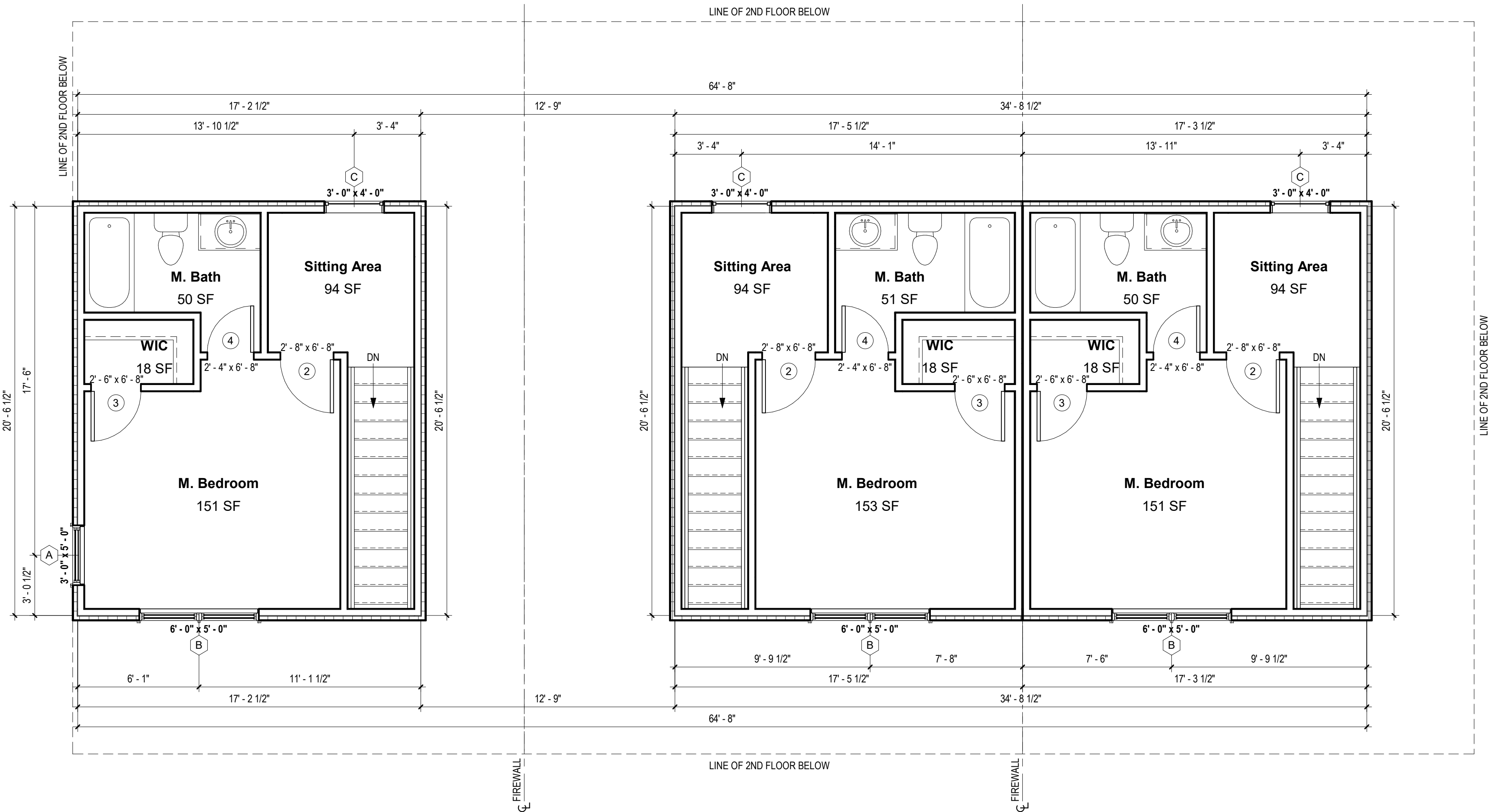
STRUCTURAL

Williams Engineering

400 N. Main Street

Gunnison, CO 81230

(PH) 970.641.2499



1 BUILDING #1 PLAN - 3RD FLOOR
1/4" = 1'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.2
TRIPLEX - 3RD
FLOOR PLAN

SCALE:

As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - 32-29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

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- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
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Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

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(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

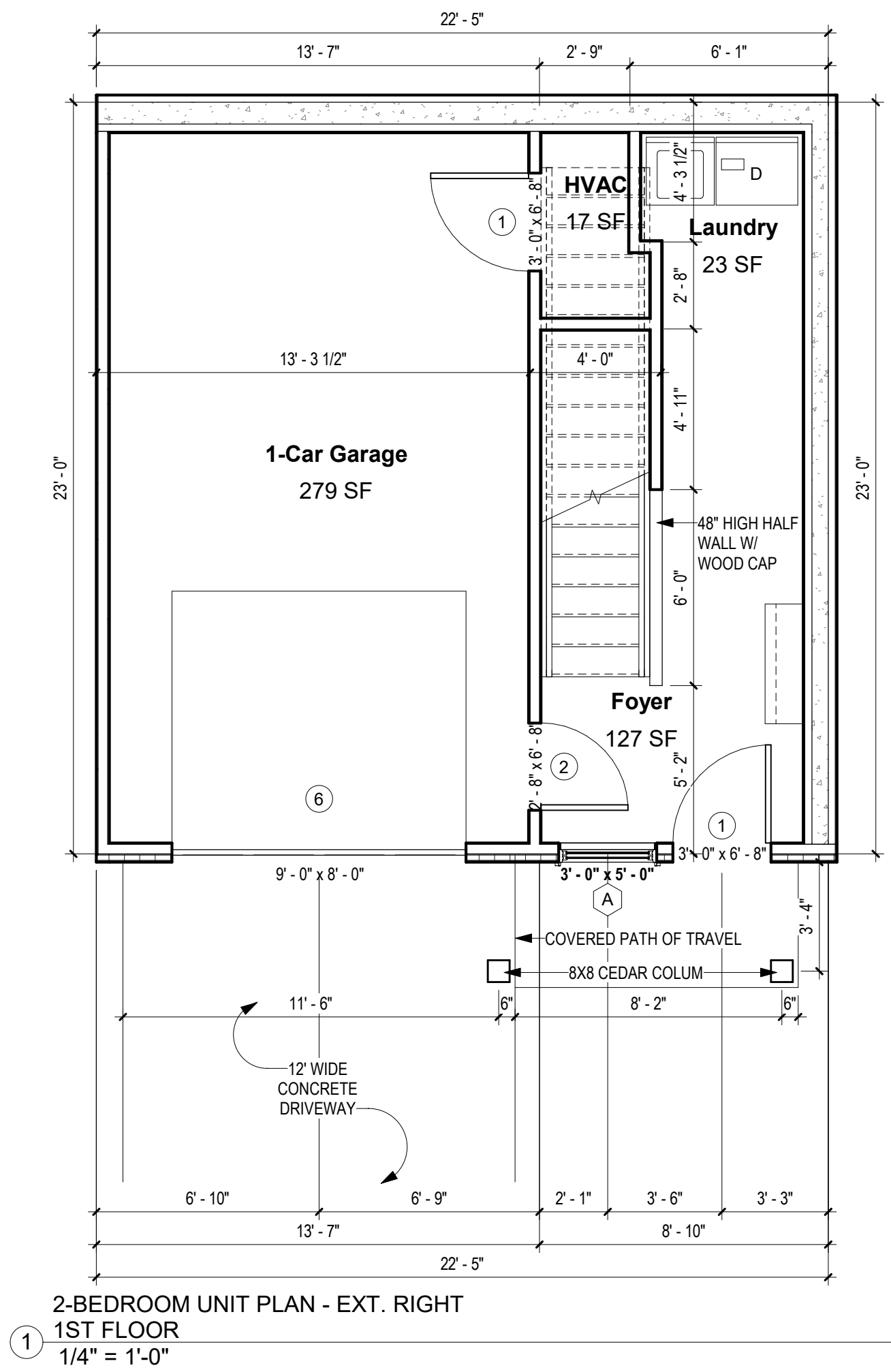
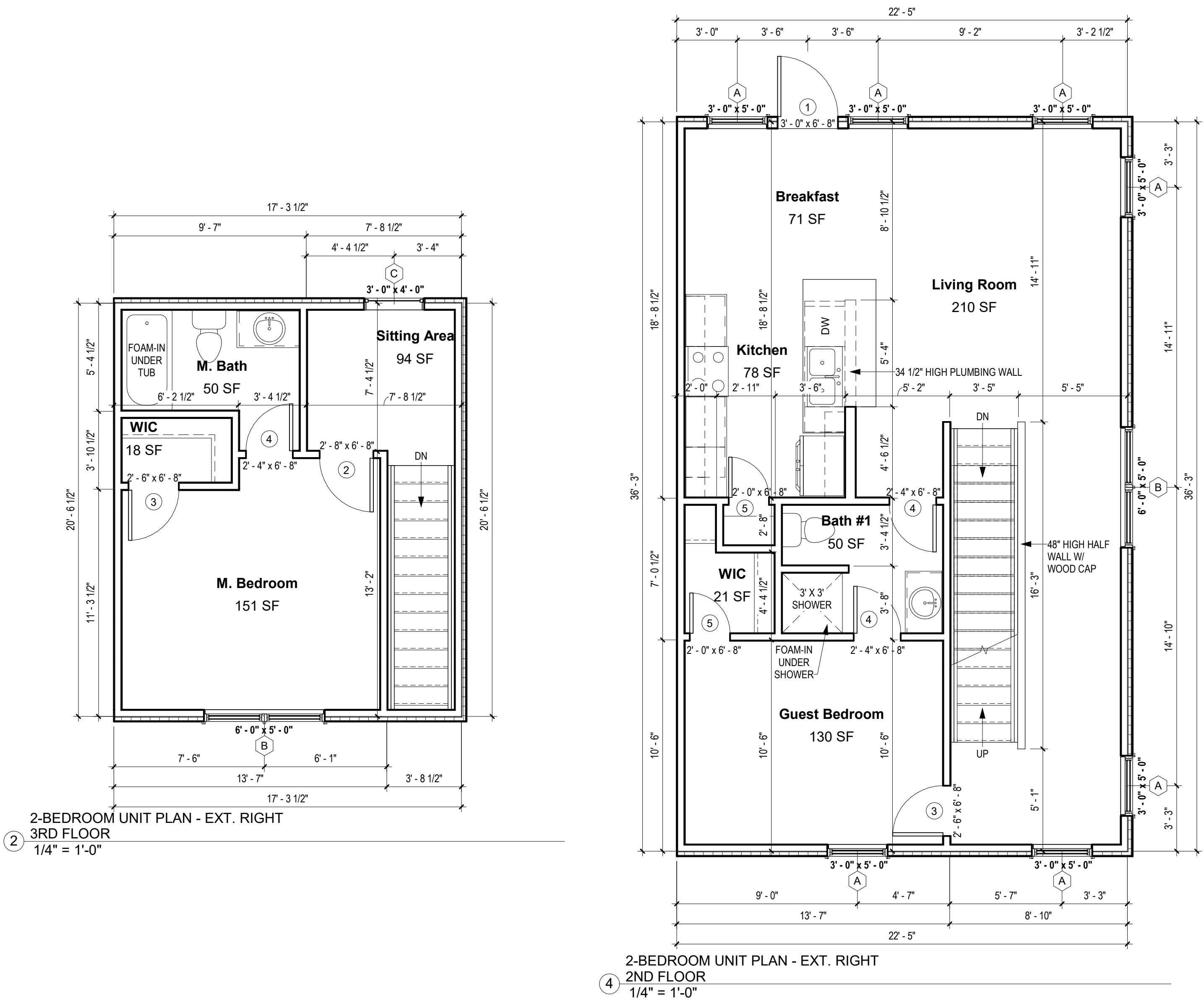
Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.3
EXTERIOR RIGHT -
UNIT "J" FLOOR
PLANS

SCALE:

As indicated

4/17/2020 11:59:15 AM



NOTES
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PLAN GENERAL NOTES

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The Prospect Homestead
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BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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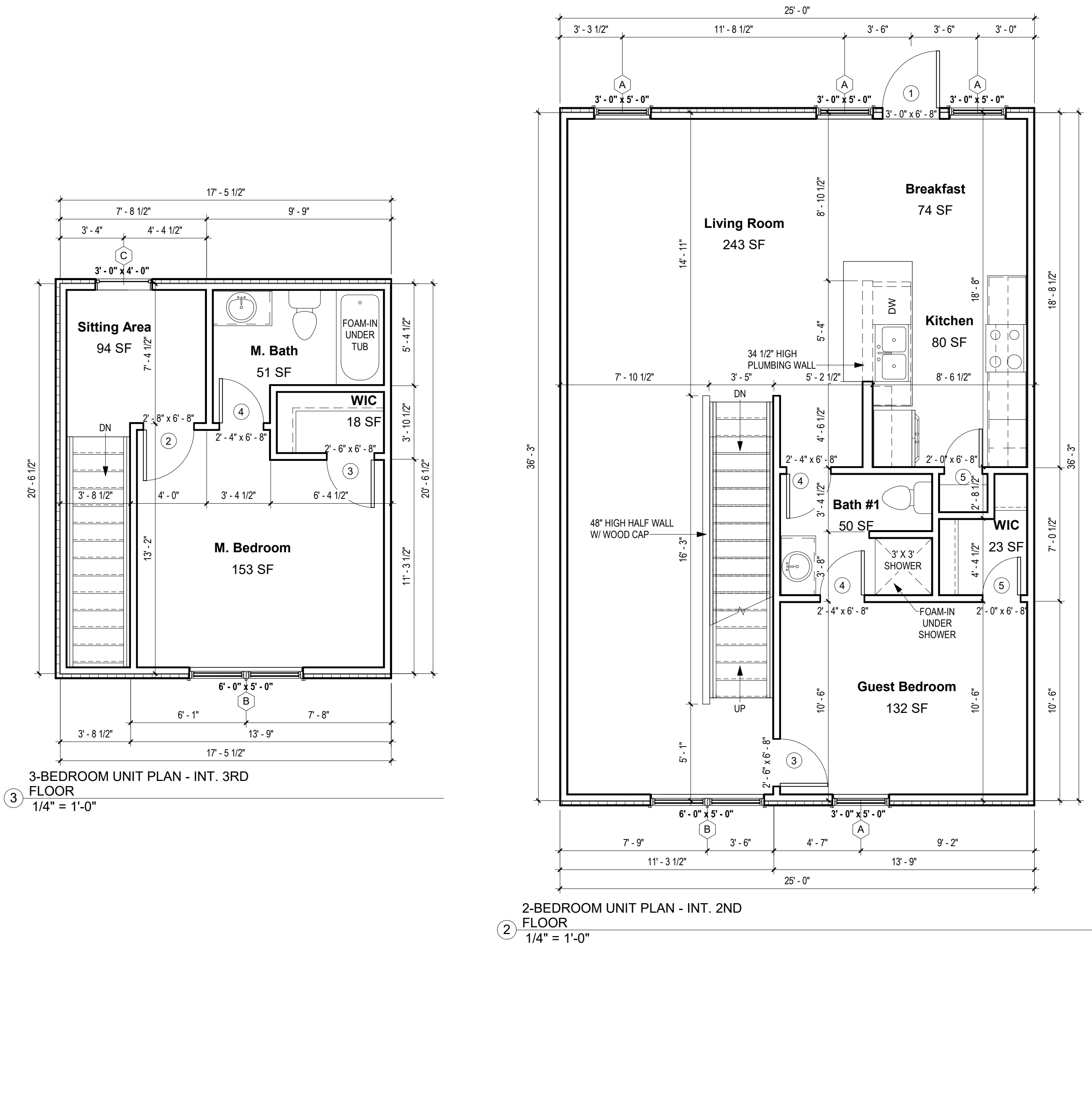
04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.4
INTERIOR - UNIT "J"
FLOOR PLANS

SCALE: As indicated



2-BEDROOM UNIT PLAN - INT. 1ST FLOOR
1/4" = 1'-0"

1

NOTES
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16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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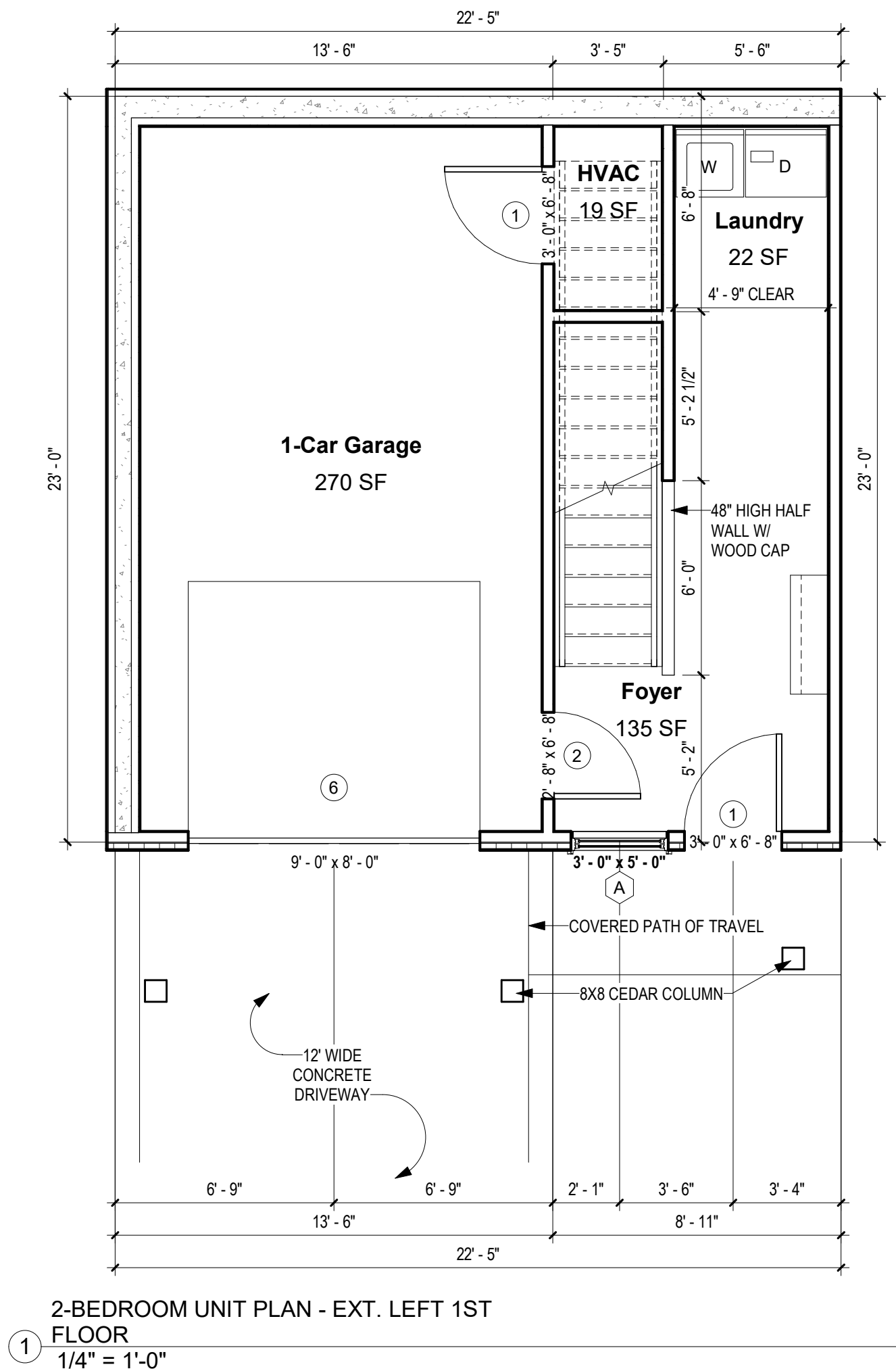
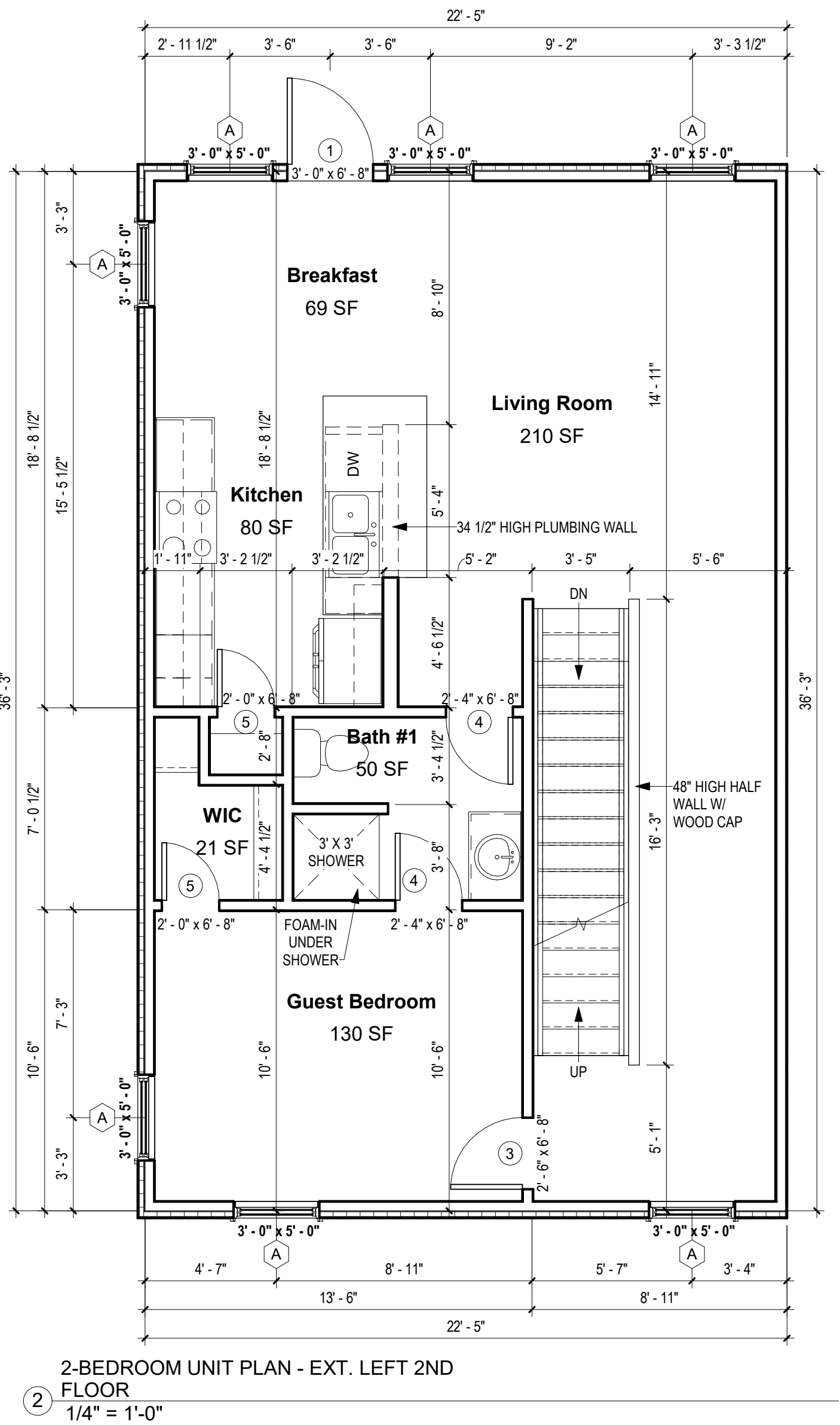
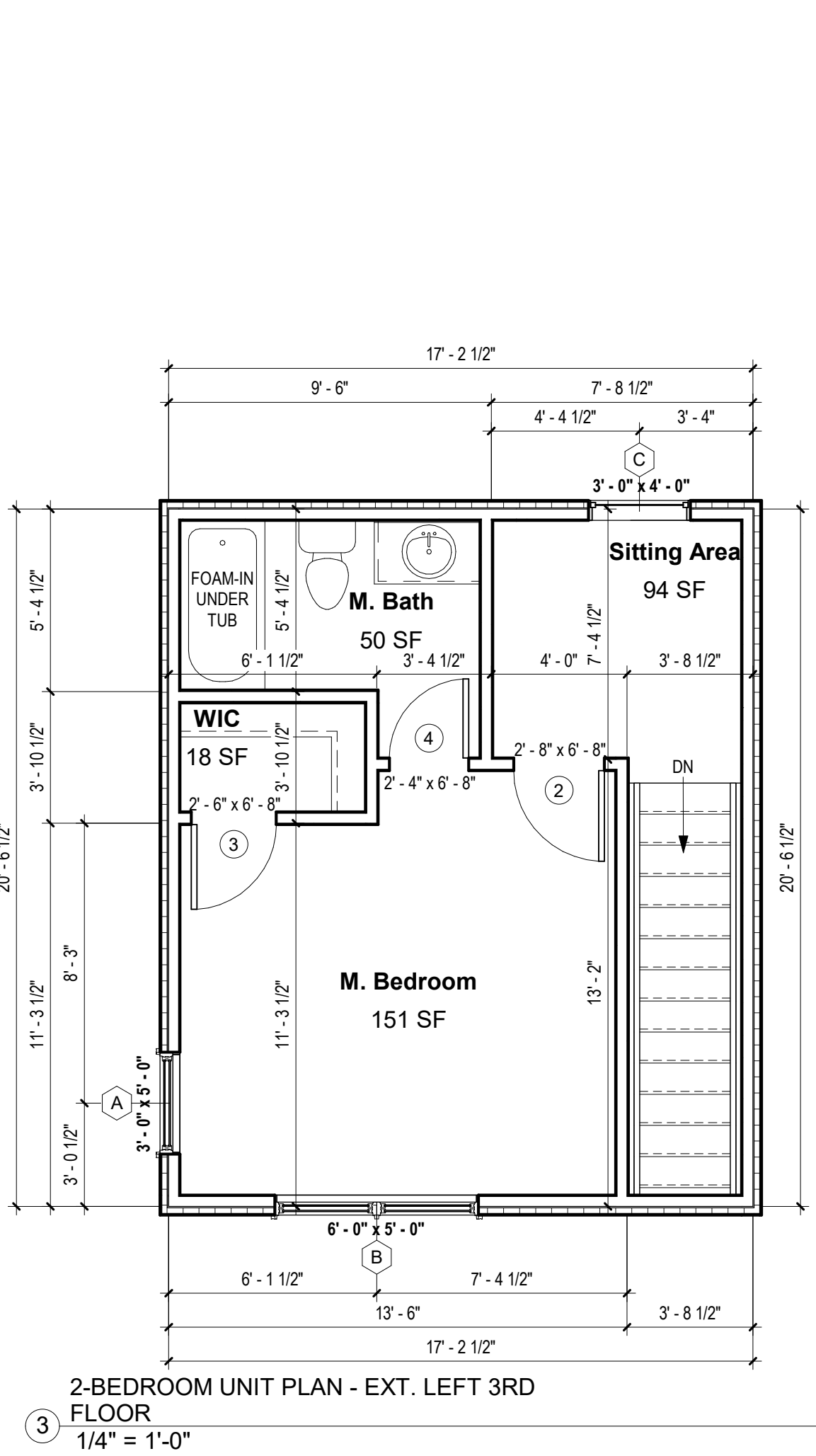
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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.5
EXTERIOR LEFT -
UNIT "J" FLOOR
PLANS

SCALE:

As indicated



NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
2. ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



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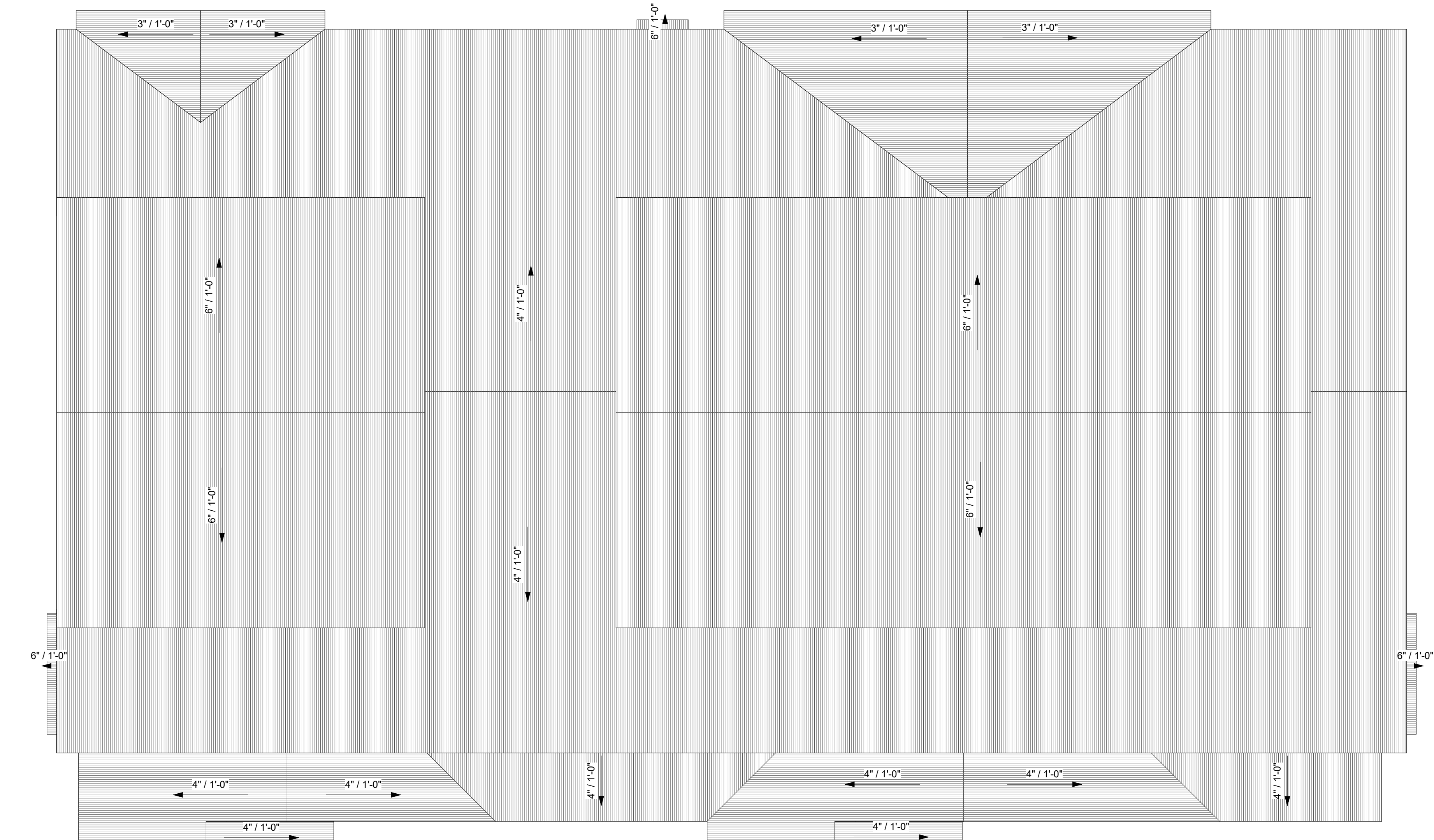
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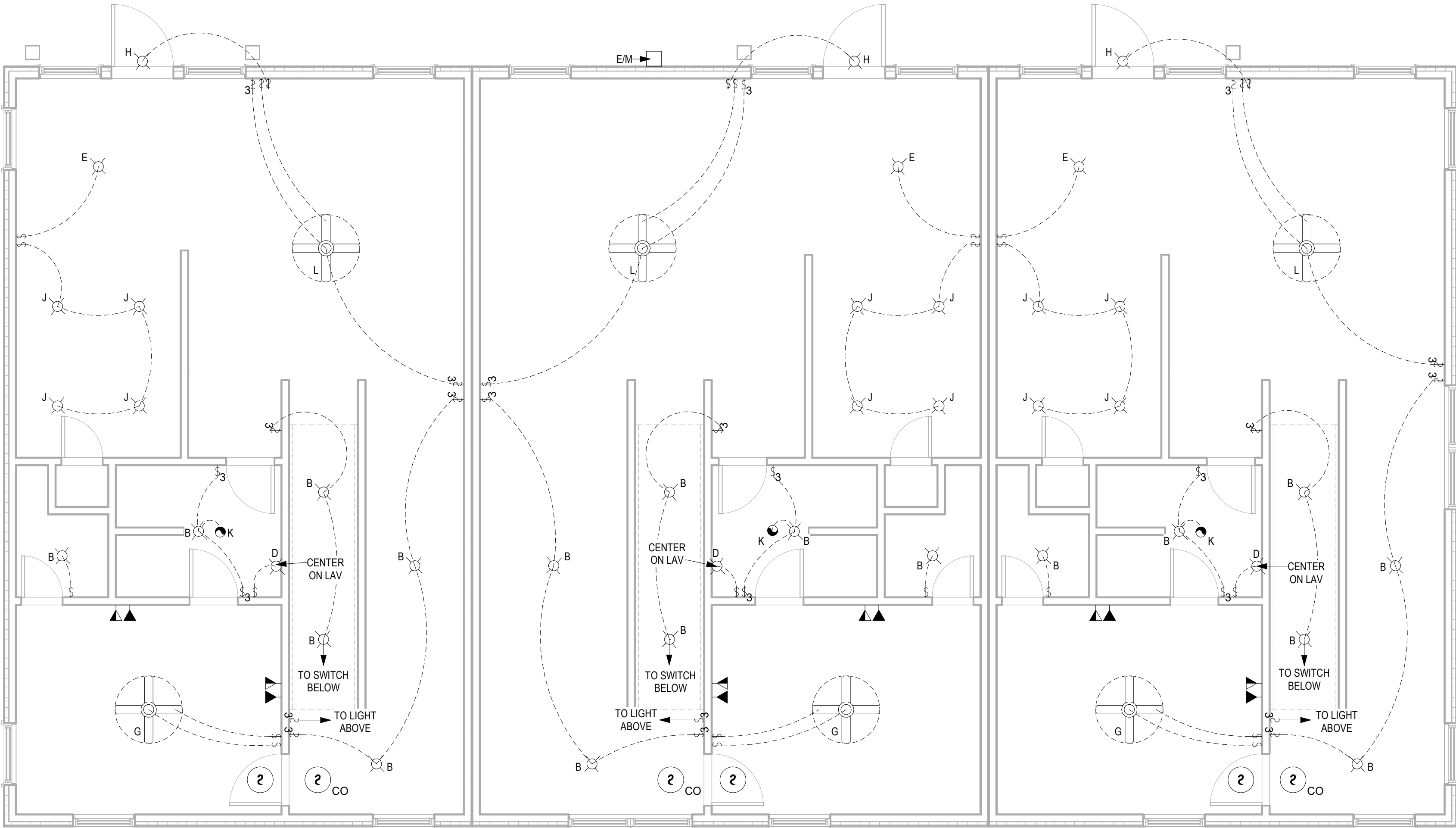
A-102
ROOF PLAN

No.	Description	Date

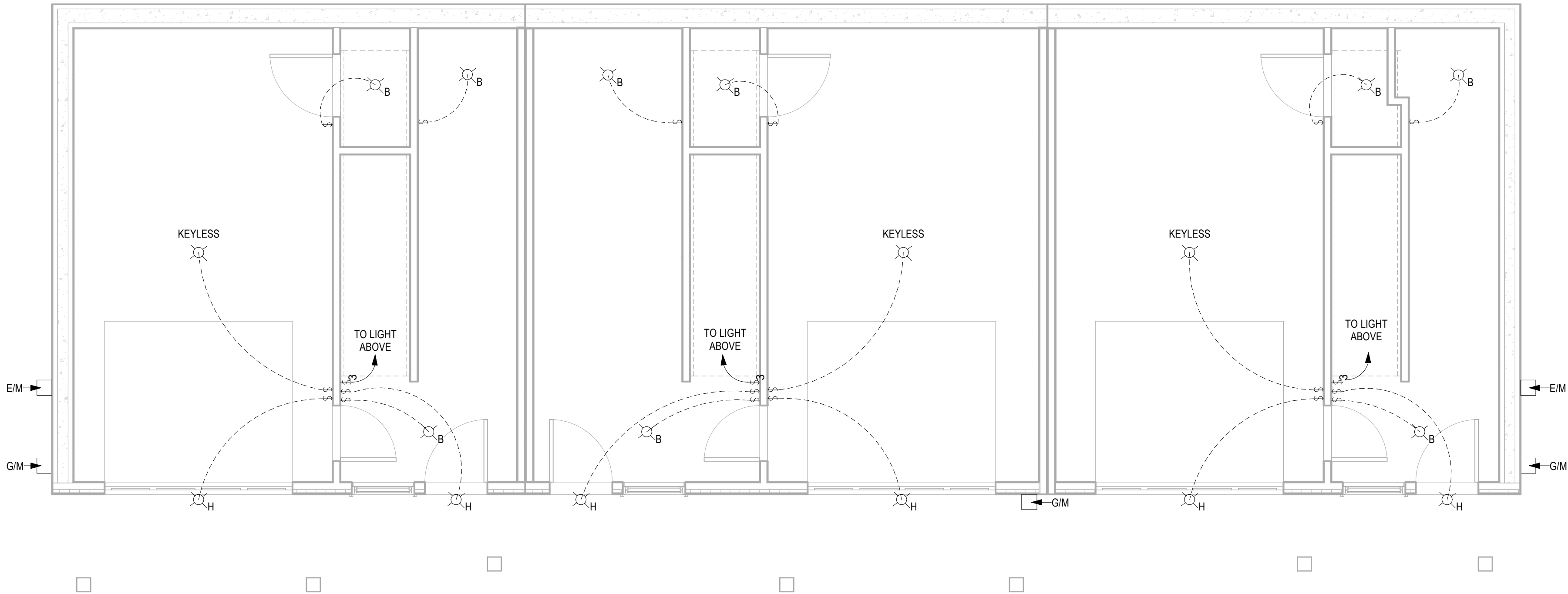
SCALE: As indicated



1 ROOF PLAN
1/4" = 1'-0"



2 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"



1 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"

ELECTRICAL LEGEND / SCHEDULE			
⊗A	WALL MOUNT FIXTURE, 36" WIDE	⦿K	BATHROOM EXHAUST FAN
⊗B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	▲	PHONE / DATA
⊗C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	△	PHONE
⊗D	WALL MOUNT FIXTURE, 24" WIDE	▲	CABLE
⊗E	5-LIGHT CHANDELIER	⊗G	52" FAN, WITH LIGHT KIT
⊗F	EXTERIOR FLOODLIGHT	⊗L	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
⊗H	GOOSENECK LIGHT FULL CUT-OFF		
⊗J	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			

GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED OTHERWISE.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



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**The Prospect Homestead
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**BUILDING #1 -
TRIPLEX UNIT "J"**
2-BEDROOM PLANS

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Date 04.28.2020
Drawn by MML
Checked by EAW

A-103 ELECTRICAL PLAN

No.	Description	Date

SCALE:

As indicated



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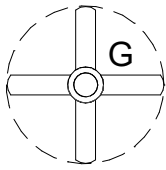
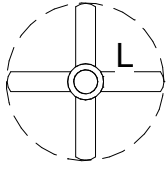
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Date 04.28.2020
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Checked by EAW

A-103.1
ELECTRICAL PLAN

SCALE:

As indicated

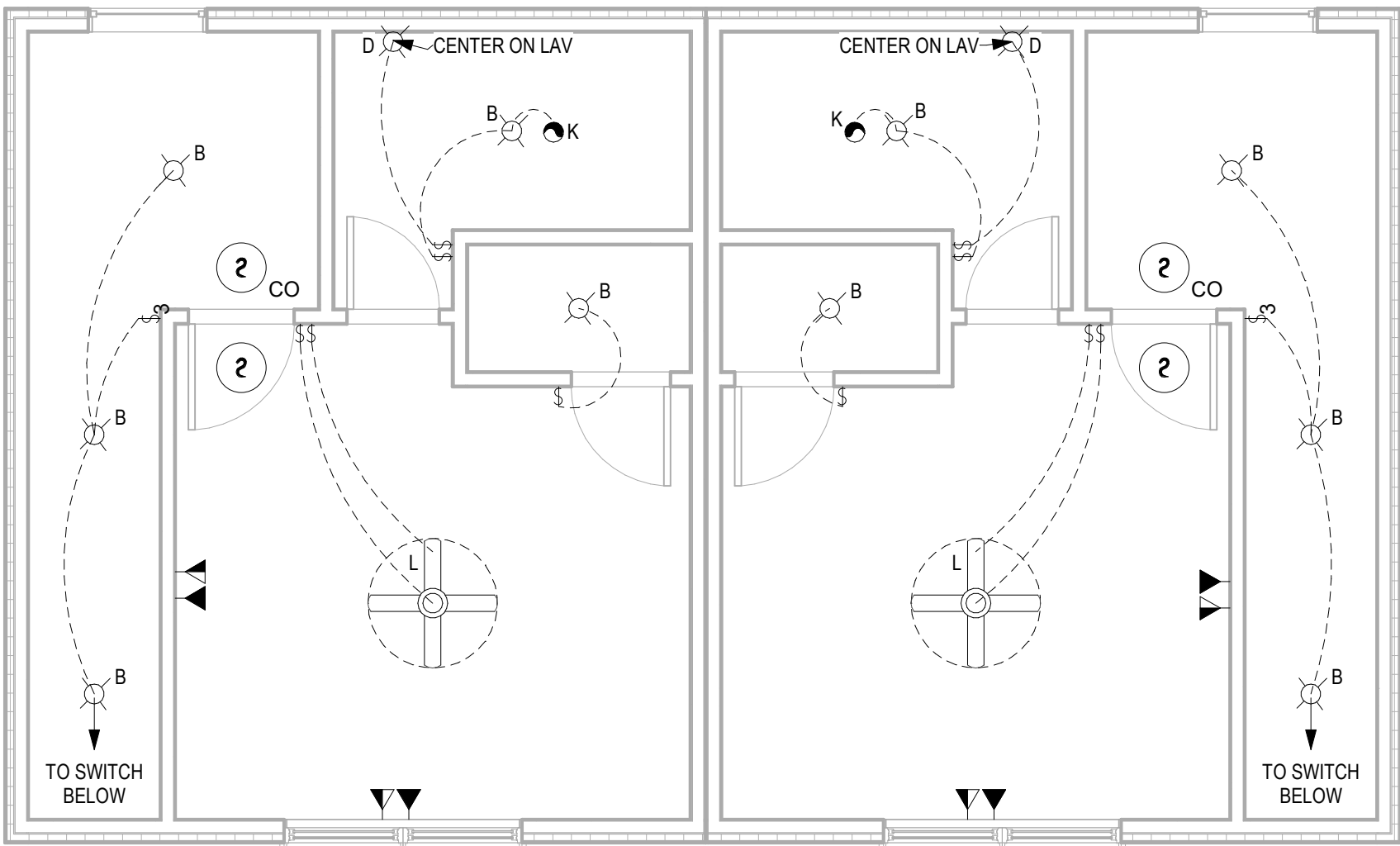
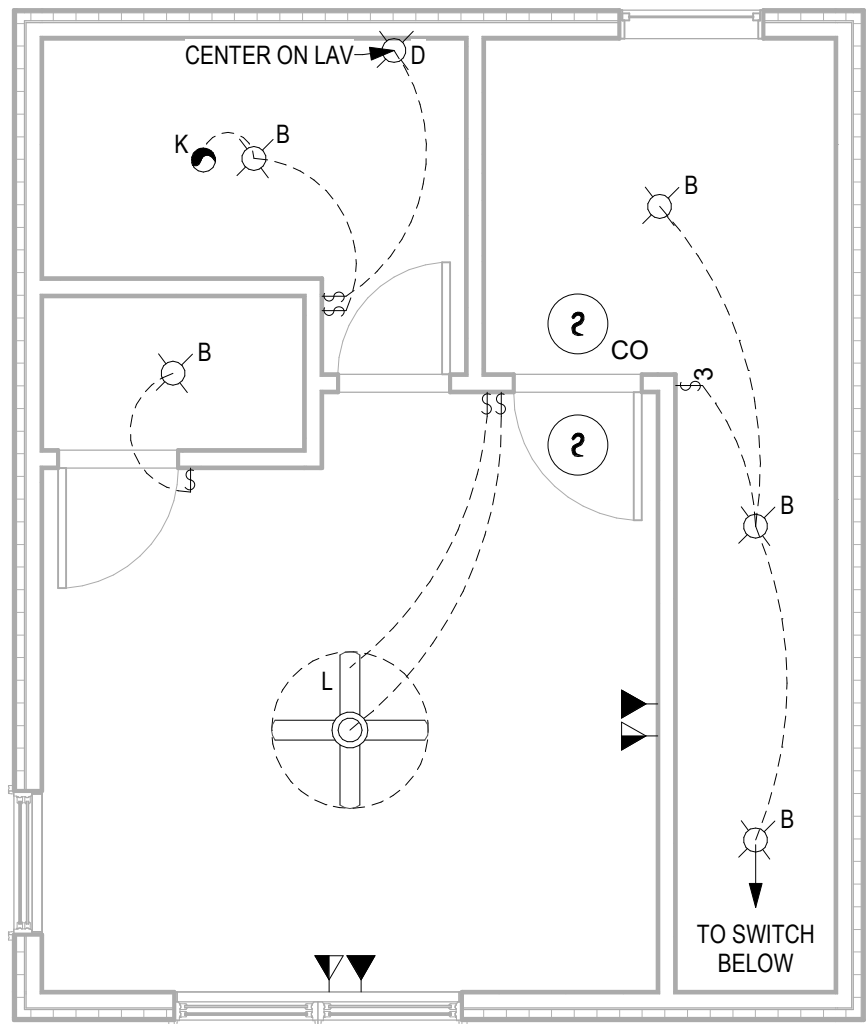
ELECTRICAL LEGEND / SCHEDULE			
⊗A	WALL MOUNT FIXTURE, 36" WIDE	⦿K	BATHROOM EXHAUST FAN
⊗B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	▲	PHONE / DATA
⊗C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	△	PHONE
⊗D	WALL MOUNT FIXTURE, 24" WIDE	▲	CABLE
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SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			

GENERAL ELECTRICAL NOTES:

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- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



1 ELECTRICAL PLAN - 3RD FLOOR
1/4" = 1'-0"

No.	Description	Date



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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.

c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.

e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.

g. Or insulation sufficient to fill the framing cavity, R-19 minimum.

h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

A-104.1
PRESCRIPTIVE
TABLE

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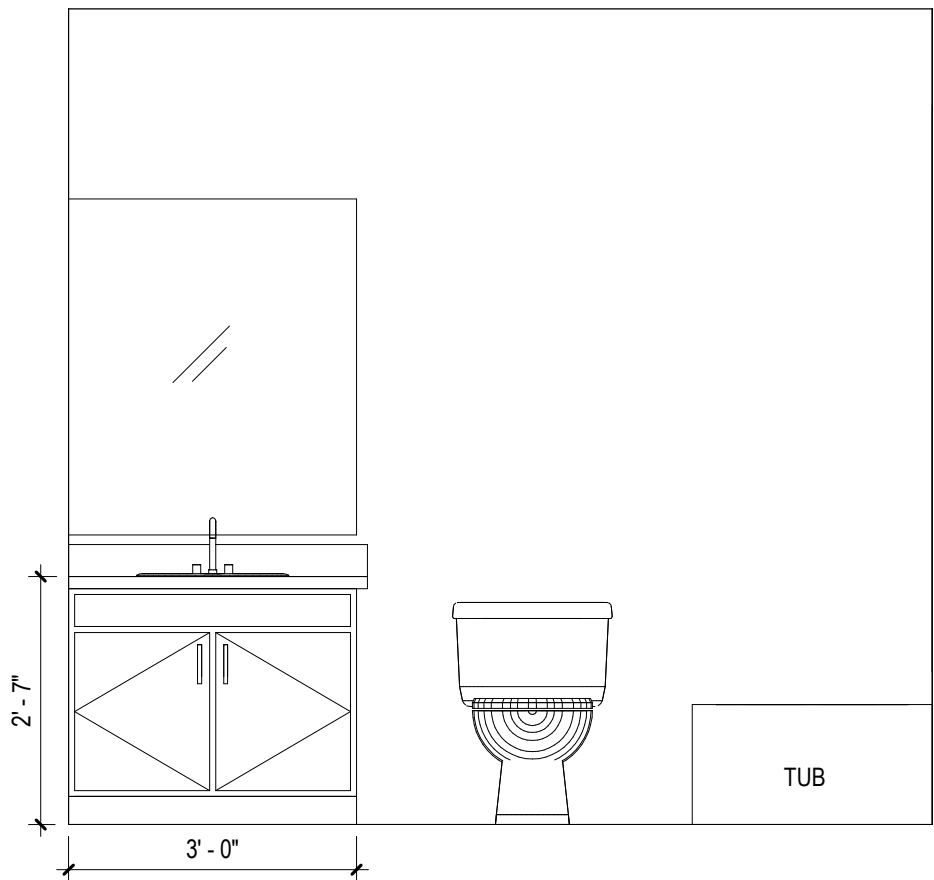
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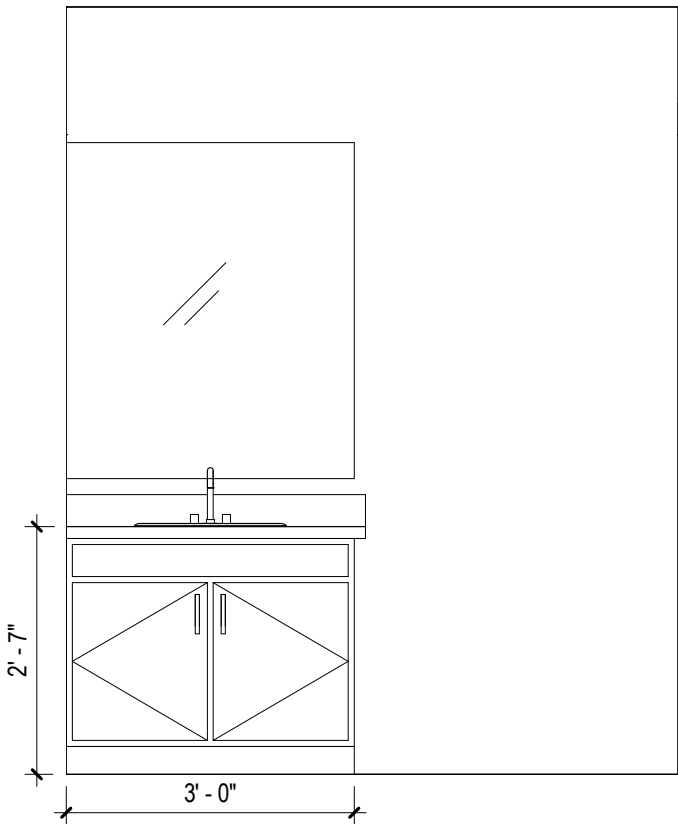
**A-105
CABINET LAYOUT &
ELEVATIONS**

SCALE:

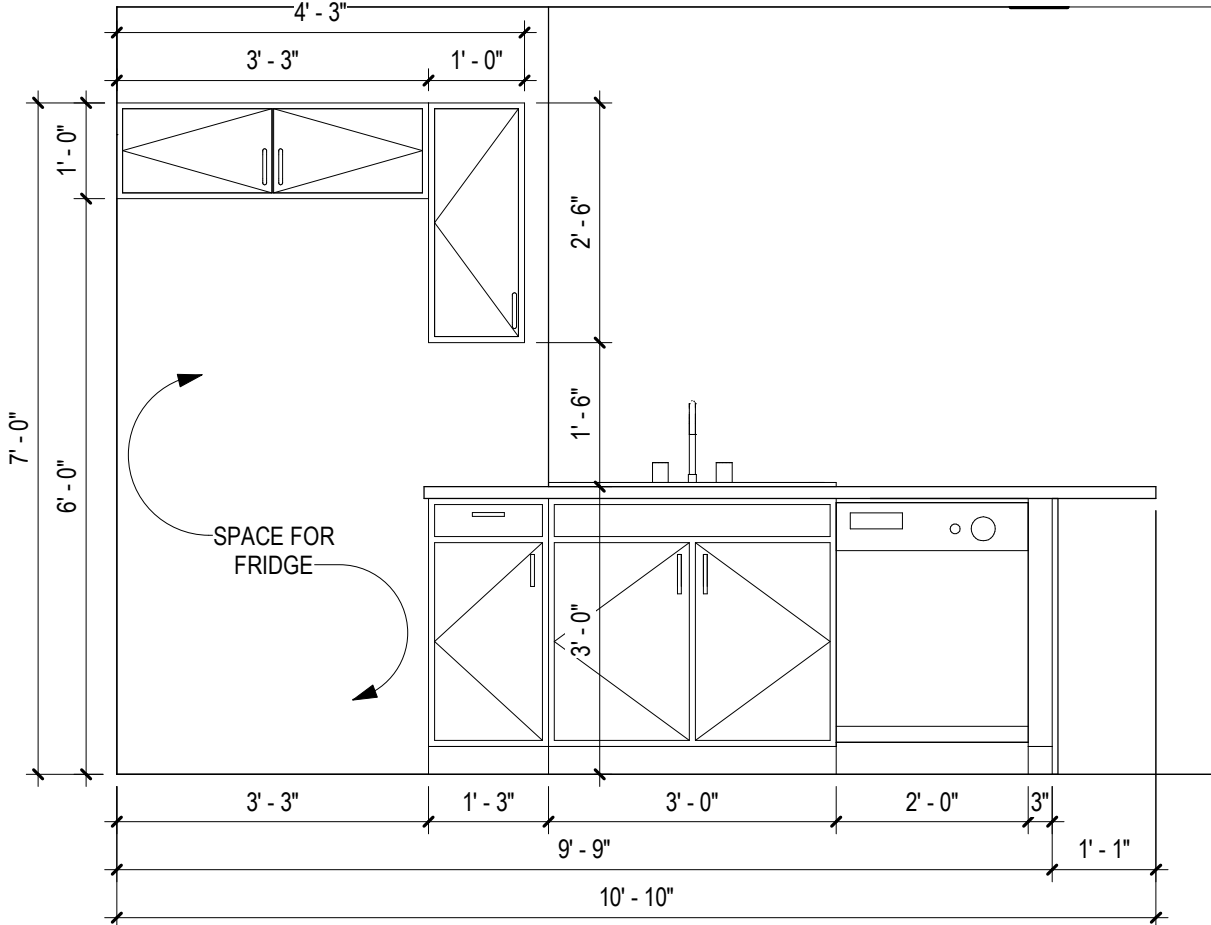
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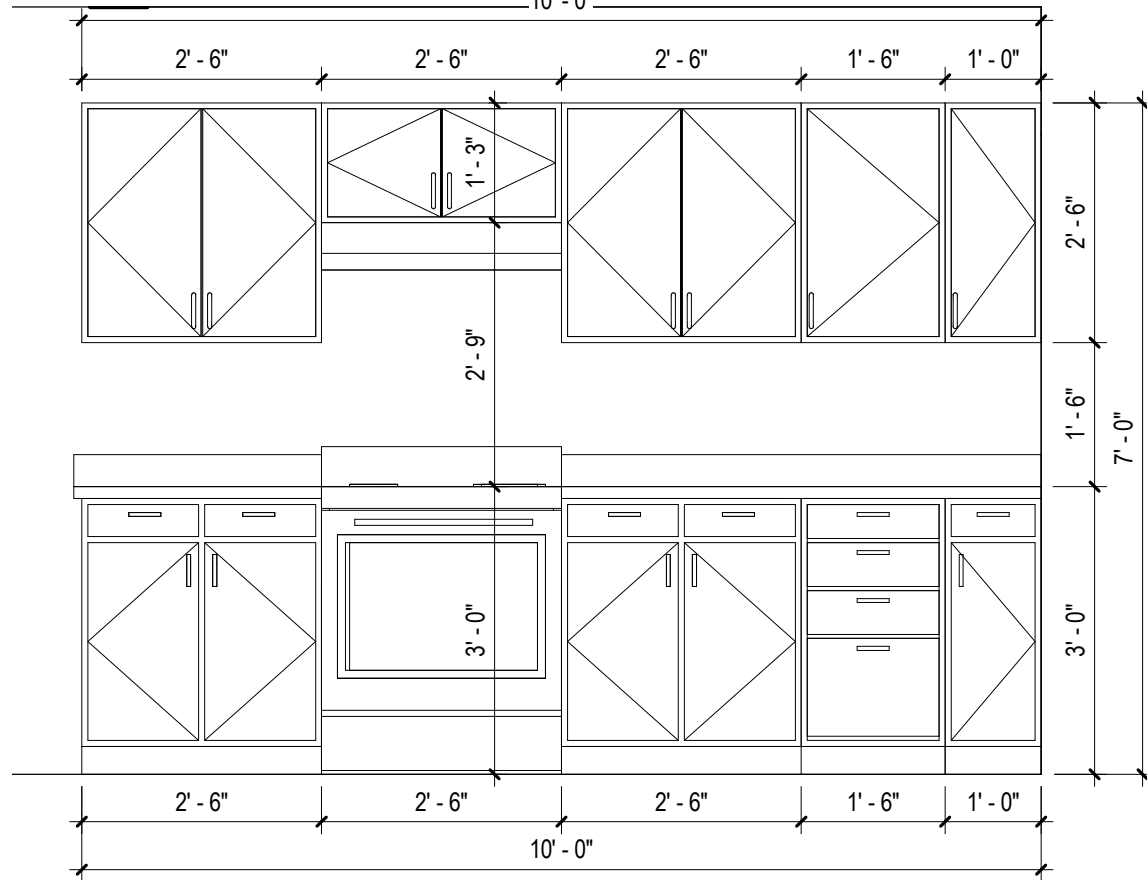
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1/2" = 1'-0"



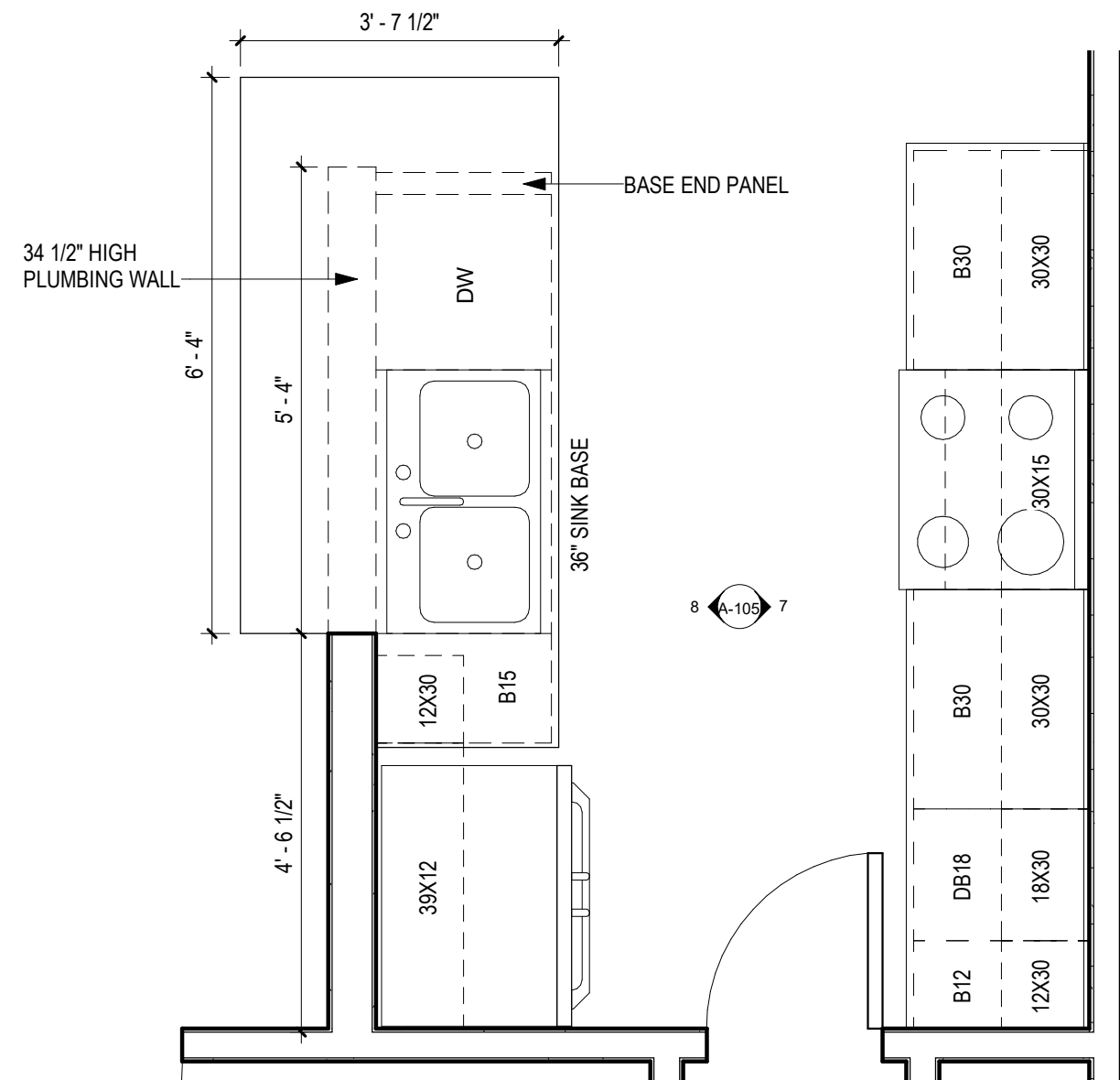
9 ELEV. @ INT. UNIT "J" BATH #1
1/2" = 1'-0"



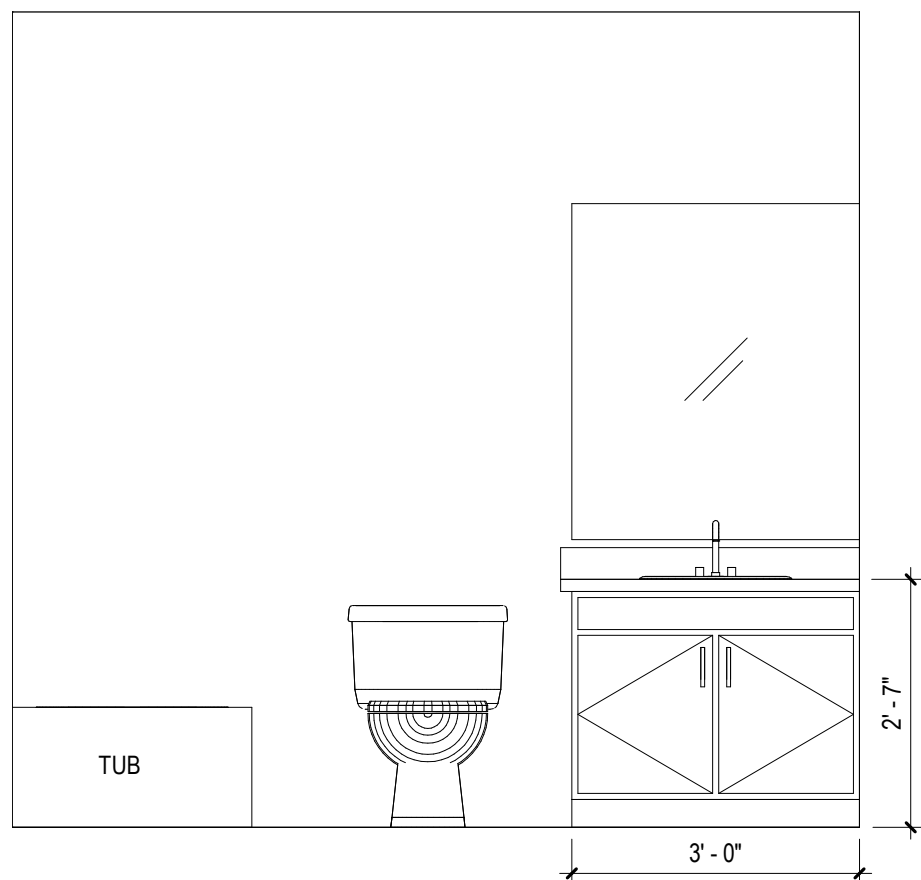
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1/2" = 1'-0"



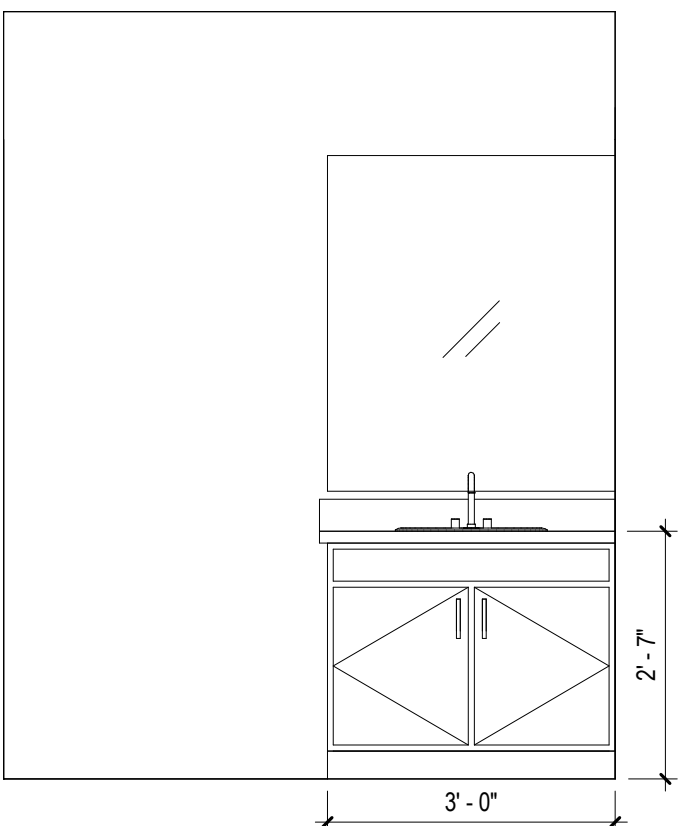
7 ELEV. @ INT. UNIT "J" KITCHEN - VIEW 1
1/2" = 1'-0"



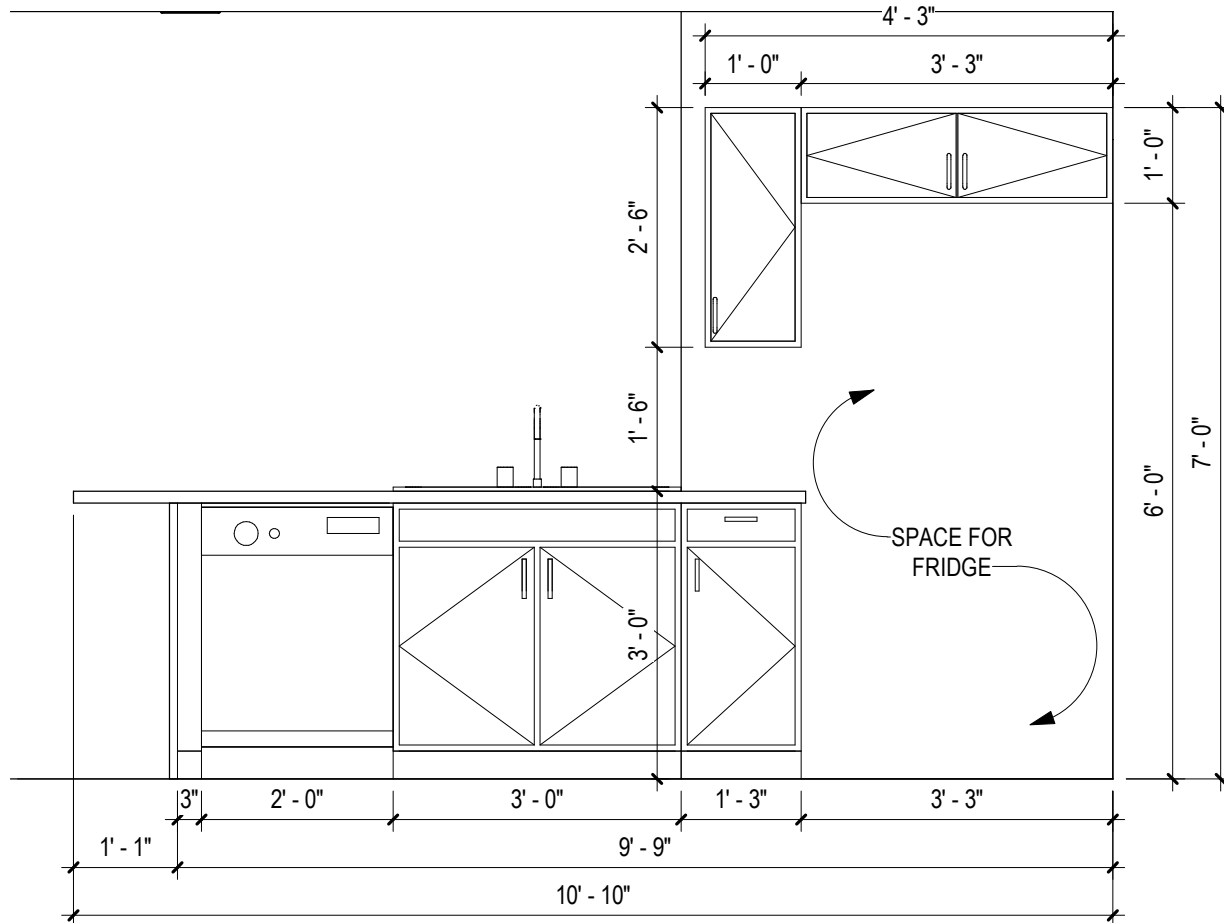
6 ENLARGED KITCHEN - INT. UNIT "J"
1/2" = 1'-0"



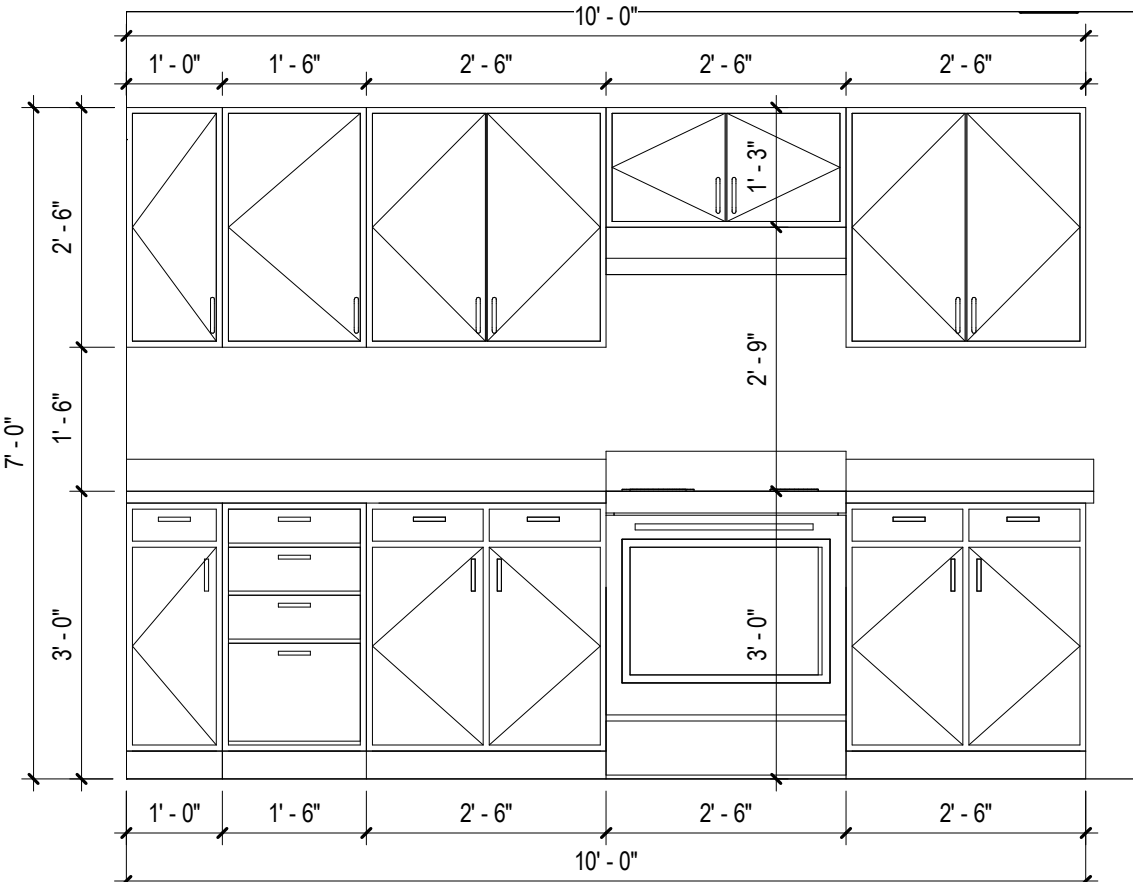
5 ELEV. @ EXT. UNIT "J" M. BATH
1/2" = 1'-0"



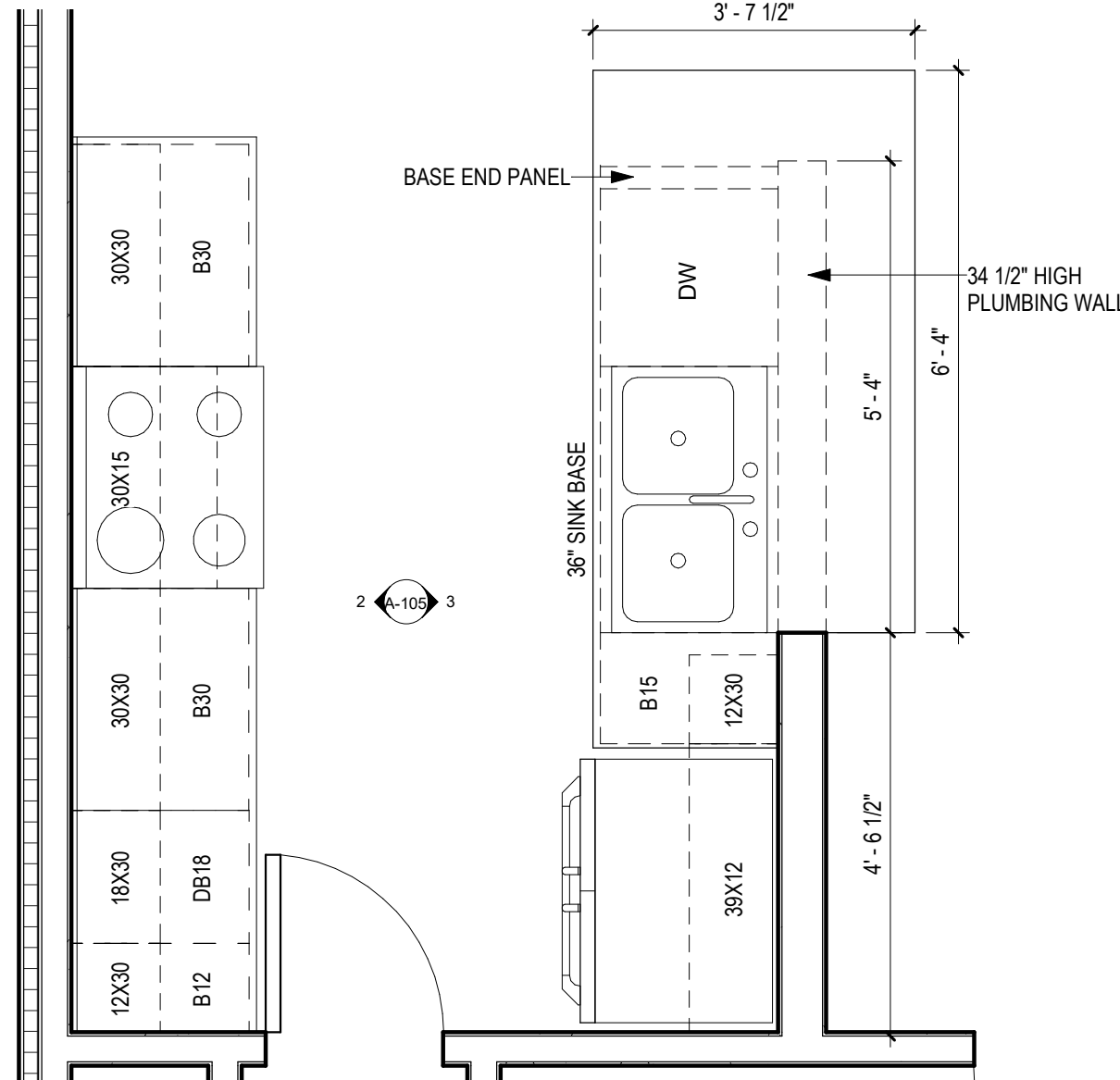
4 ELEV. @ EXT. UNIT "J" BATH #1
1/2" = 1'-0"



3 ELEV. @ EXT. UNIT "J" KITCHEN - VIEW 2
1/2" = 1'-0"



2 ELEV. @ EXT. UNIT "J" KITCHEN - VIEW 1
1/2" = 1'-0"

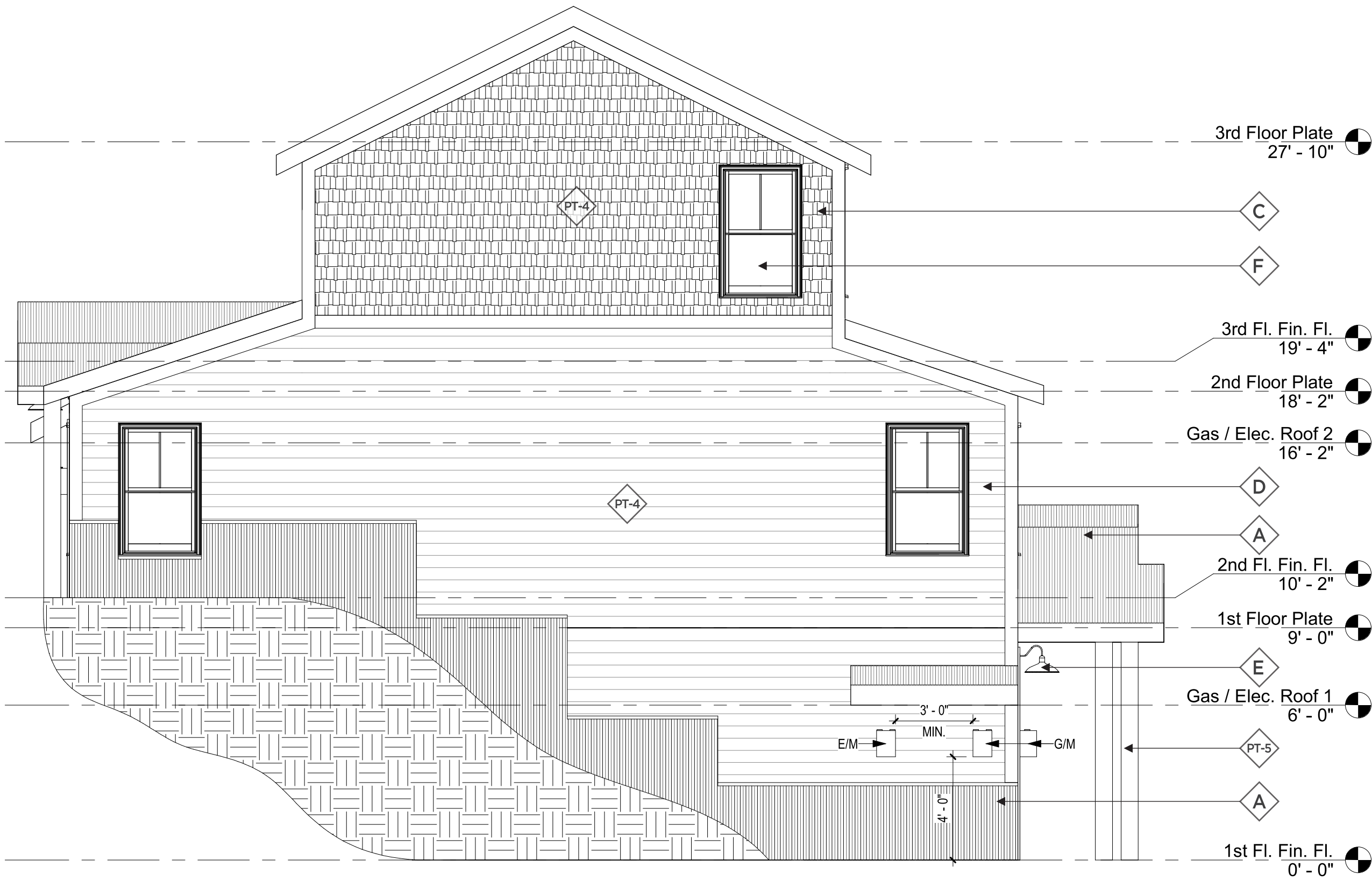


1 ENLARGED KITCHEN - EXT. UNIT "J"
1/2" = 1'-0"

No.	Description	Date

FRONT ELEVATION BLDG HT. - 22'-11"
LEFT ELEVATION BLDG HT. - 28'-00"
REAR ELEVATION BLDG HT. - 33'-01"
RIGHT ELEVATION BLDG HT. - 28'-00"
TOTAL - 112'-00"
BUILDING HT. - 28'-00"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL
**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

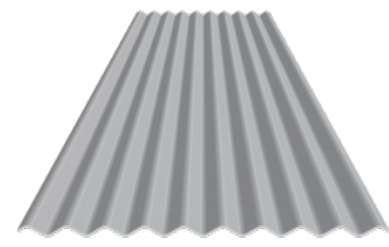


2 SIDE 1 ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

MATERIALS



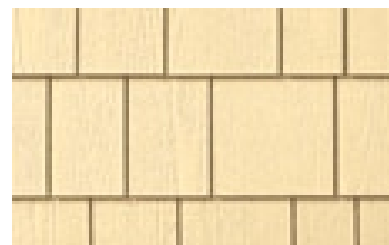
A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Deckators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C SHAKE SIDING

Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura
Color: Vary
Style: Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



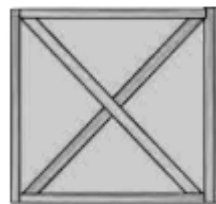
F EXTERIOR WINDOW

Manufacturer: Synergy
Color: White



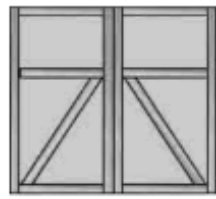
G EXTERIOR DOOR

Manufacturer: Thermo-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048



Southern Design Group, LLC

207 Caddo St.
Andmore, OK 73401
580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #1 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS**

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML / IPT
Checked by EAW

A-201 EXTERIOR ELEVATIONS

No.	Description	Date

SCALE:

1/4" = 1'-0"

4/17/2020 1:22:07 PM



Southern Design Group, LLC

207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
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BUILDING #1 -
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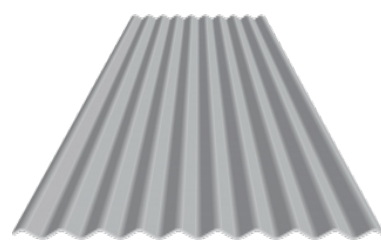
A-202
EXTERIOR
ELEVATIONS

No.	Description	Date

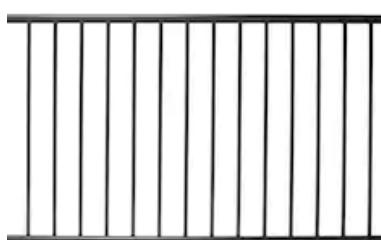
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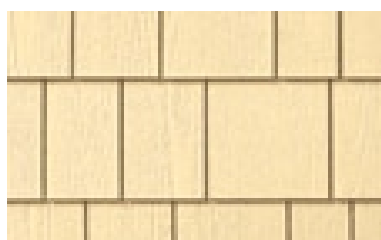
MATERIALS



A EXTERIOR
CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK
RAILING
Manufacturer: Decorators
Color: Black
Style: Classic Aluminum
Size: 8'x3' panels



C SHAKE
SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP
SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



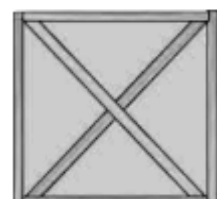
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Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



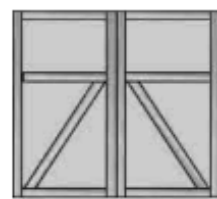
F EXTERIOR
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Color: White



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Manufacturer: Therma-Tru
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Color ID: SW 7025



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Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532

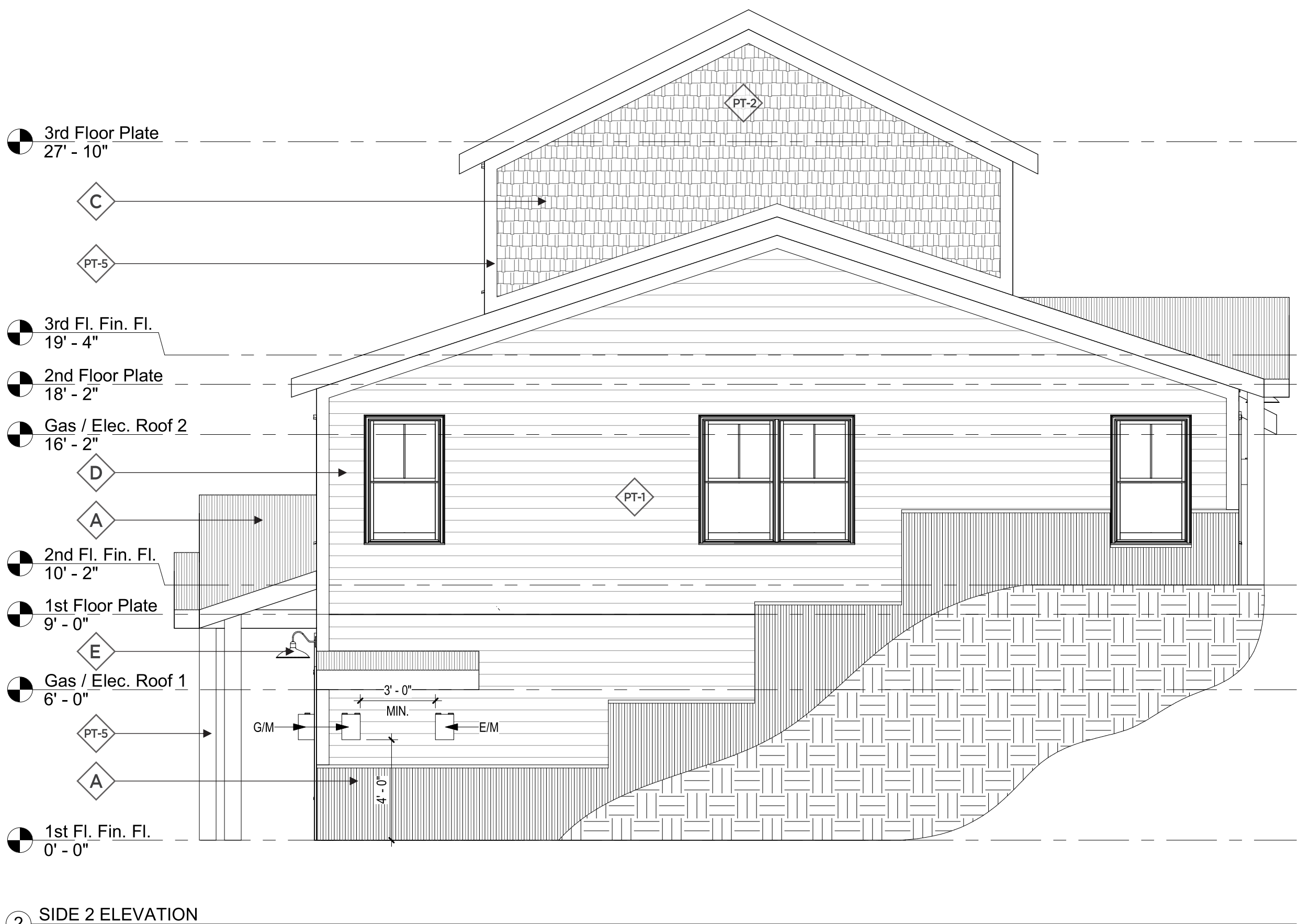


PT-4 EXTERIOR
PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250

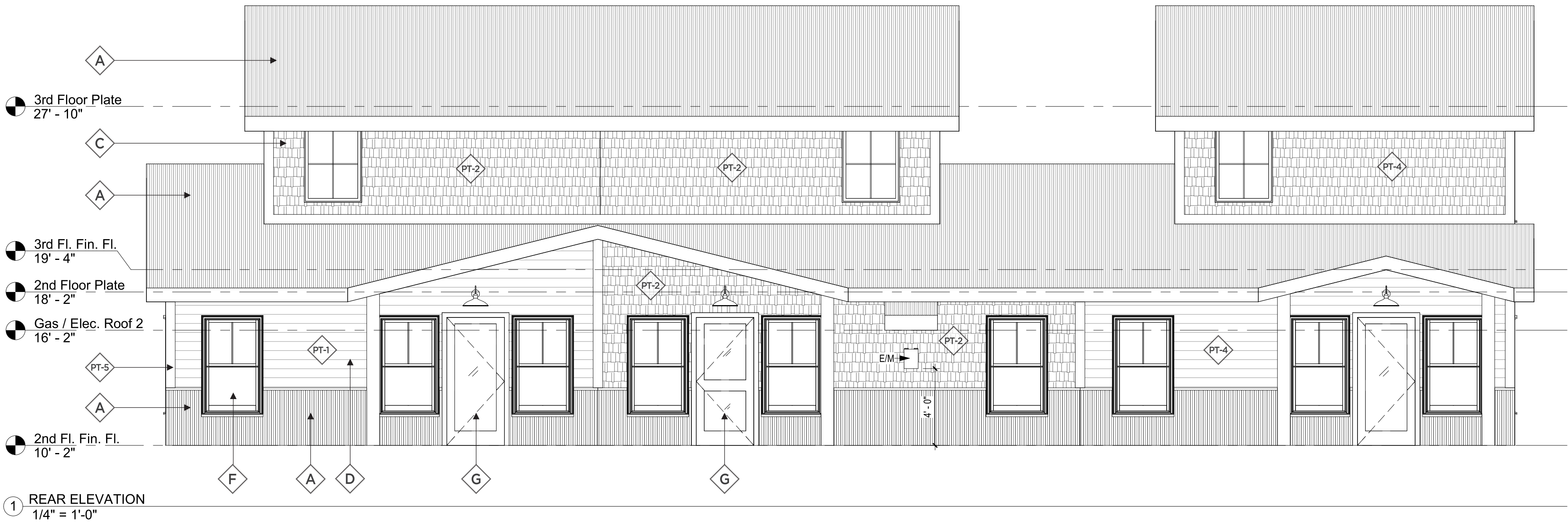


PT-5 TRIM
COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



2 SIDE 2 ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"



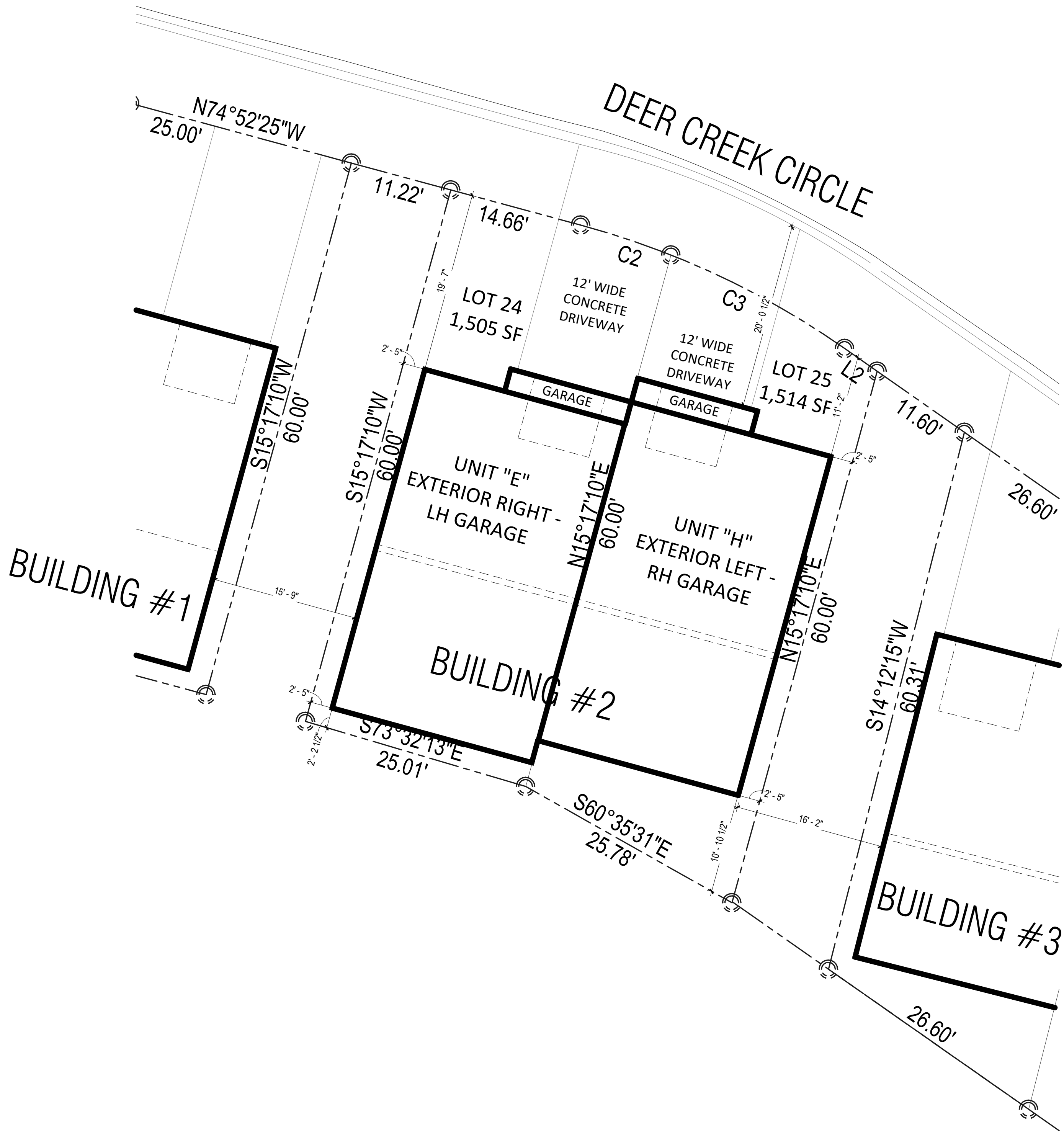
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CONSULTANTS:

STRUCTURAL

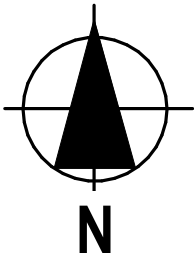
Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

1 SITE TABLE
1/8" = 1'-0"



No.	Description	Date

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS**

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE: 1/8" = 1'-0"

2 PLOT PLAN
1/8" = 1'-0"

NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
- 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- 1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- 2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- 3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- 5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- 6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



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BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS

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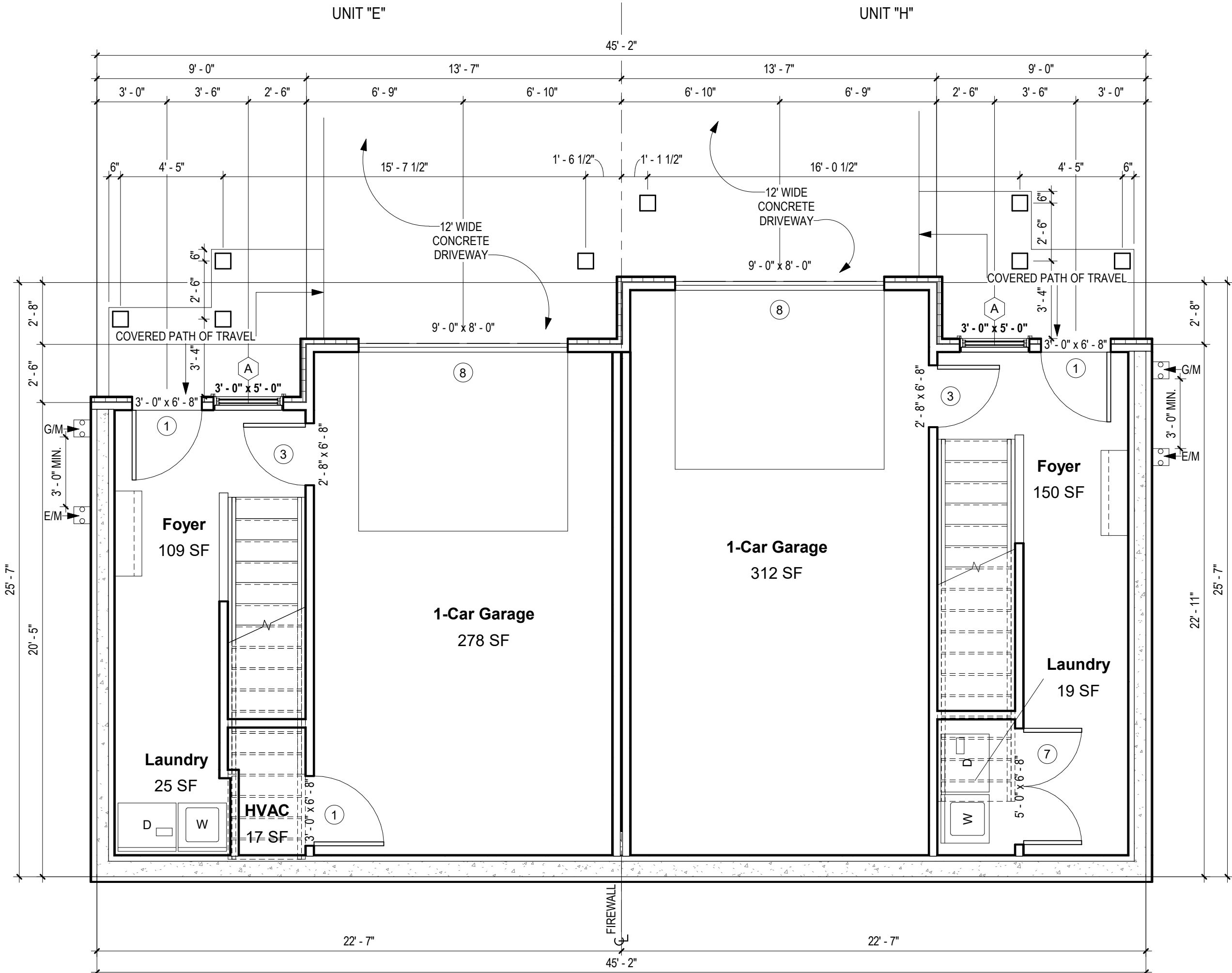
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
DUPLEX PLANS -
1ST FLOOR

SCALE:

As indicated



1 BUILDING #2 PLAN - 1ST FLOOR
1/4" = 1'-0"

No.	Description	Date

NOTES
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14. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR. LOCATIONS OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
15. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
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20. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS

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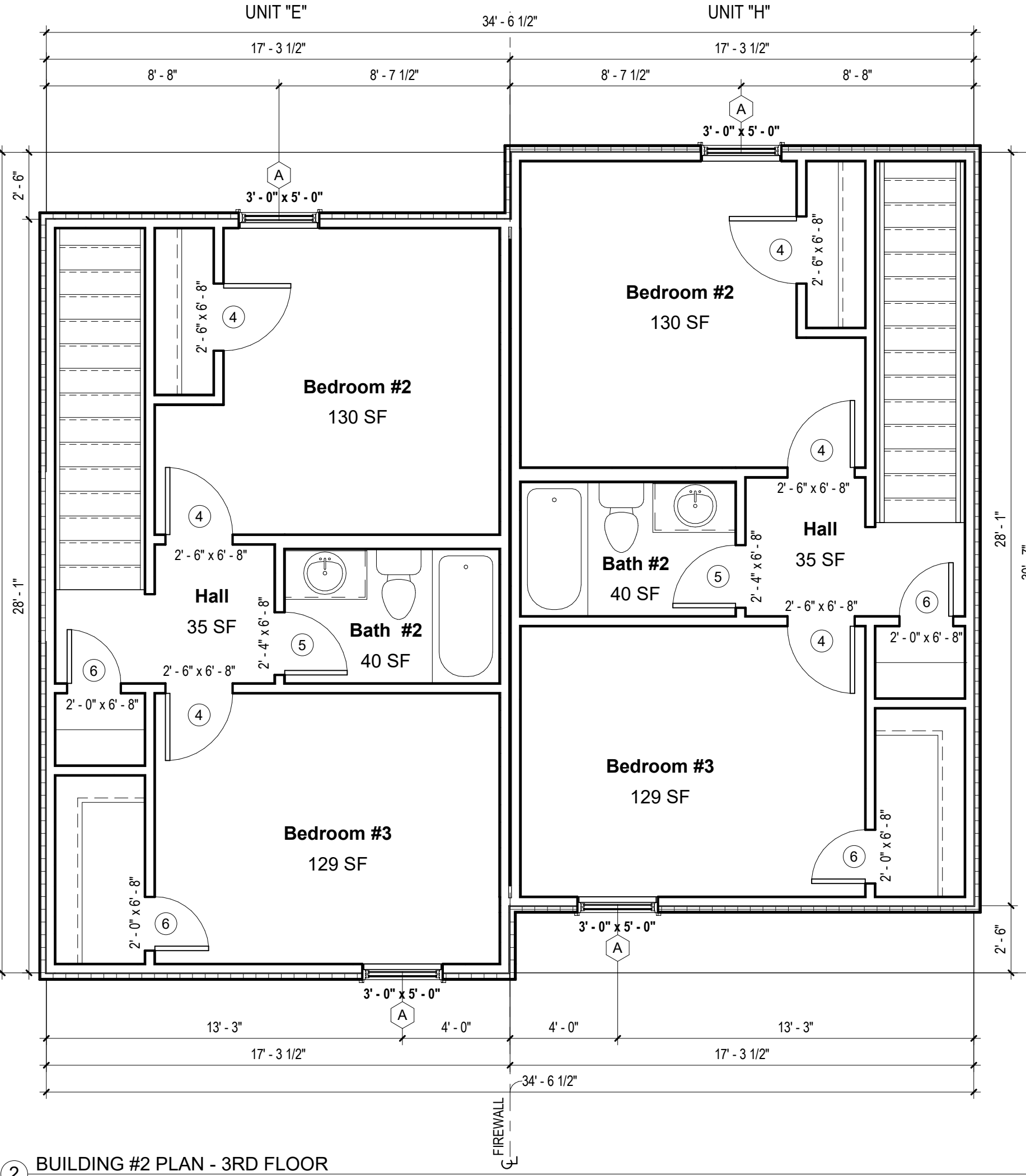
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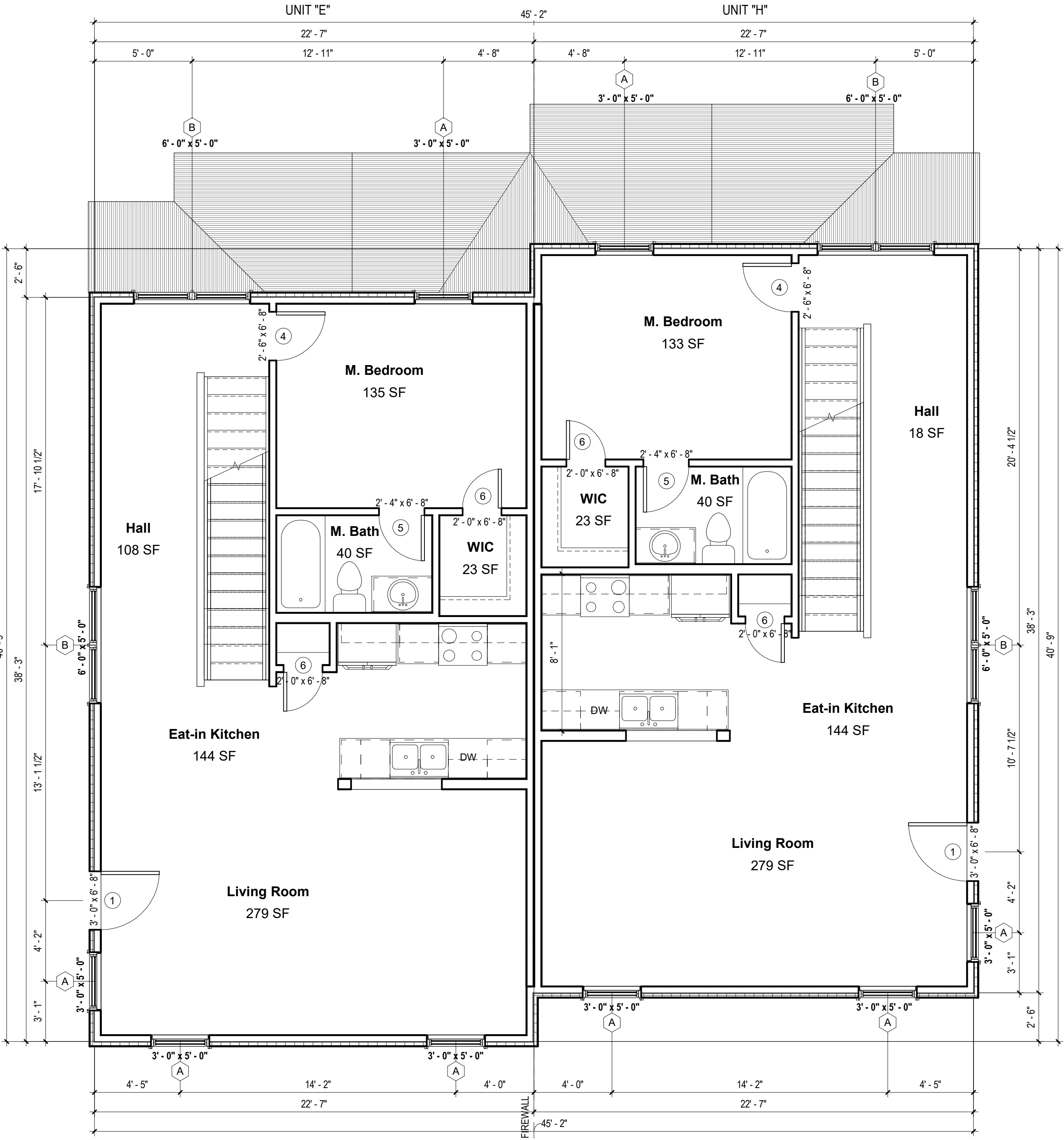
Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.1
DUPLEX PLANS -
2ND & 3RD FLOOR

SCALE: As indicated

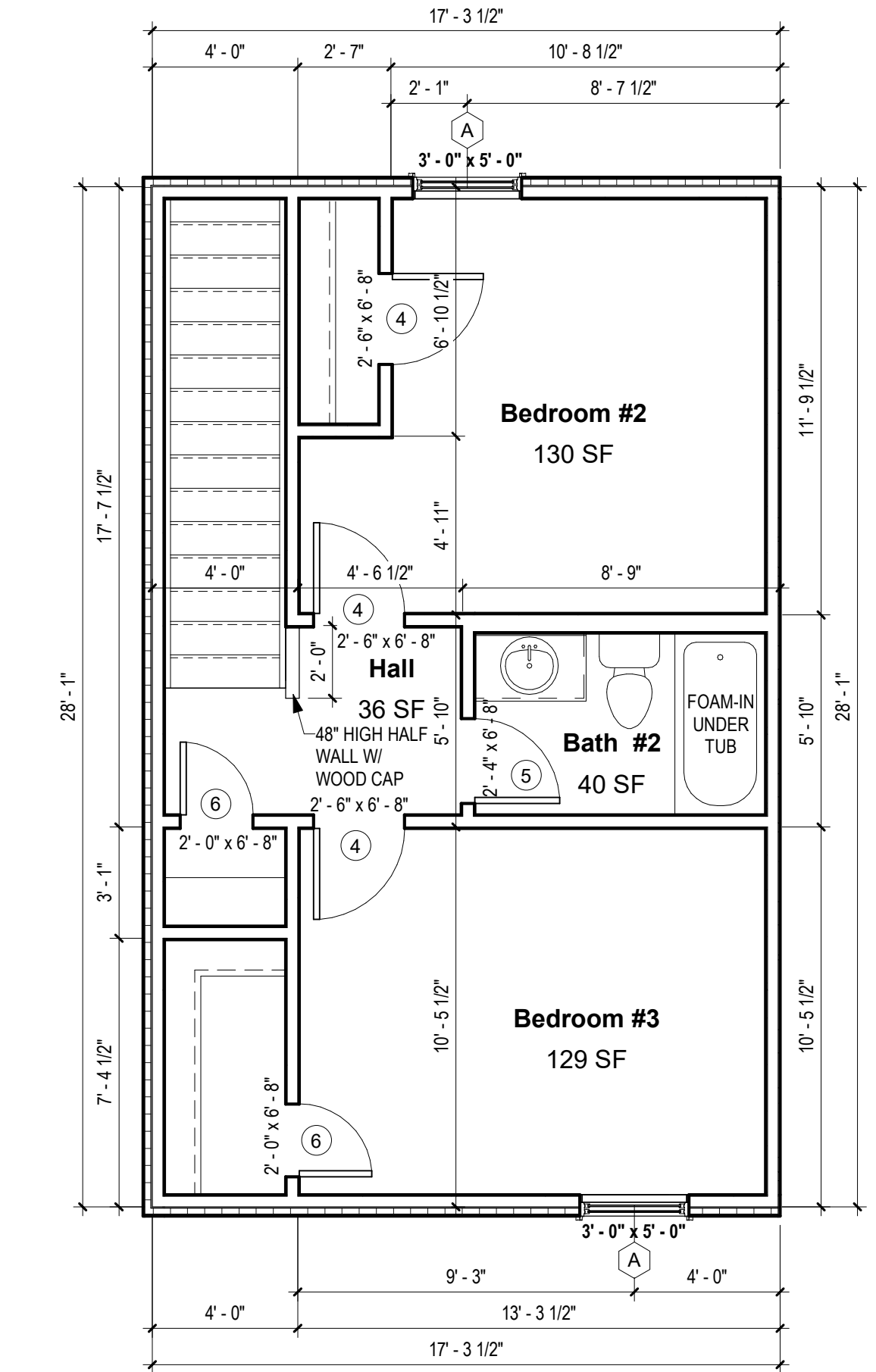


2 BUILDING #2 PLAN - 3RD FLOOR
1/4" = 1'-0"

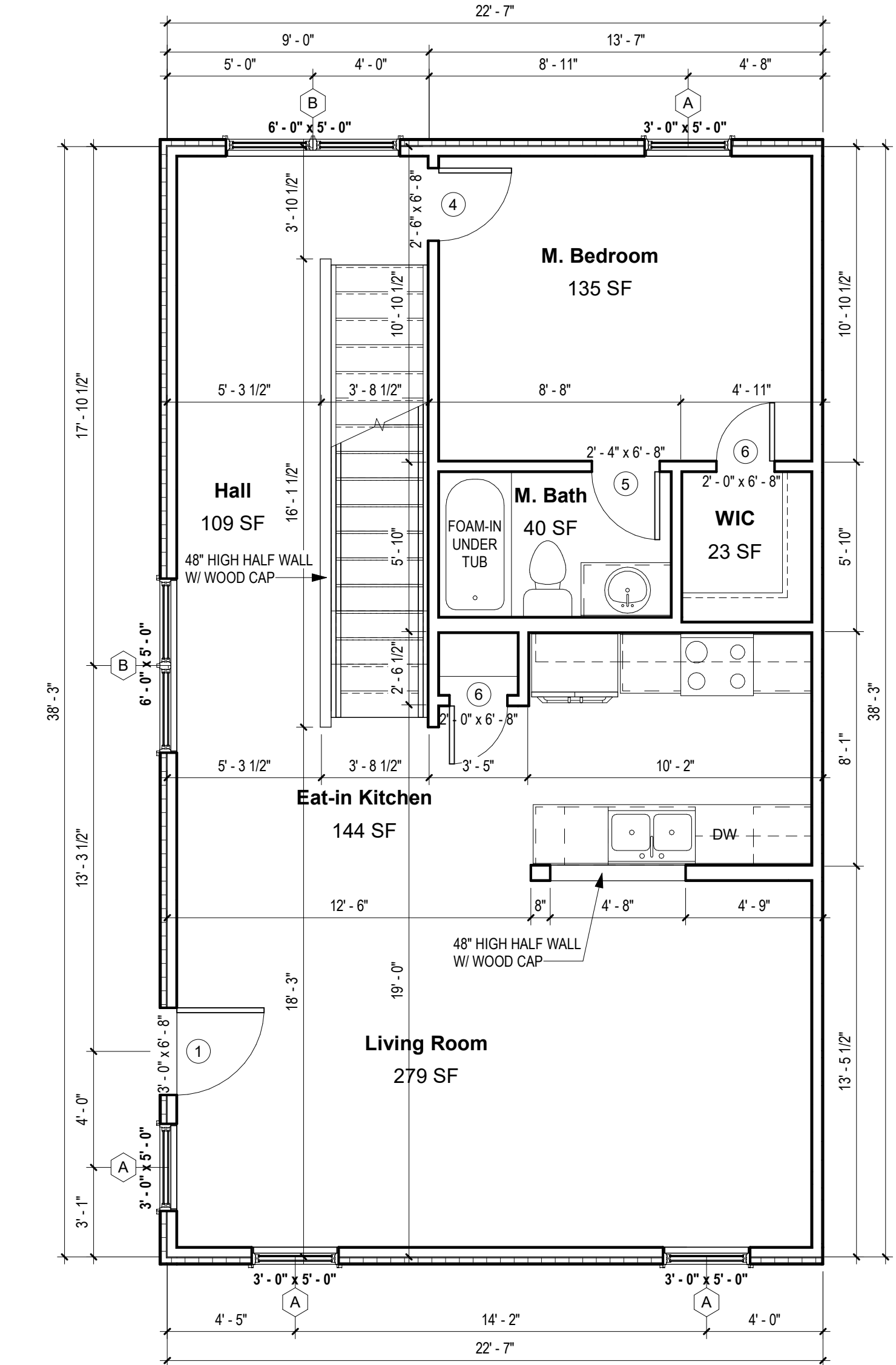


1 BUILDING #2 PLAN - 2ND FLOOR
1/4" = 1'-0"

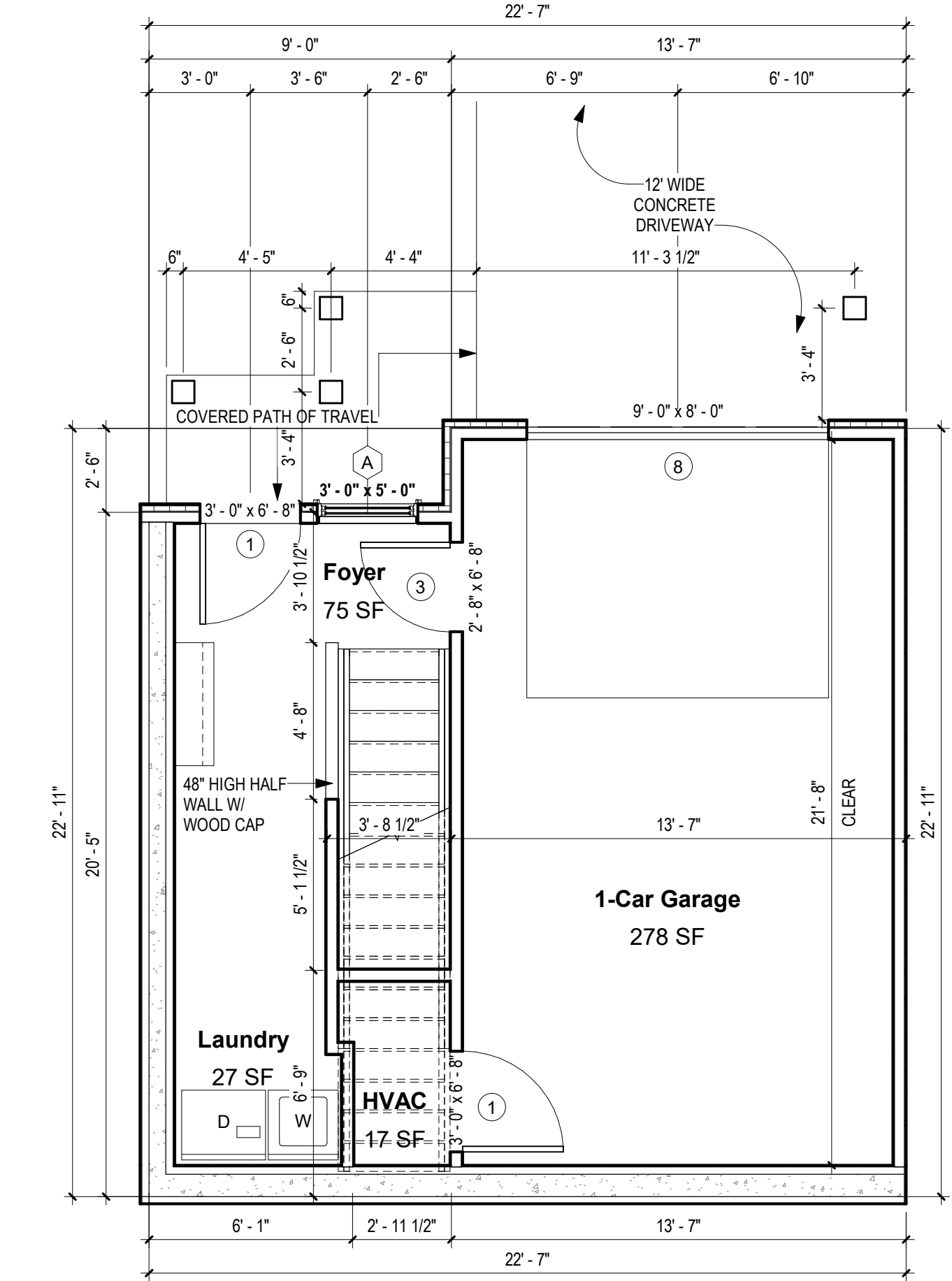
NOTES
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③ UNIT "E" PLAN - 3RD FLOOR
1/4" = 1'-0"



② UNIT "E" PLAN - 2ND FLOOR
1/4" = 1'-0"



① UNIT "E" PLAN - 1ST FLOOR
1/4" = 1'-0"

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - .32-29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY/PATIO DOORS: RELIABLT 6-PANEL STEEL ENTRY DOOR.
2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
3. ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
7. DO NOT SCALE DRAWINGS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
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10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
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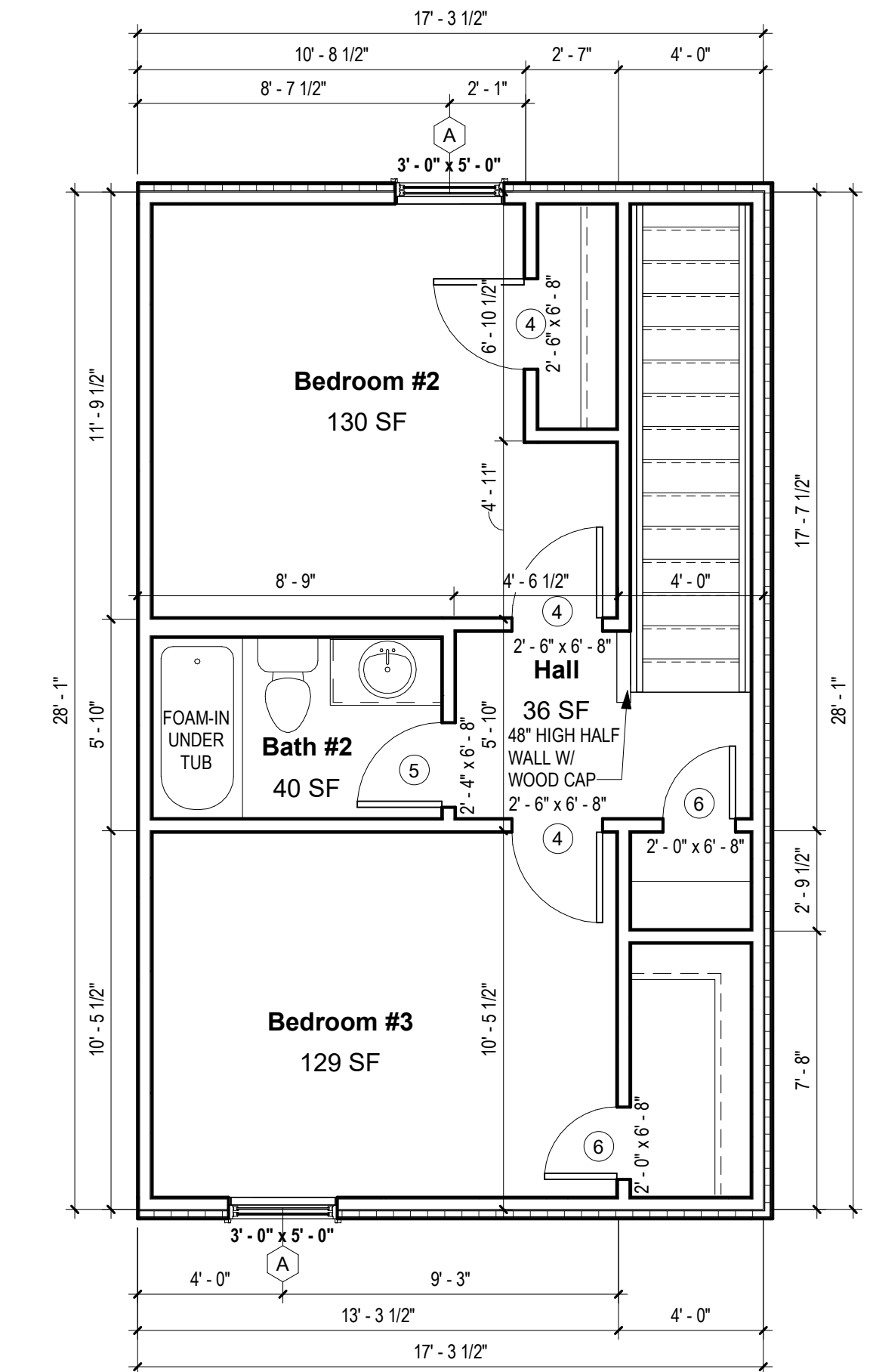
Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.2
UNIT "E" PLANS

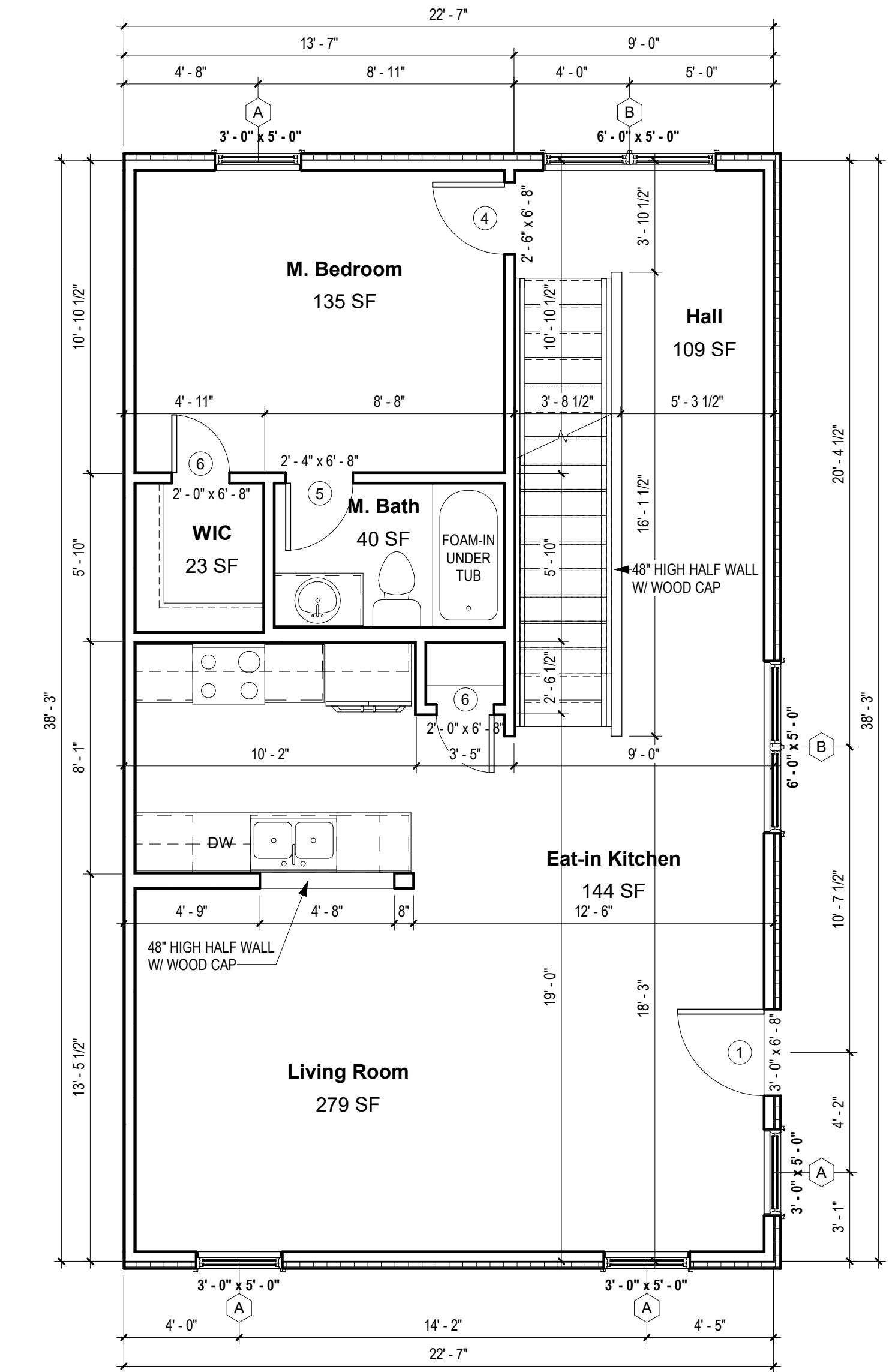
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As indicated

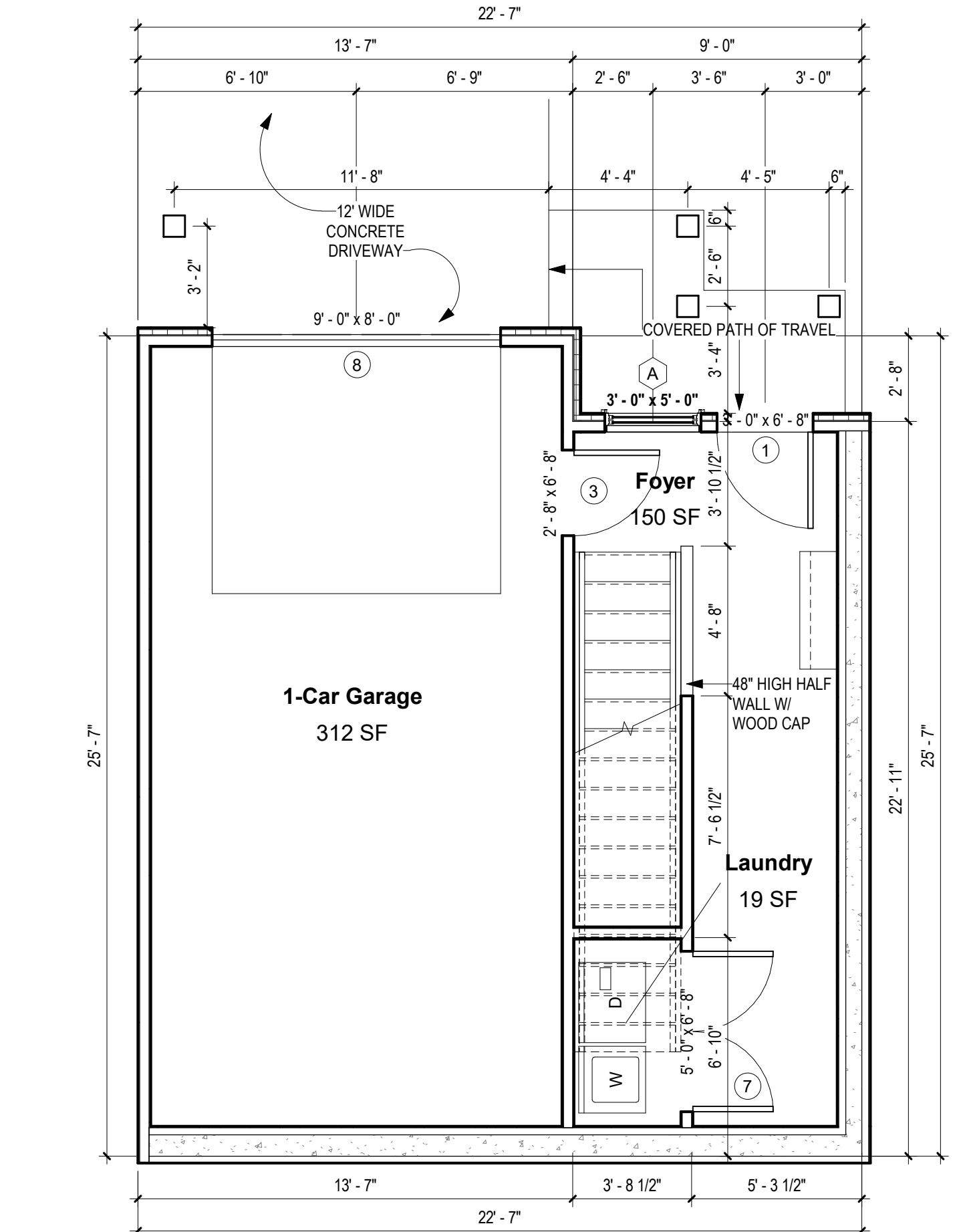
NOTES
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③ UNIT "H" PLAN - 3RD FLOOR
1/4" = 1'-0"



② UNIT "H" PLAN - 2ND FLOOR
1/4" = 1'-0"



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**BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS**

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Date 04.28.2020
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Checked by EAW

**A-101.3
UNIT "H" PLANS**

SCALE: As indicated

GENERAL NOTES:

1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
2. ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
3. ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

1. ALL ROOF PLANES WILL BE AS NOTED ON PLAN
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



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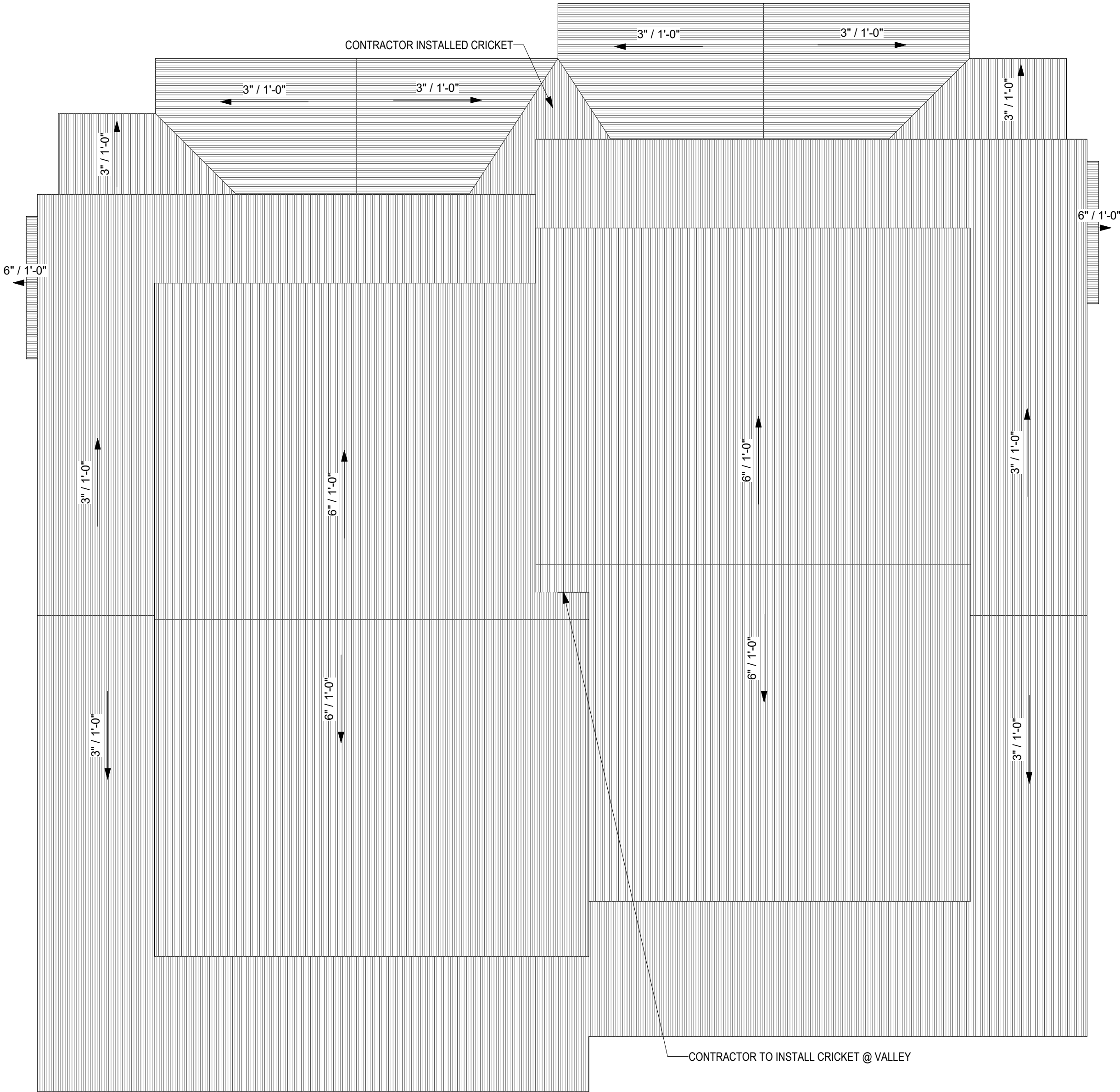


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A-102
ROOF PLAN



1 ROOF PLAN
1/4" = 1'-0"

No.	Description	Date










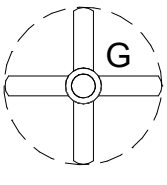

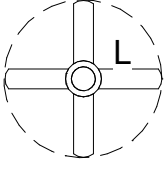


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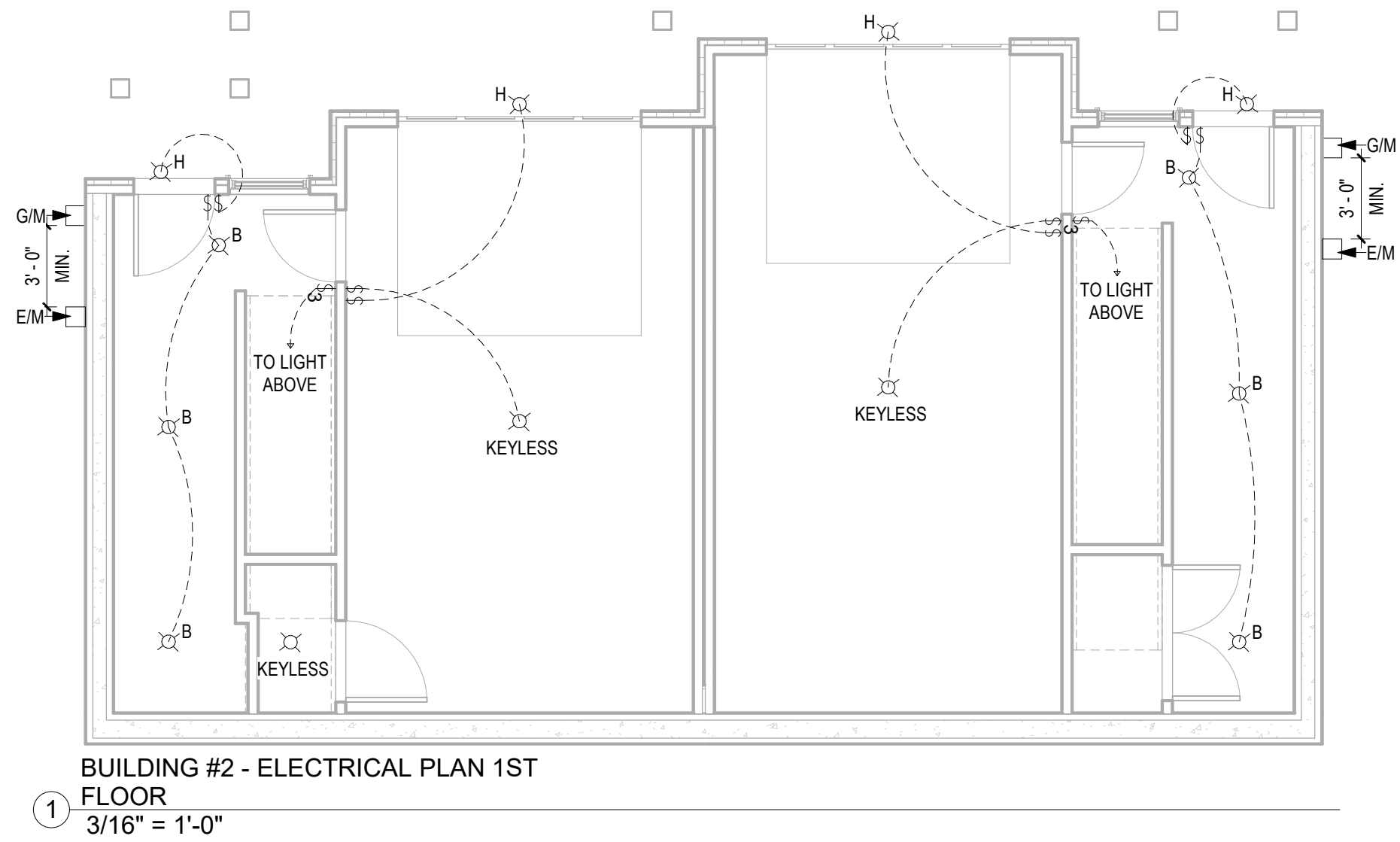
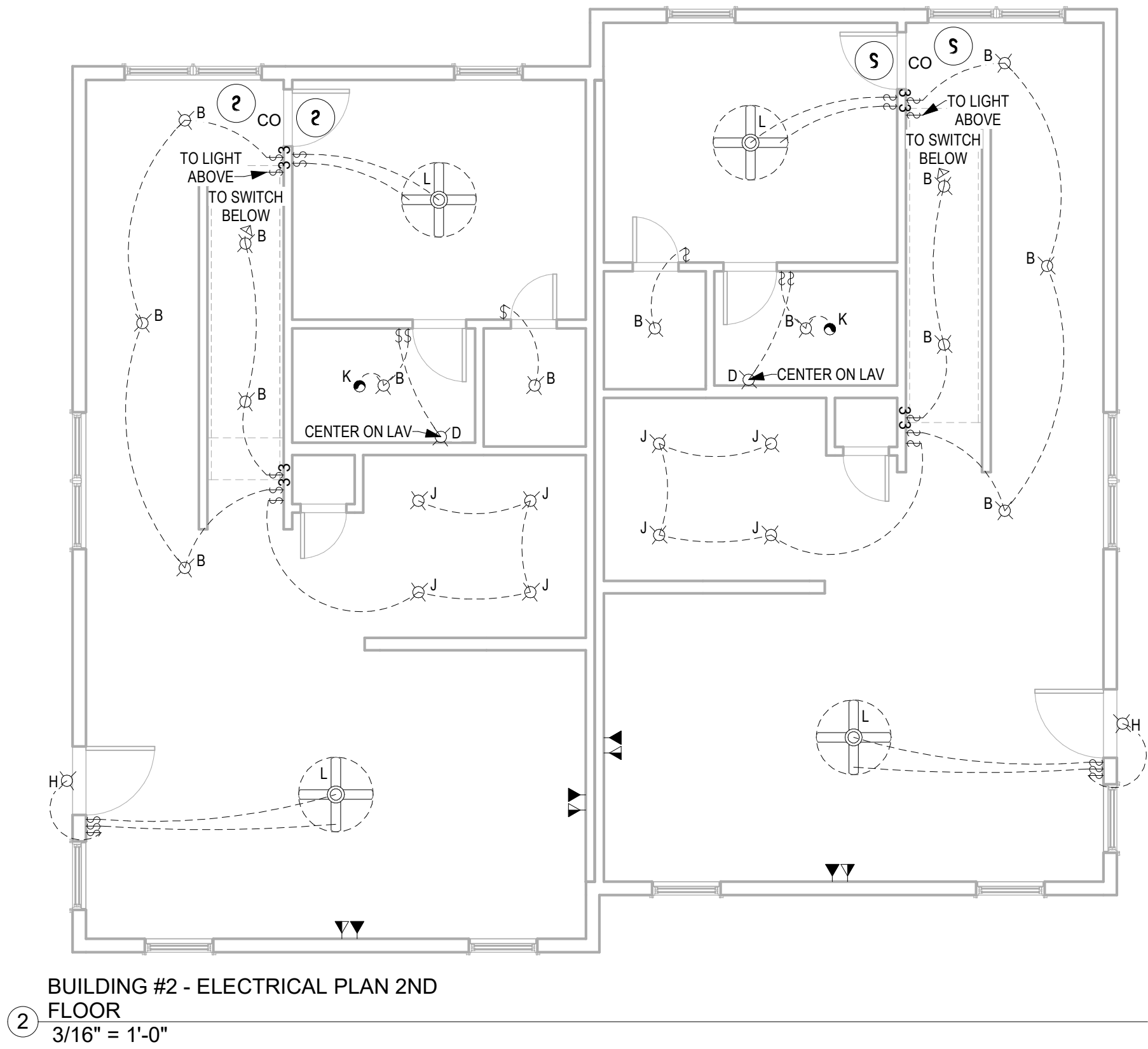
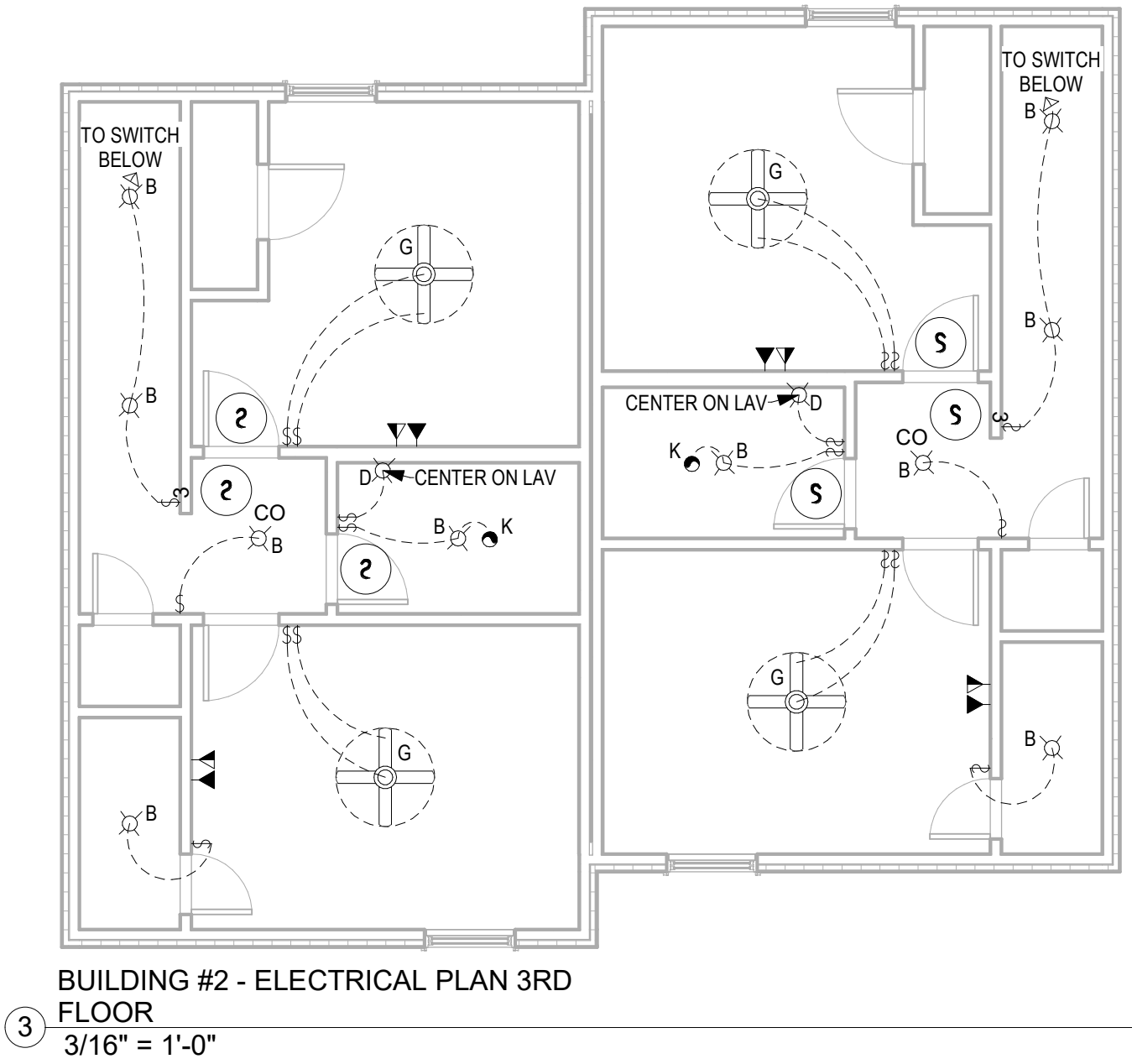
GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE			
	A WALL MOUNT FIXTURE, 36" WIDE		K BATHROOM EXHAUST FAN
	B SURFACE MOUNT FIXTURE, 11 1/4" DIA.		PHONE / DATA
	C SURFACE MOUNT FIXTURE, 15 1/4" DIA.		PHONE
	D WALL MOUNT FIXTURE, 24" WIDE		CABLE
	E 5-LIGHT CHANDELIER		G 52" FAN, WITH LIGHT KIT
	F EXTERIOR FLOODLIGHT		L 52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	H GOOSENECK LIGHT FULL CUT-OFF		
	J RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
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CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS**

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Project number	2017-05
Date	04.28.2020
Drawn by	MML
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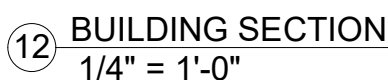
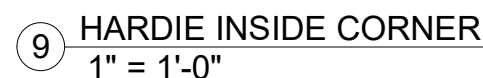
A-103
BUILDING #2 -
ELECTRICAL PLAN

SCALE: As indicated

DOOR SCHEDULE				
Type	Mark	Width	Height	Comments
	①	3' - 0"	6' - 8"	
	③	2' - 8"	6' - 8"	
	④	2' - 6"	6' - 8"	
	⑤	2' - 4"	6' - 8"	
	⑥	2' - 0"	6' - 8"	
	⑦	5' - 0"	6' - 8"	
	⑧	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
(A)	3' - 0"	5' - 0"	
(B)	6' - 0"	5' - 0"	

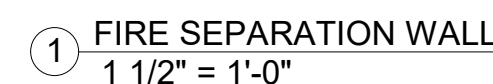
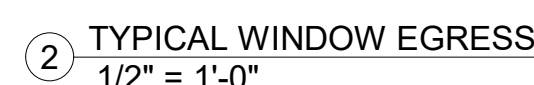
PLUMBING FIXTURE SCHEDULE	
Count	Description
4	19" X 19" ROUND VANITY SINK
2	36" X 21" DOUBLE KITCHEN SINK
4	SHOWER/TUB COMBO
4	TOILET - STANDARD HT.



6 ANGLE BRACING
1/2" = 1'-0"



11 WALL TYPE LEGEND
1" = 1'-0"

The logo for SDG ARCHITECTS features a dark grey rounded square above the letters 'SDG' in a large, bold, white sans-serif font. Below 'SDG', the word 'ARCHITECTS' is written in a smaller, white, all-caps sans-serif font.

(PH) 970.641.2499

As indicated

CONSULTANTS:

STRUCTURAL

Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT⁸

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

A-104.1
PRESCRIPTIVE
TABLE

SCALE:

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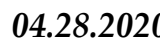


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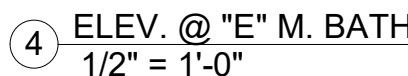
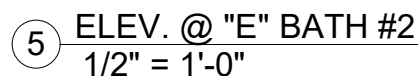
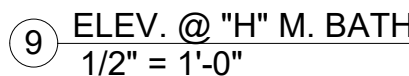
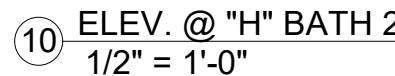
Project number	2017-01
Date	04.28.2021
Drawn by	MMML
Checked by	EAW

A-105

CABINET LAYOUT & ELEVATIONS

As indicated

4/17/2020 3:37:59 PM



KITCHEN BASE CABINETS WILL BE 36" HIGH
COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

VANITY CABINETS WILL BE 30" HIGH
COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

[illegible]



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BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS

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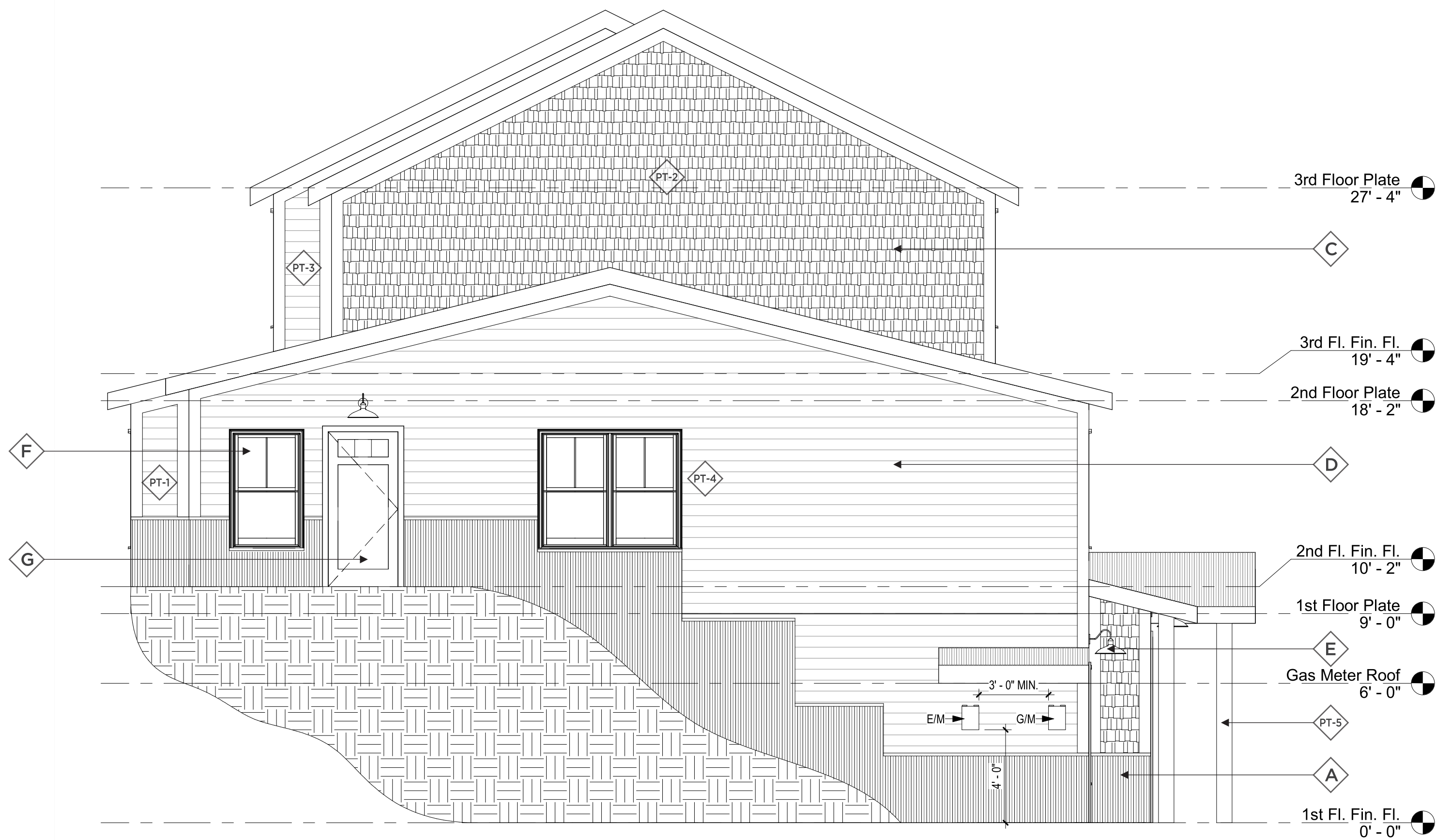
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Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-201
EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

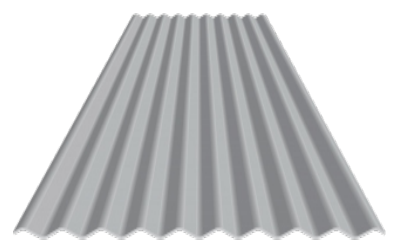


2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

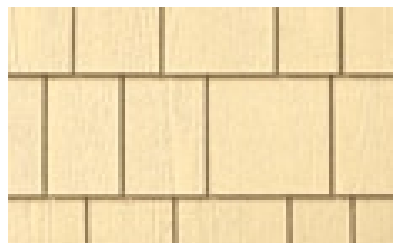
MATERIALS



A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



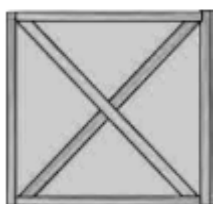
E EXTERIOR SCONCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



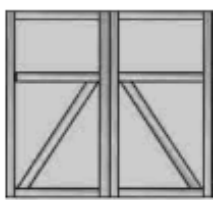
F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White



G EXTERIOR DOOR
Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM211S30LB
Size: 36"x 80"



H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

FRONT ELEVATION BLDG HT. - 35'-00"
LEFT ELEVATION BLDG HT. - 29'-11"
REAR ELEVATION BLDG HT. - 24'-10"
RIGHT ELEVATION BLDG HT. - 29'-11"
TOTAL - 119'-08"
BUILDING HT. - 29'-11"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

No.	Description	Date



A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Decorators
Color: Black
Style: Classic Aluminum
Size: 8'x3' panels



C SHAKE SIDING

Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura
Color: Vary
Style: Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



F EXTERIOR WINDOW

Manufacturer: Synergy
Color: White



G EXTERIOR DOOR

Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT

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Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

****REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING**

3rd Floor Plate 27' - 4"

3rd Fl. Fin. Fl. 19' - 4"

2nd Floor Plate 18' - 2"

2nd Fl. Fin. Fl. 10' - 2"

1st Floor Plate 9' - 0"

Gas Meter Roof 6' - 0"

1st Fl. Fin. Fl. 0' - 0"

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

3rd Floor Plate 27' - 4"

3rd Fl. Fin. Fl. 19' - 4"

2nd Floor Plate 18' - 2"

2nd Fl. Fin. Fl. 10' - 2"

1 REAR ELEVATION
1/4" = 1'-0"

No.	Description	Date



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**BUILDING #2 -
DUPLEX UNITS "E" & "H"
3-BEDROOM PLANS**

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Drawn by	IPT
Checked by	EAW

**A-202
EXTERIOR
ELEVATIONS**

SCALE: 1/4" = 1'-0"

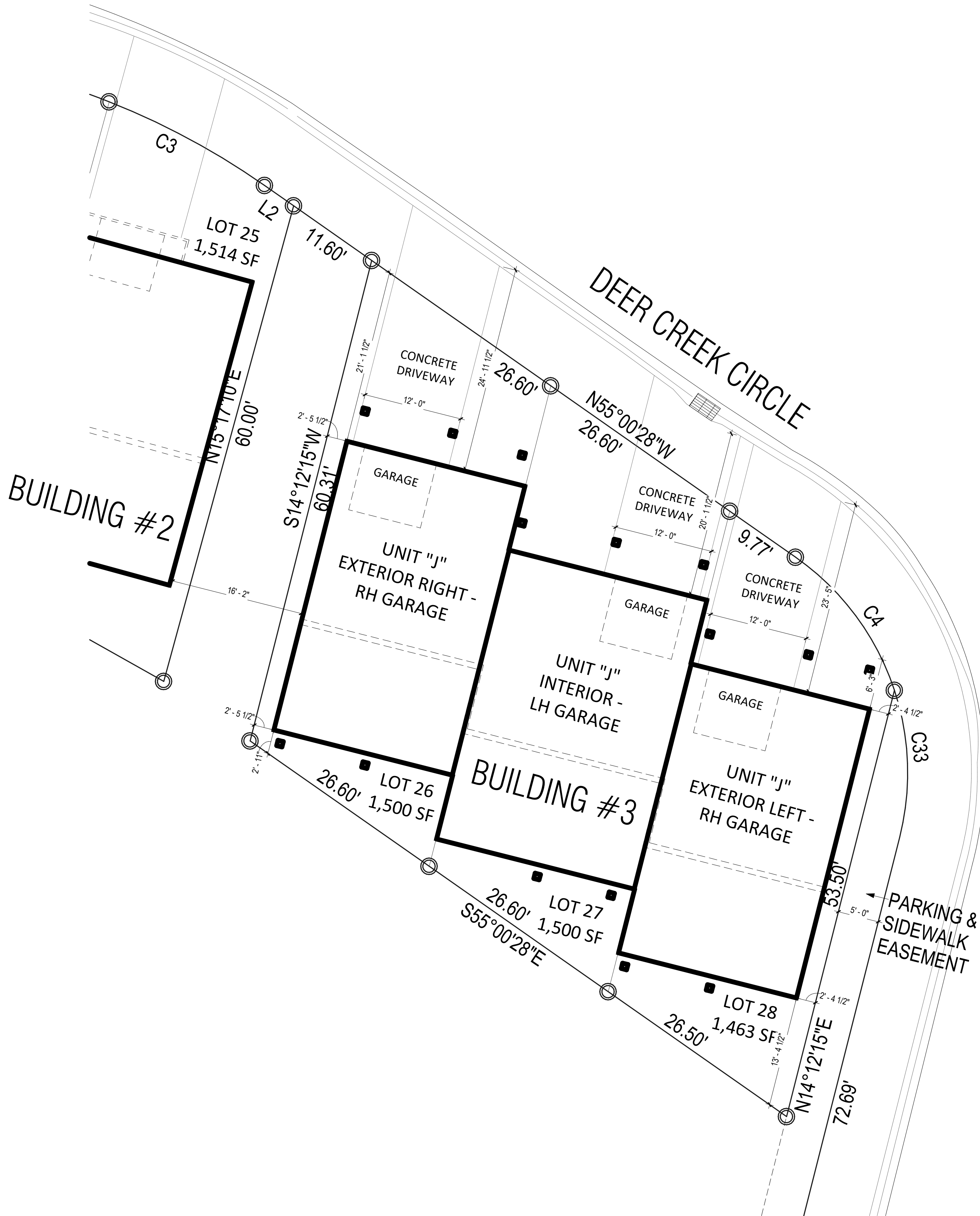
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LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

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Butte, Colorado

BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

No.	Description	Date

SCALE: 1/8" = 1'-0"

1 PLOT PLAN
1/8" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
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No.	Description	Date



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207 Caddo St.
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580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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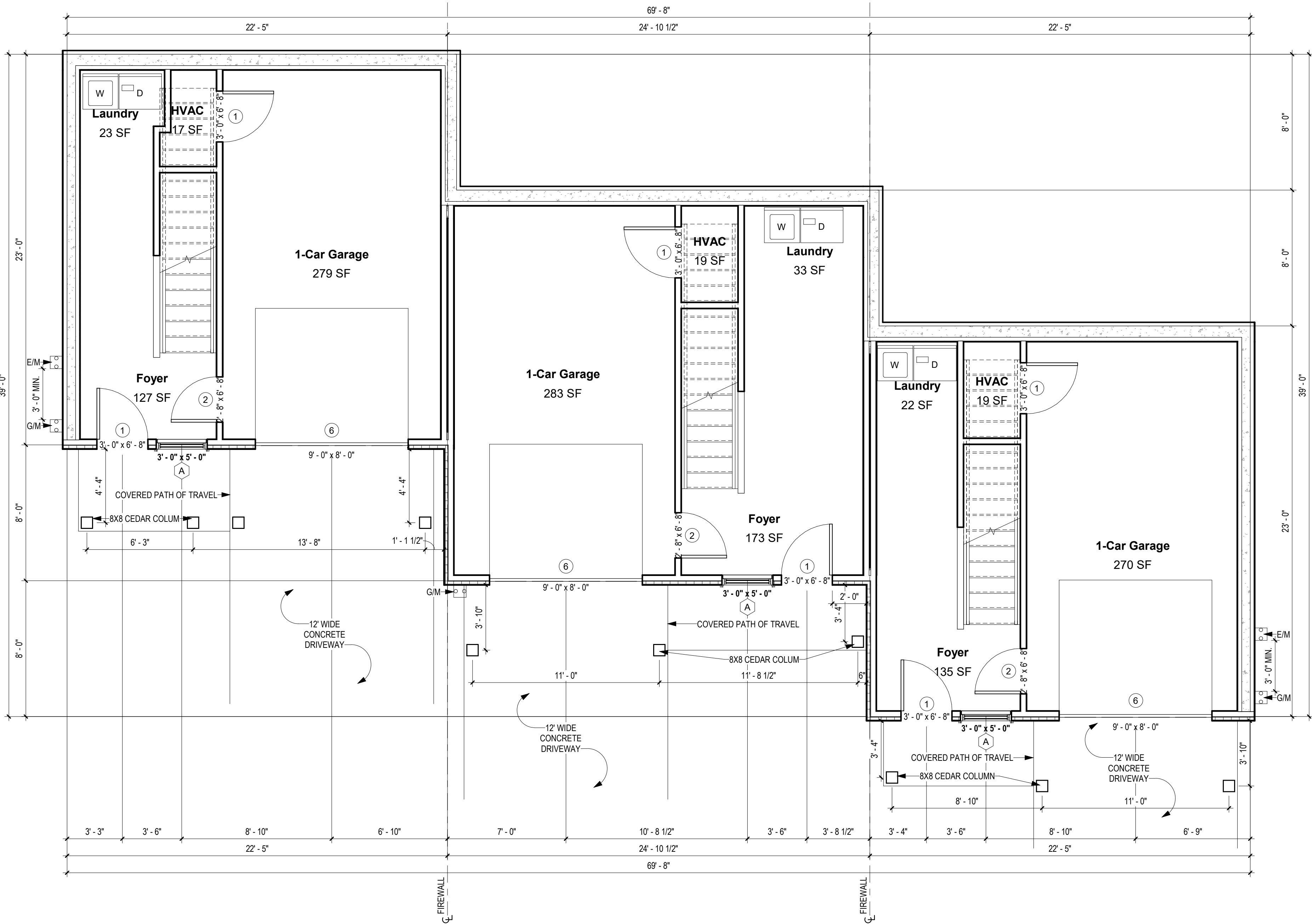
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
TRIPLEX - 1ST
FLOOR PLAN

SCALE:

As indicated



1 BUILDING #3 PLAN - 1ST FLOOR
1/4" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

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INSULATION

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BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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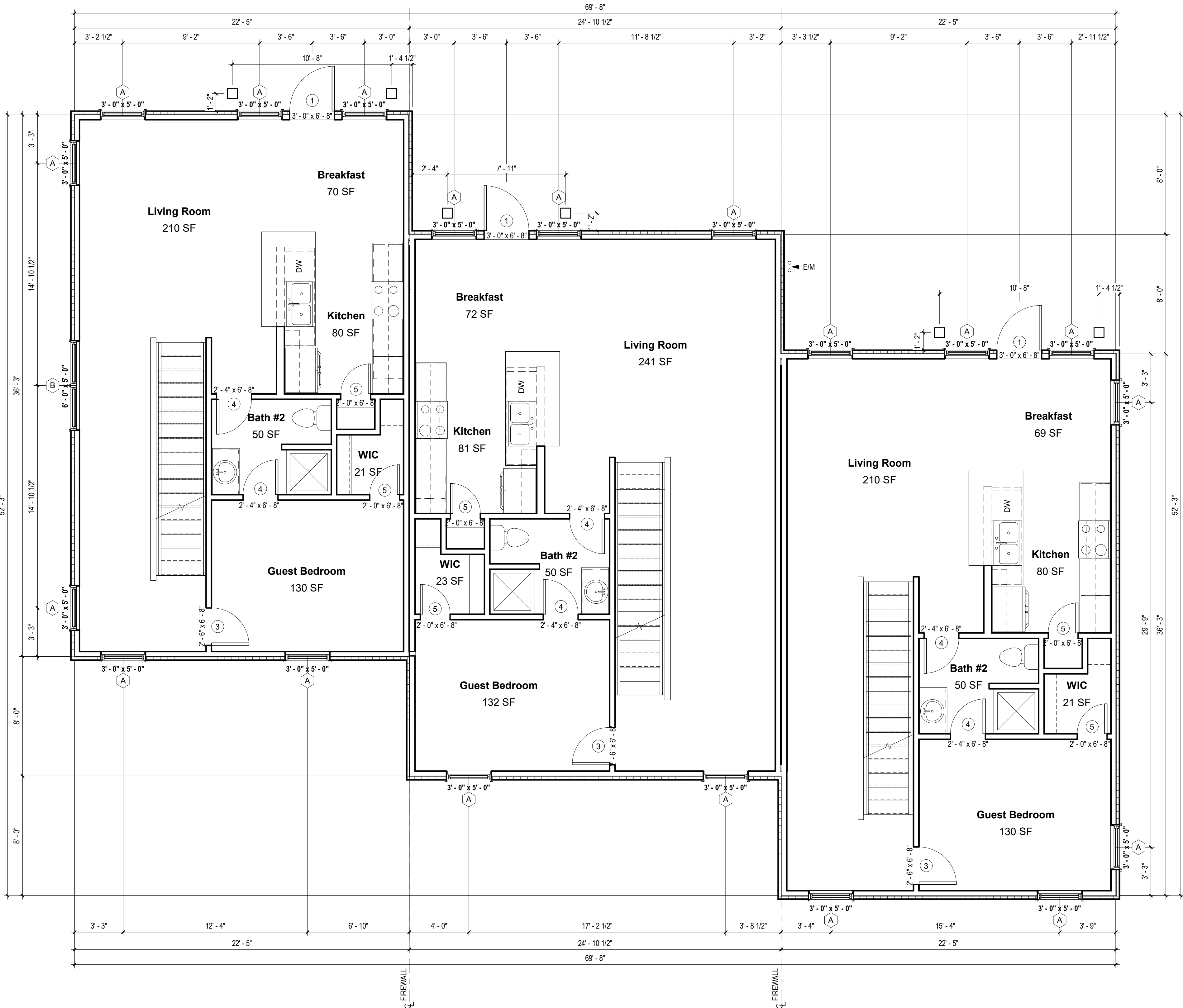
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.1
TRIPLEX - 2ND
FLOOR PLAN

SCALE:

As indicated



1 BUILDING #3 PLAN - 2ND FLOOR
1/4" = 1'-0"

NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

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INSULATION

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BUILDING #3 -
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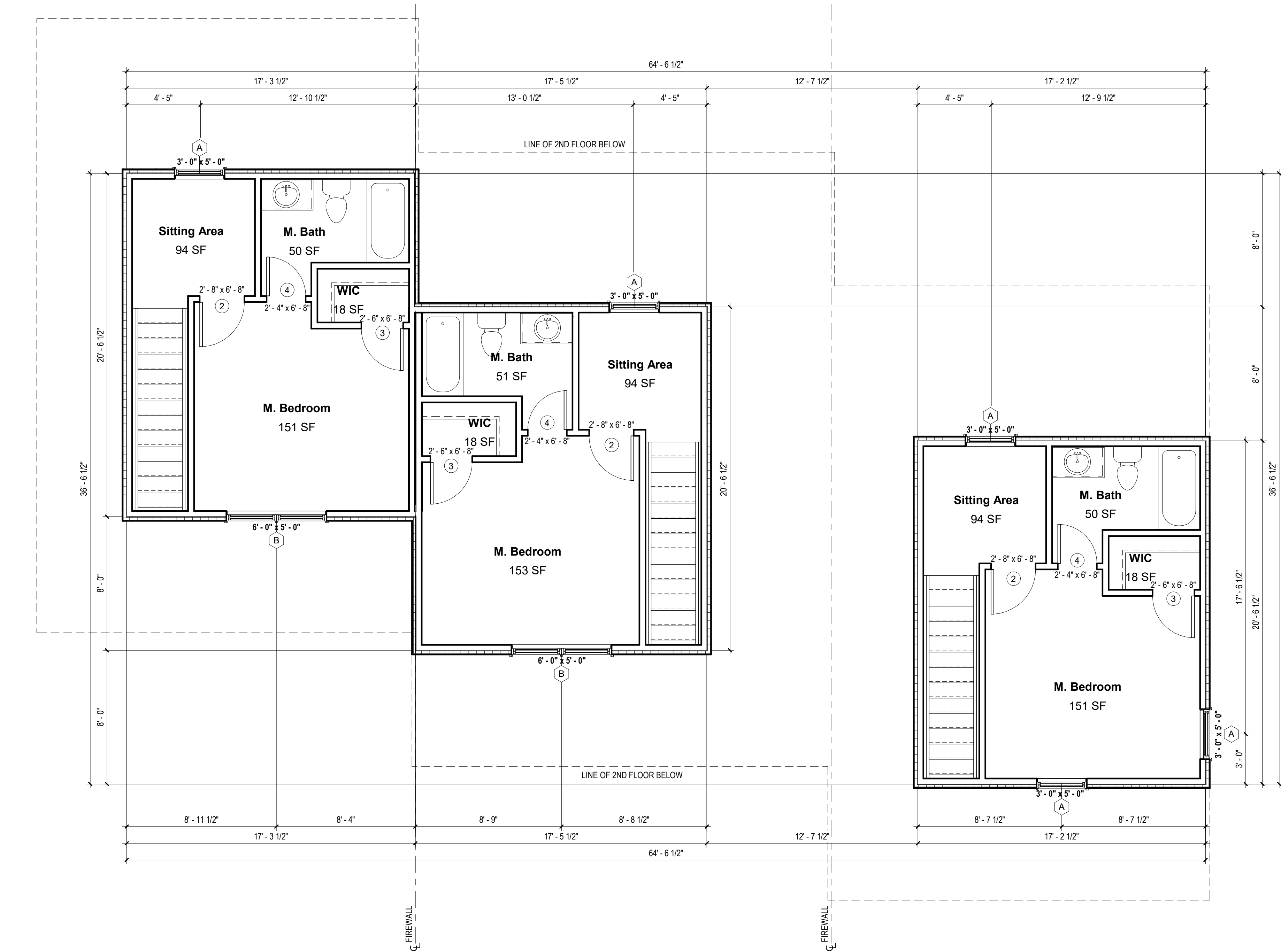
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.2
TRIPLEX - 3RD
FLOOR PLAN

SCALE:

As indicated



1 BUILDING #3 PLAN - 3RD FLOOR
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NOTES
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12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
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16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
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22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
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6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
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The Prospect Homestead
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BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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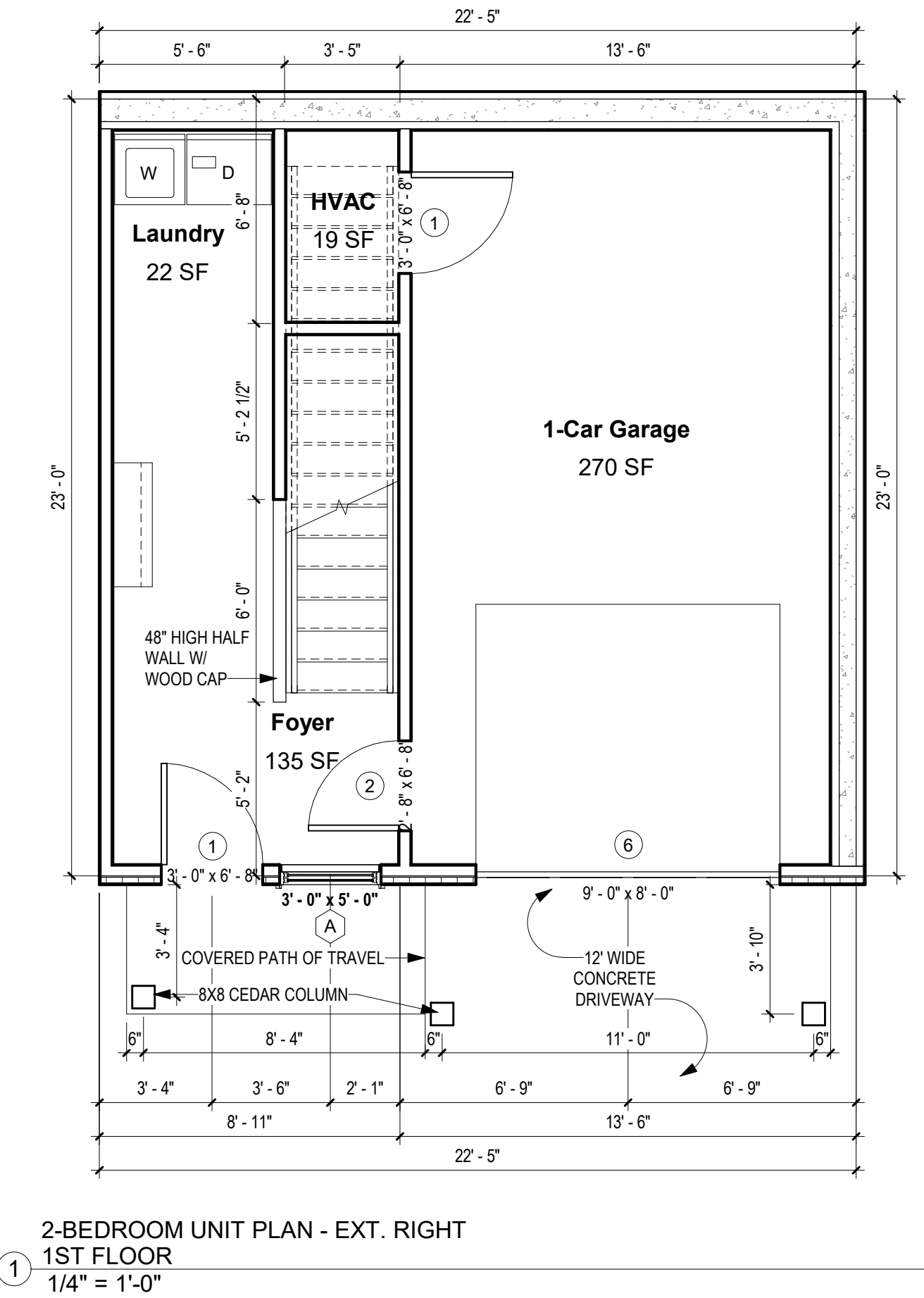
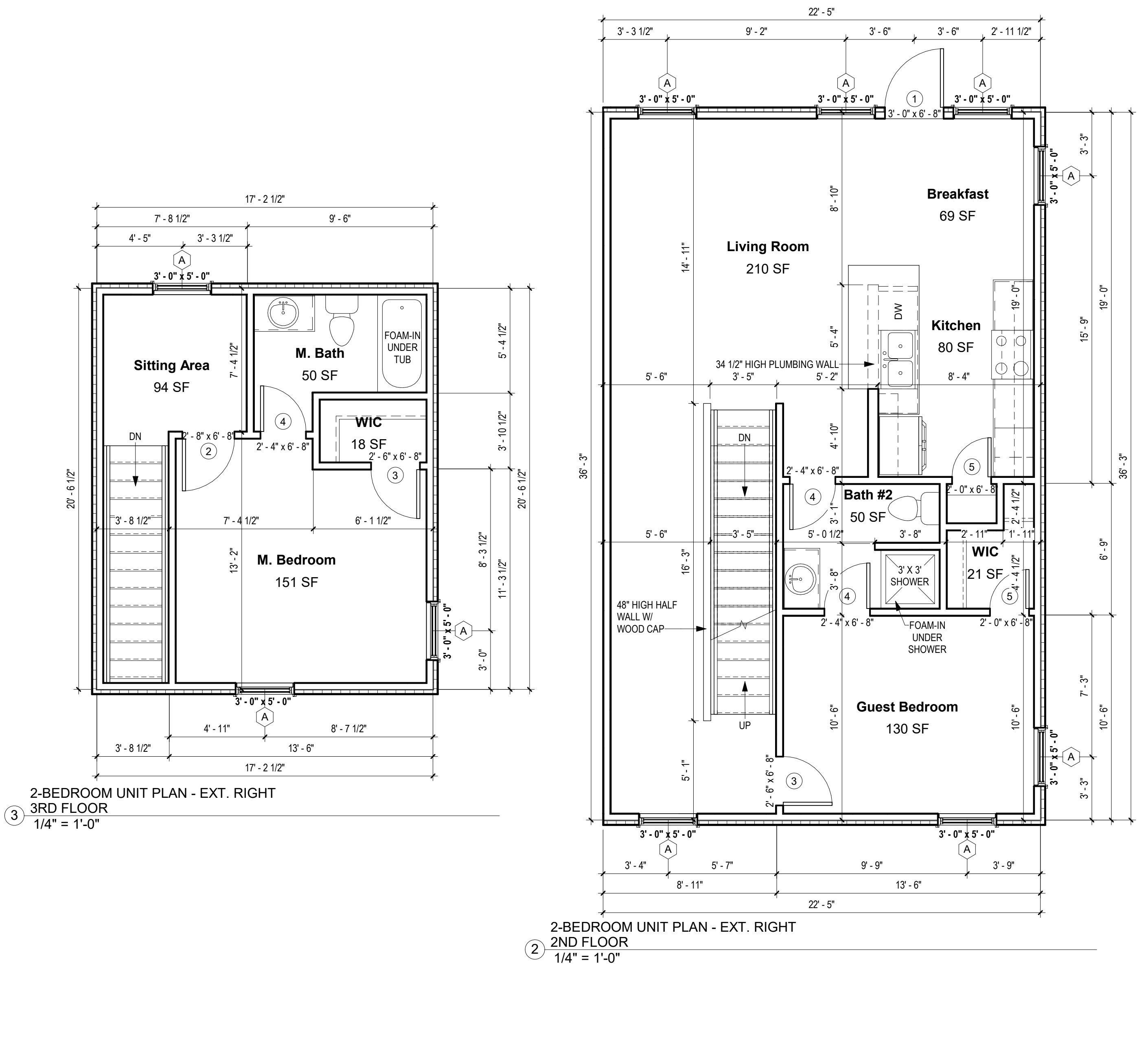
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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.3
EXTERIOR RIGHT -
UNIT "J" FLOOR
PLANS

SCALE:

As indicated



NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

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ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE), 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
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- 7. DO NOT SCALE DRAWINGS.
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The Prospect Homestead
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Butte, Colorado
BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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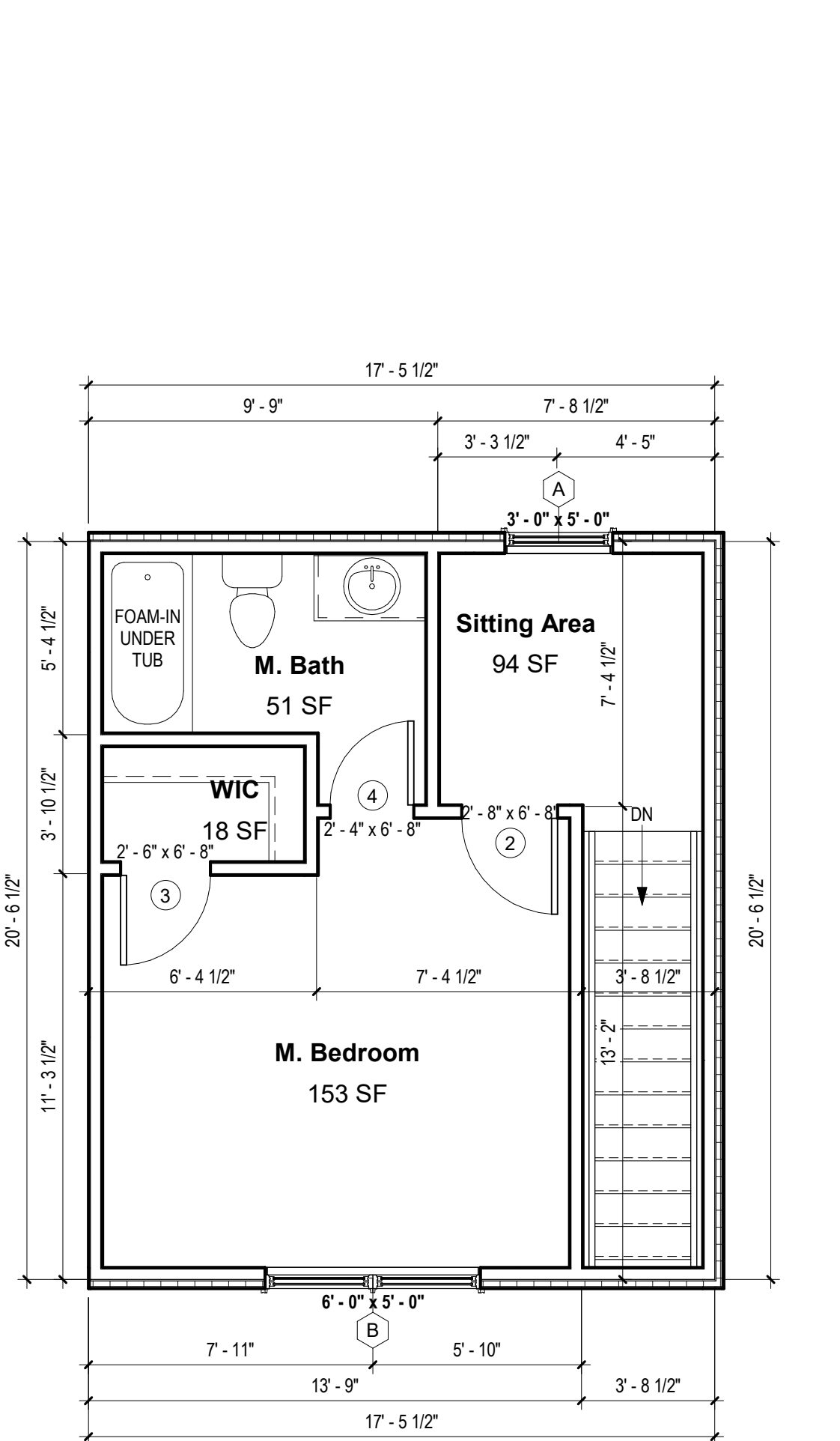
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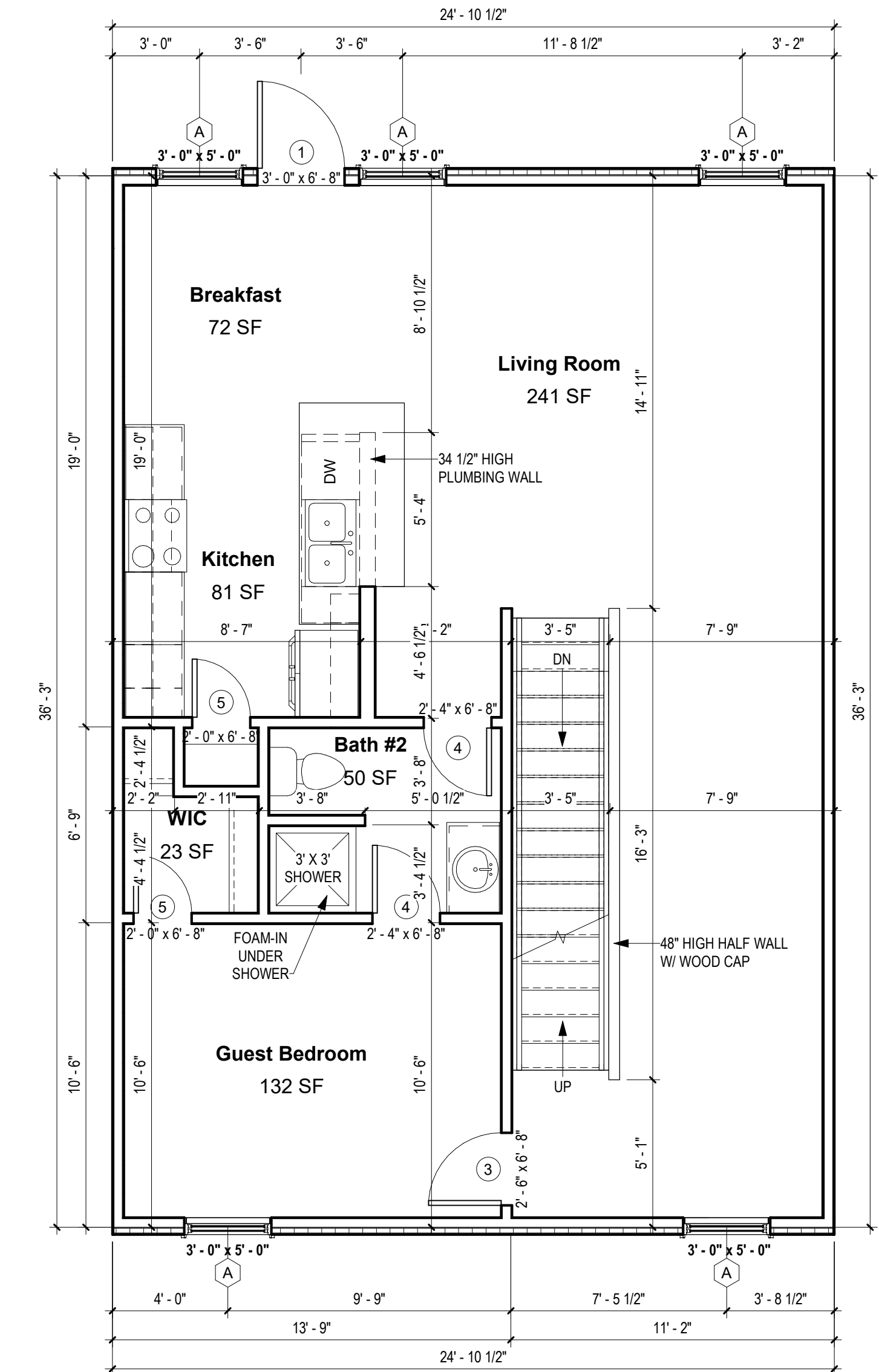
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Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.4
INTERIOR - UNIT "J"
FLOOR PLANS

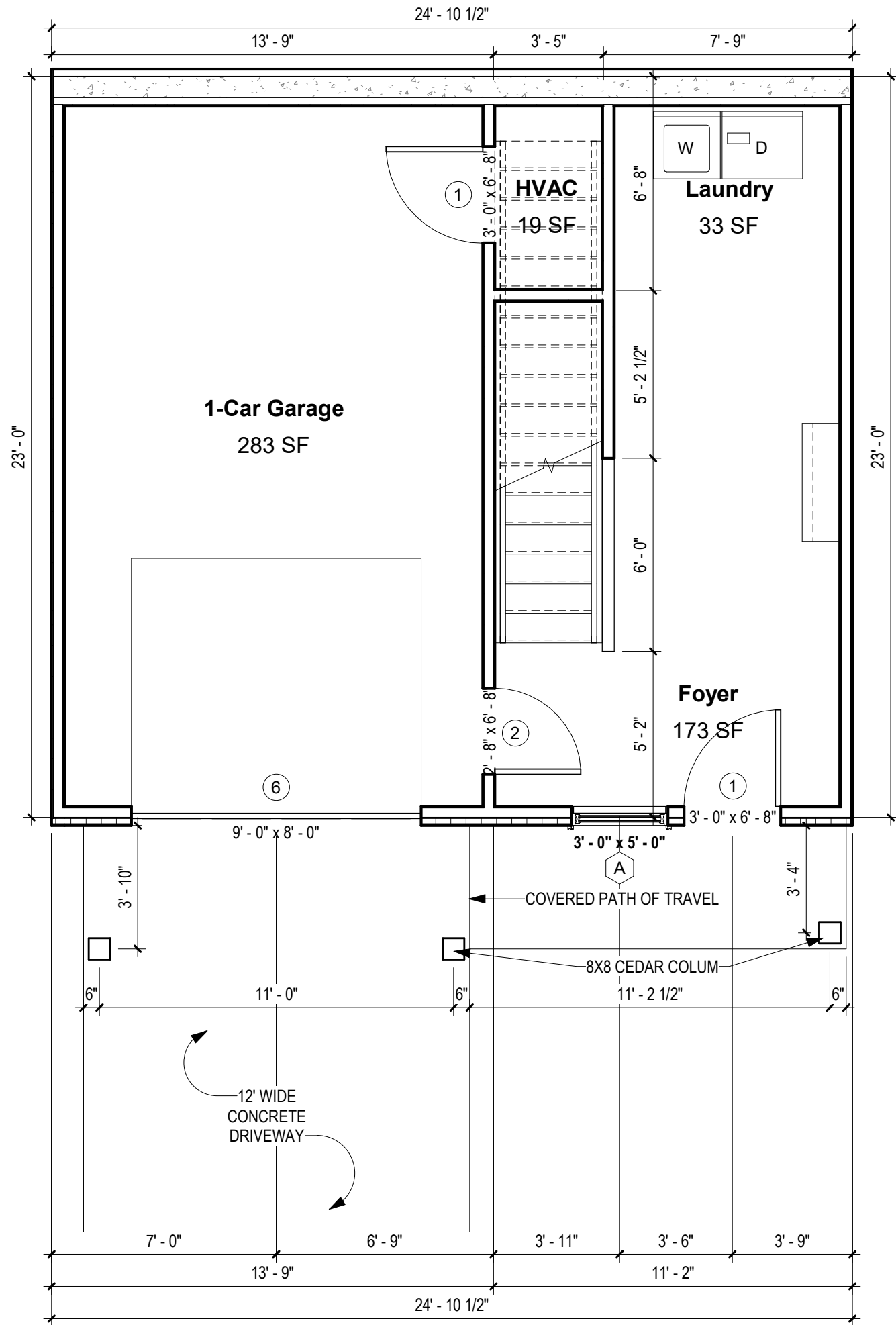
SCALE: As indicated



3-BEDROOM UNIT PLAN - INT. 3RD FLOOR
1/4" = 1'-0"



2-BEDROOM UNIT PLAN - INT. 2ND FLOOR
1/4" = 1'-0"



2-BEDROOM UNIT PLAN - INT. 1ST FLOOR
1/4" = 1'-0"

NOTES

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BUILDING #3 -
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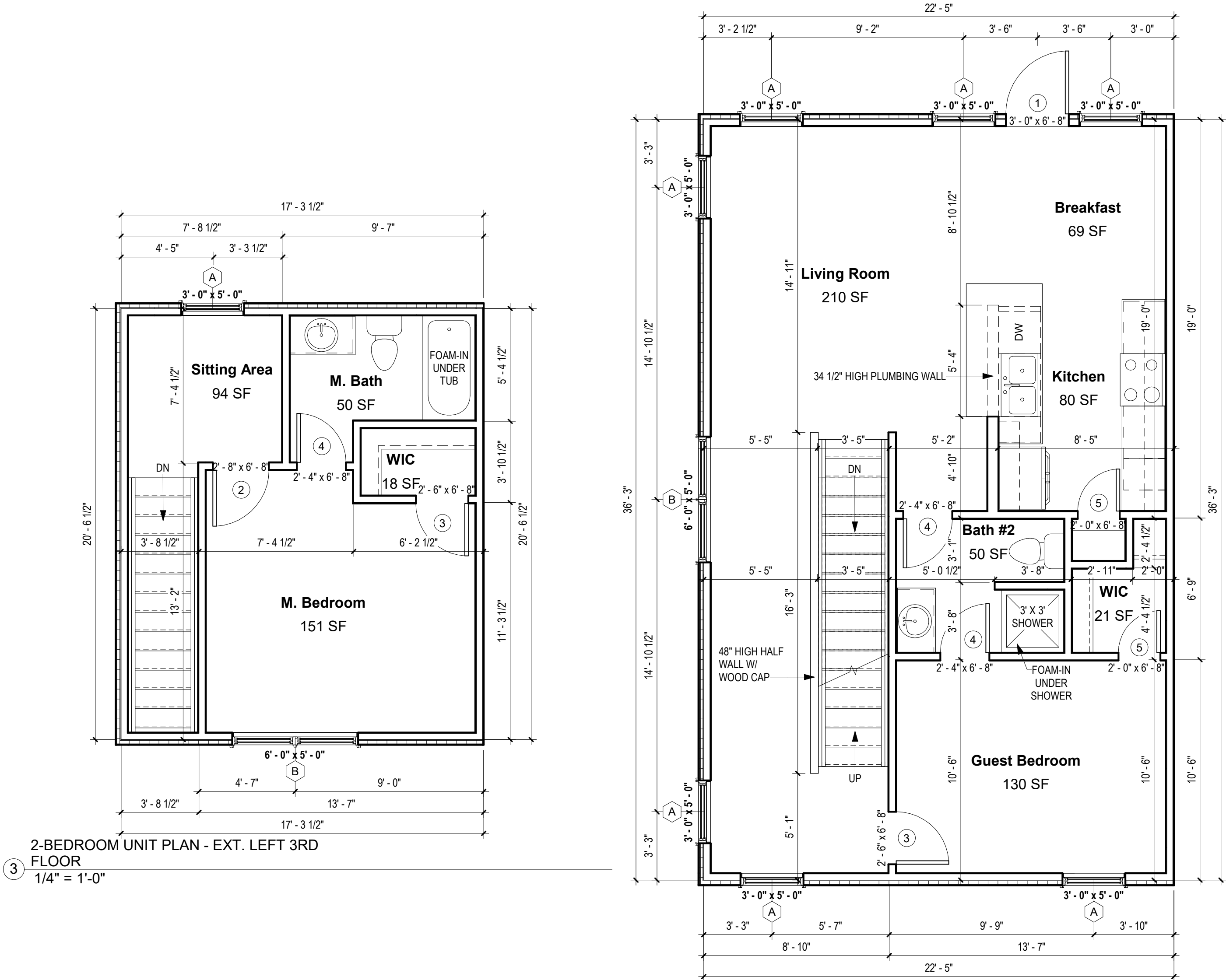
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DOCUMENTS

Project number 2017-5
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Drawn by MML
Checked by EAW

A-101.5
EXTERIOR LEFT -
UNIT "J" FLOOR
PLANS

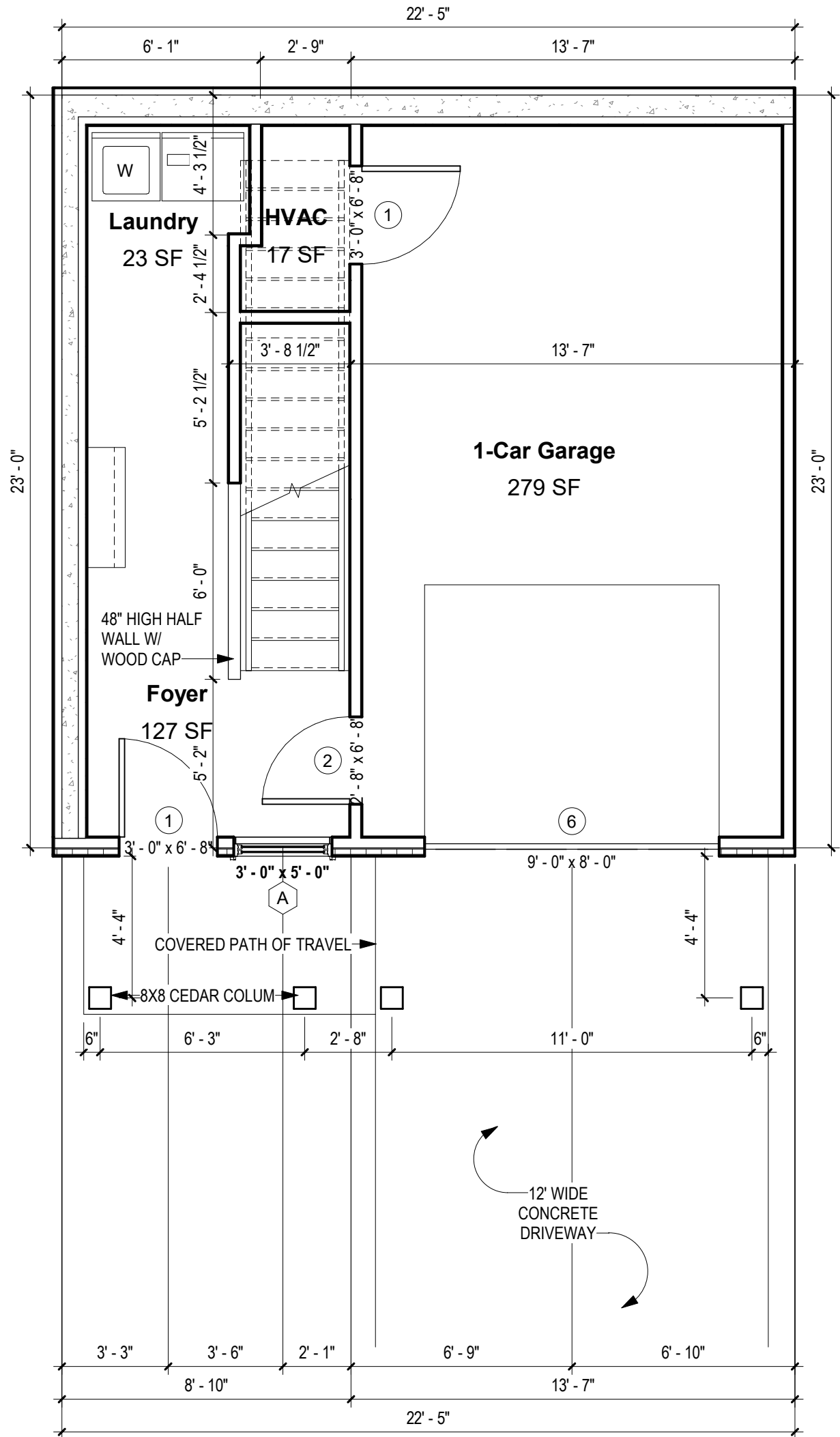
SCALE:

As indicated



2-BEDROOM UNIT PLAN - EXT. LEFT 3RD
FLOOR
1/4" = 1'-0"

2-BEDROOM UNIT PLAN - EXT. LEFT 2ND
FLOOR
1/4" = 1'-0"



2-BEDROOM UNIT PLAN - EXT. LEFT 1ST
FLOOR
1/4" = 1'-0"

NOTES

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GENERAL NOTES:

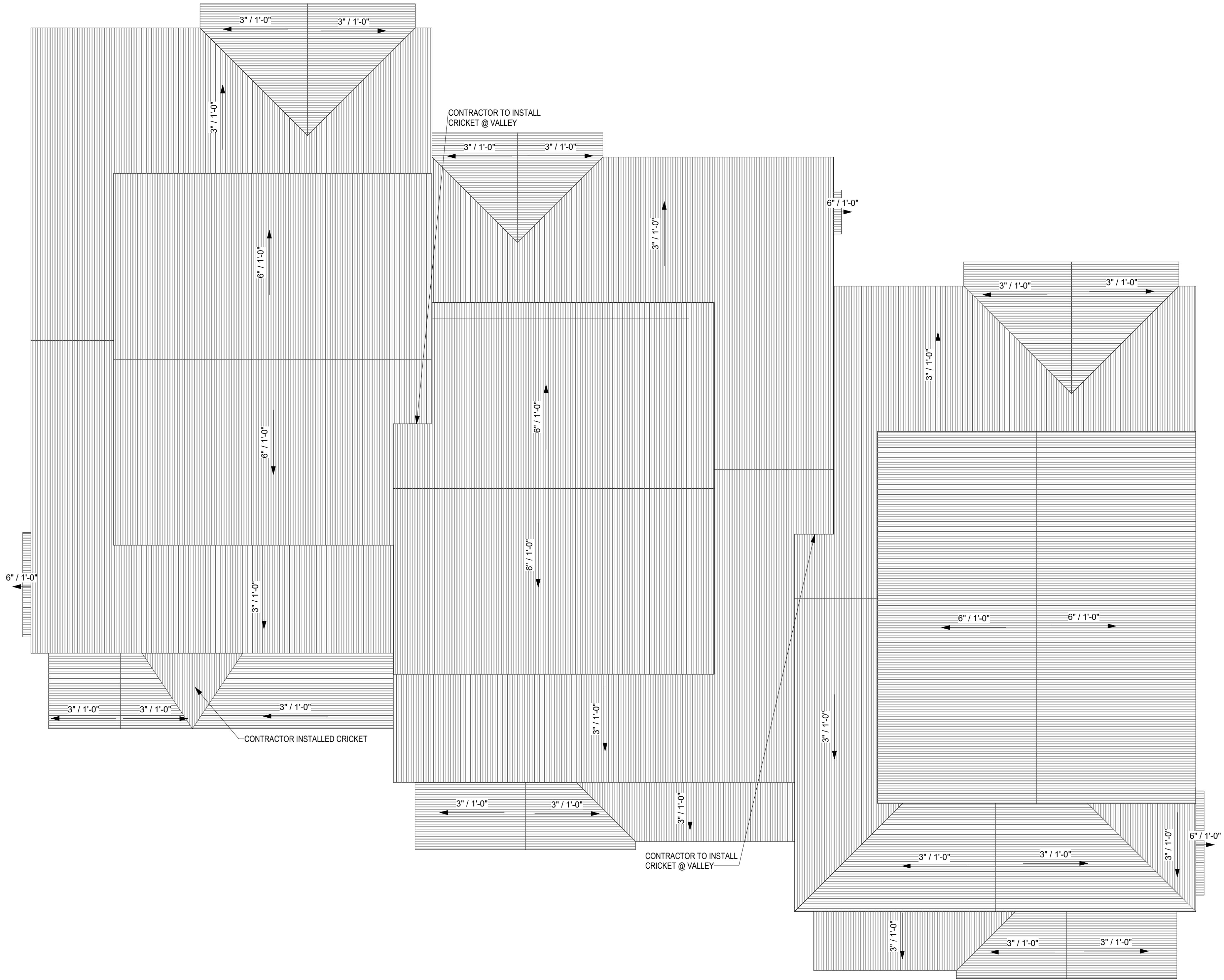
1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
2. ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



1 ROOF PLAN
1/4" = 1'-0"

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**BUILDING #3 -
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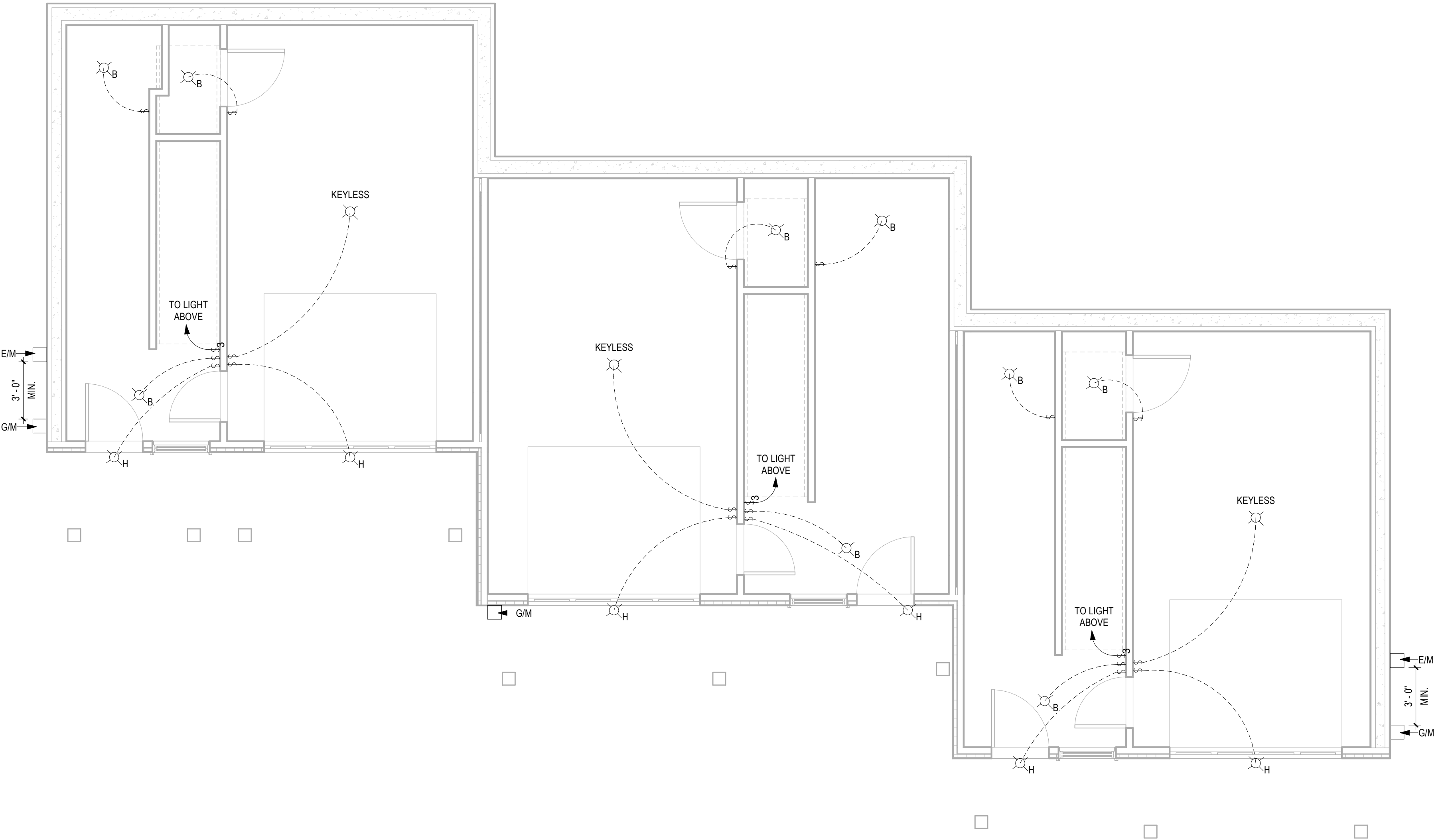
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Project number	2017-5
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Checked by	EAW

A-102
ROOF PLAN

SCALE: As indicated



1 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"

ELECTRICAL LEGEND / SCHEDULE			
	A	WALL MOUNT FIXTURE, 36" WIDE	
	B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	
	C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	
	D	WALL MOUNT FIXTURE, 24" WIDE	
	E	5-LIGHT CHANDELIER	
	F	EXTERIOR FLOODLIGHT	
	H	GOOSENECK LIGHT FULL CUT-OFF	
	J	RECESSED CAN LIGHT, PROVIDE CFL BULBS	
	K	BATHROOM EXHAUST FAN	
	L	PHONE / DATA	
	M	PHONE	
	N	CABLE	
	O	52" FAN, WITH LIGHT KIT	
	P	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS	
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			

GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED OTHERWISE.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

No.	Description	Date



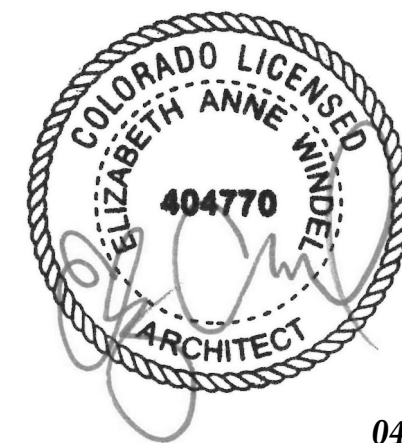
Southern Design Group, LLC
207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL
Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado
BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-103 ELECTRICAL PLAN - 1ST FLOOR

SCALE:

As indicated



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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-103.1
ELECTRICAL PLAN -
2ND & 3RD FLOORS

SCALE:

As indicated

ELECTRICAL LEGEND / SCHEDULE

- | | |
|--|--|
| ⊗A WALL MOUNT FIXTURE, 36" WIDE | ⦿K BATHROOM EXHAUST FAN |
| ⊗B SURFACE MOUNT FIXTURE, 11 1/4" DIA. | ▲ PHONE / DATA |
| ⊗C SURFACE MOUNT FIXTURE, 15 1/4" DIA. | △ PHONE |
| ⊗D WALL MOUNT FIXTURE, 24" WIDE | ▲ CABLE |
| ⊗E 5-LIGHT CHANDELIER | ⊕G 52" FAN, WITH LIGHT KIT |
| ⊗F EXTERIOR FLOODLIGHT | ⊕L 52" CEILING FAN (ENERGY STAR CERTIFIED)
WITH LIGHT KIT, MEDIUM BASE BULBS,
60W MAX, PROVIDE CFL BULBS |
| ⊗H GOOSENECK LIGHT FULL CUT-OFF | |
| ⊗J RECESSED CAN LIGHT, PROVIDE CFL BULBS | |

SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS

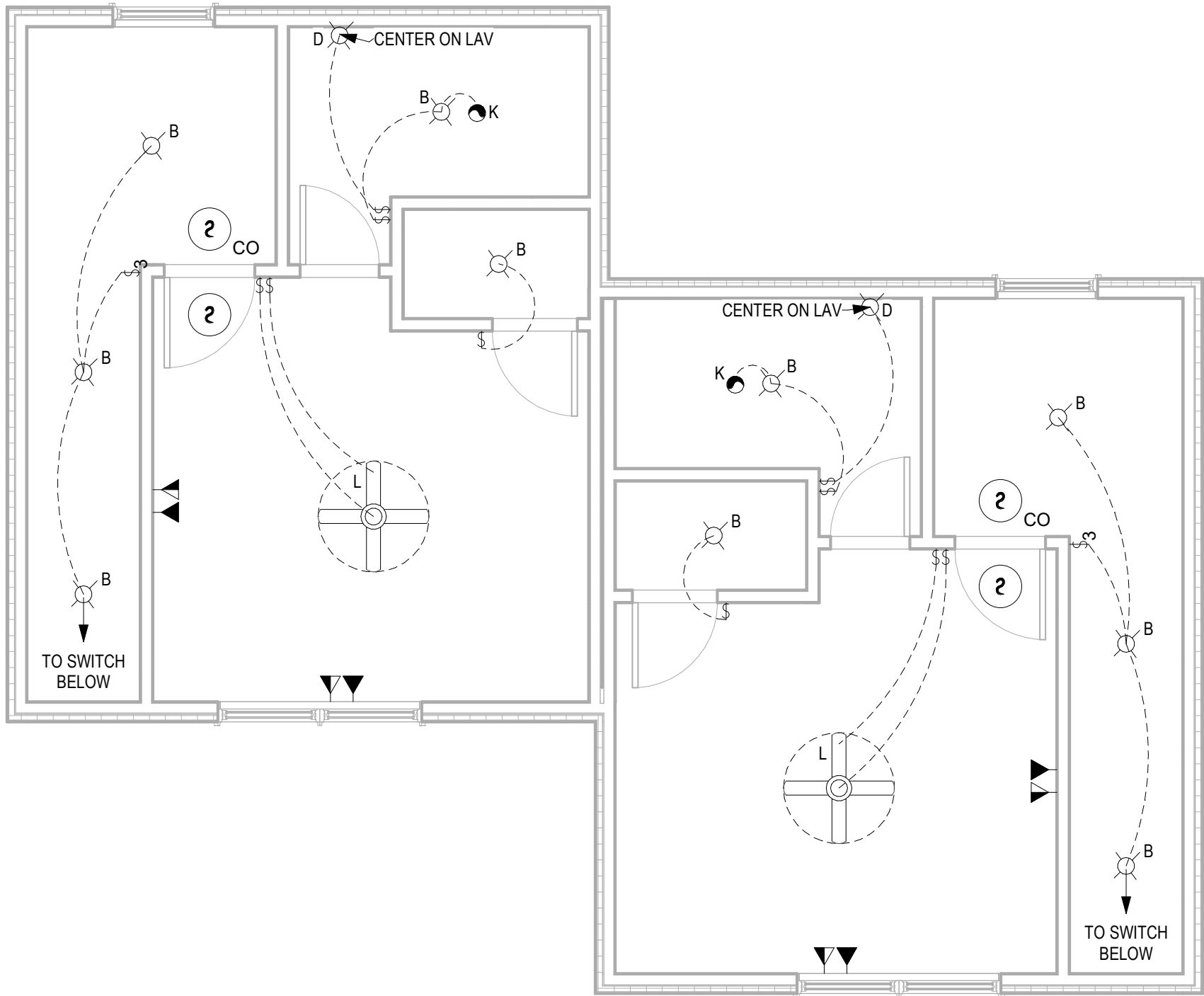
GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
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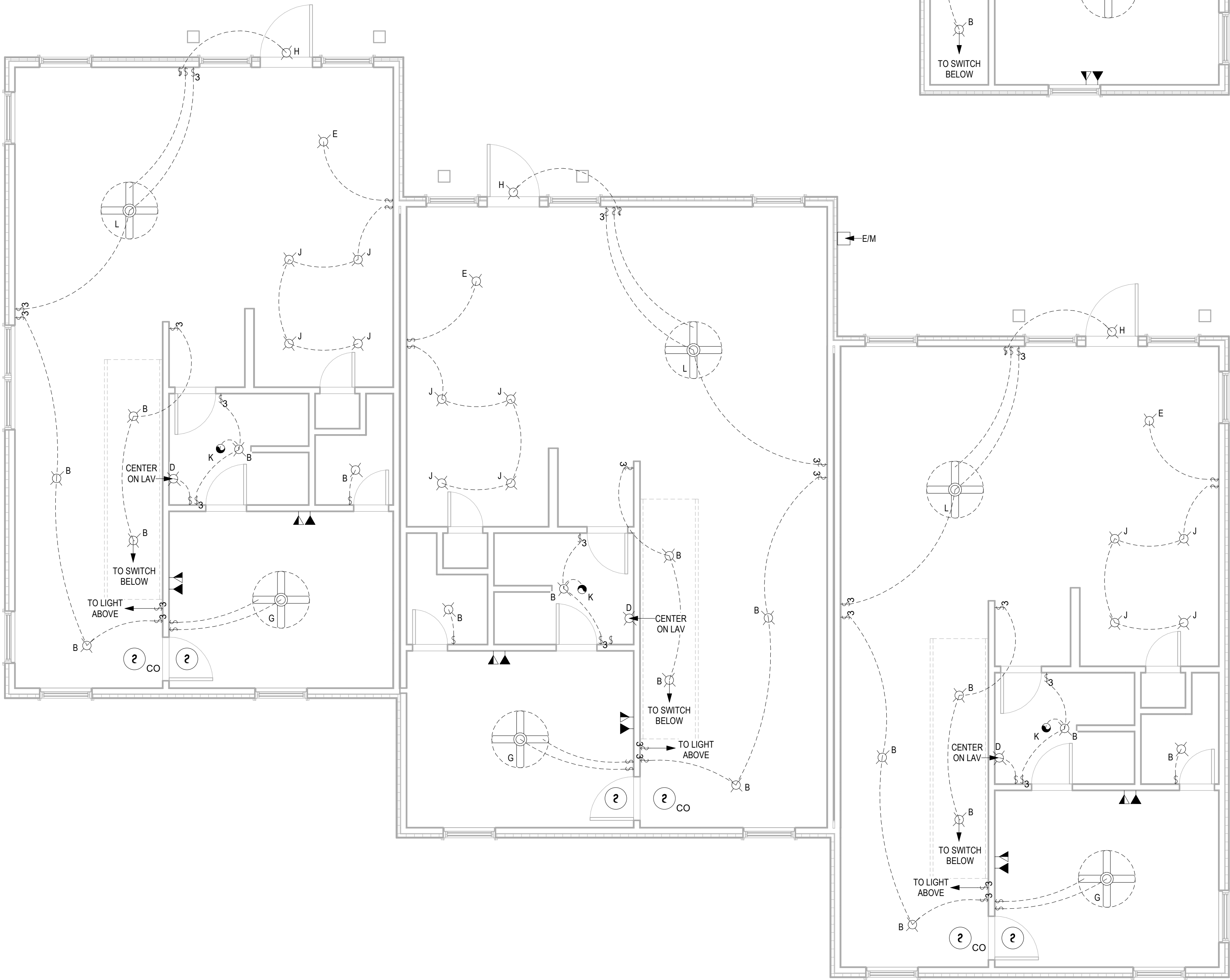
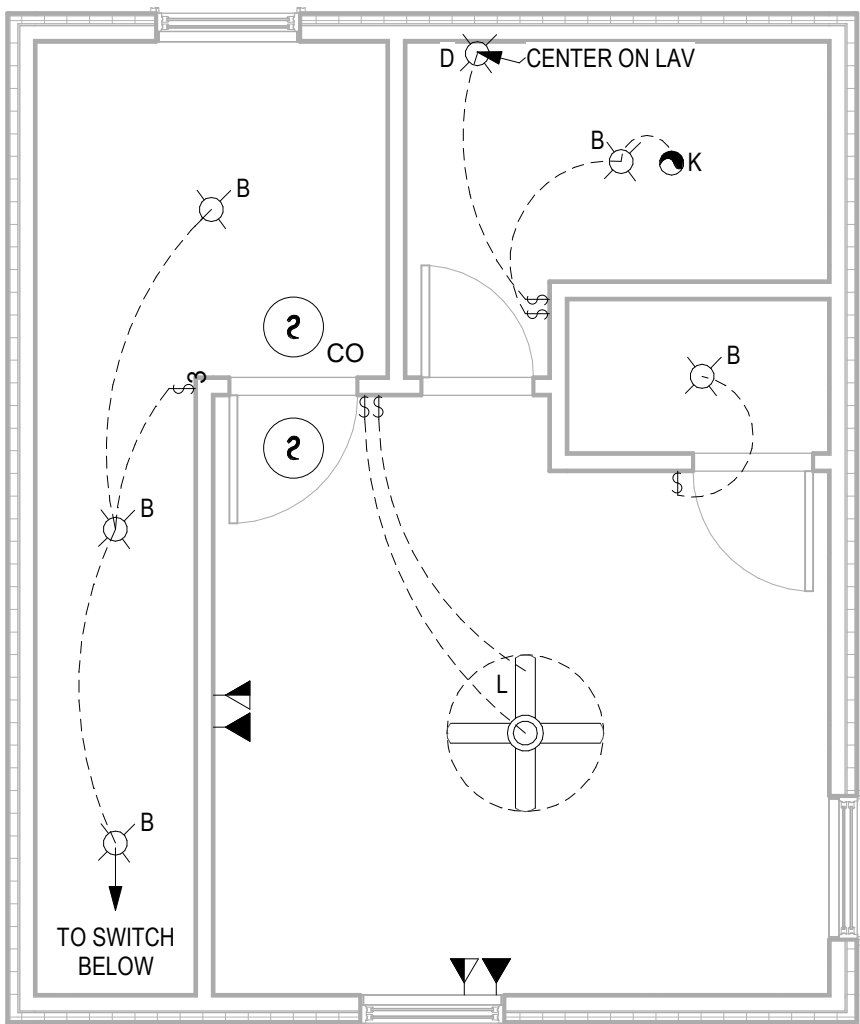
GENERAL MECHANICAL NOTES:

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No.	Description	Date



2 ELECTRICAL PLAN - 3RD FLOOR
1/4" = 1'-0"

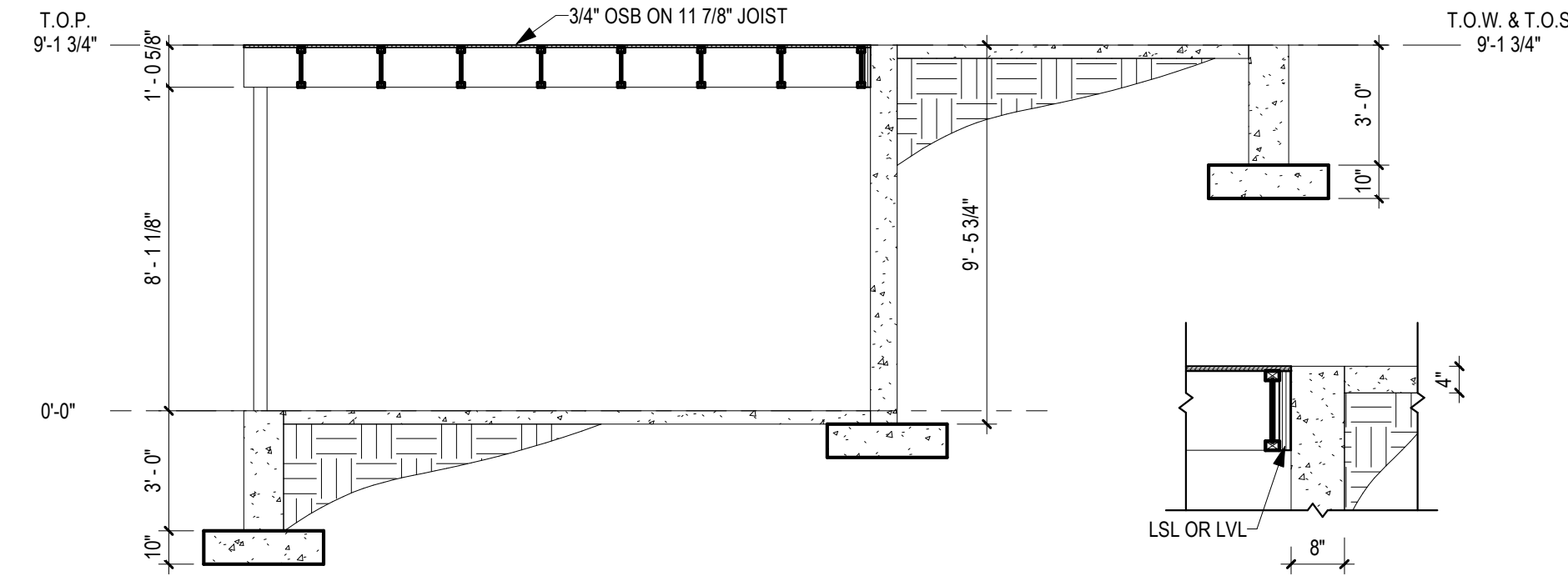


1 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"

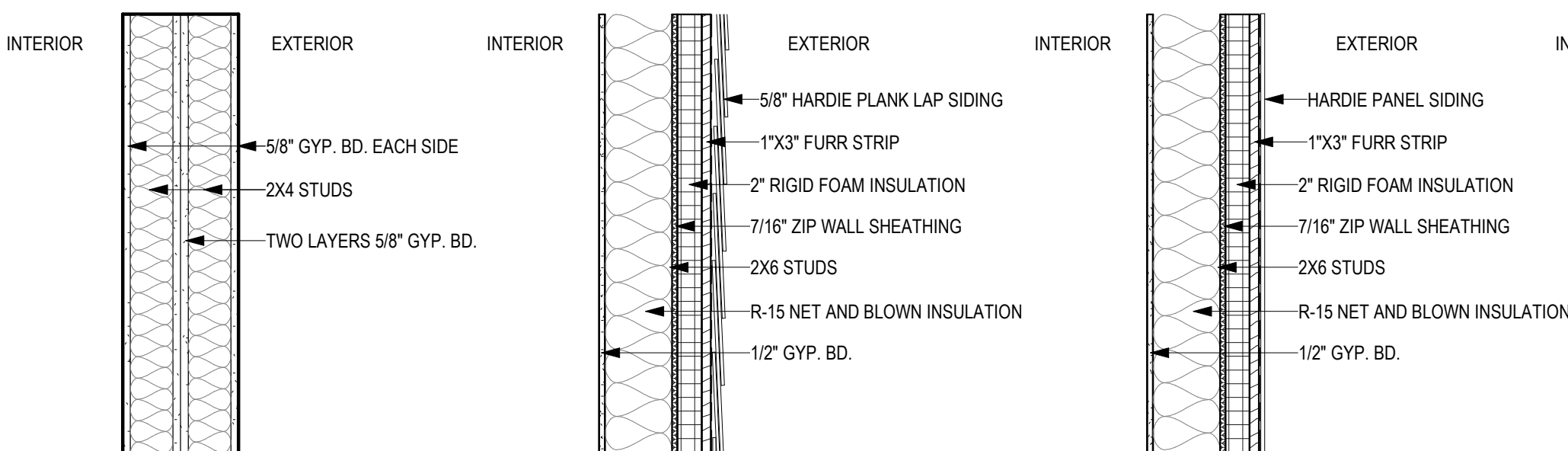
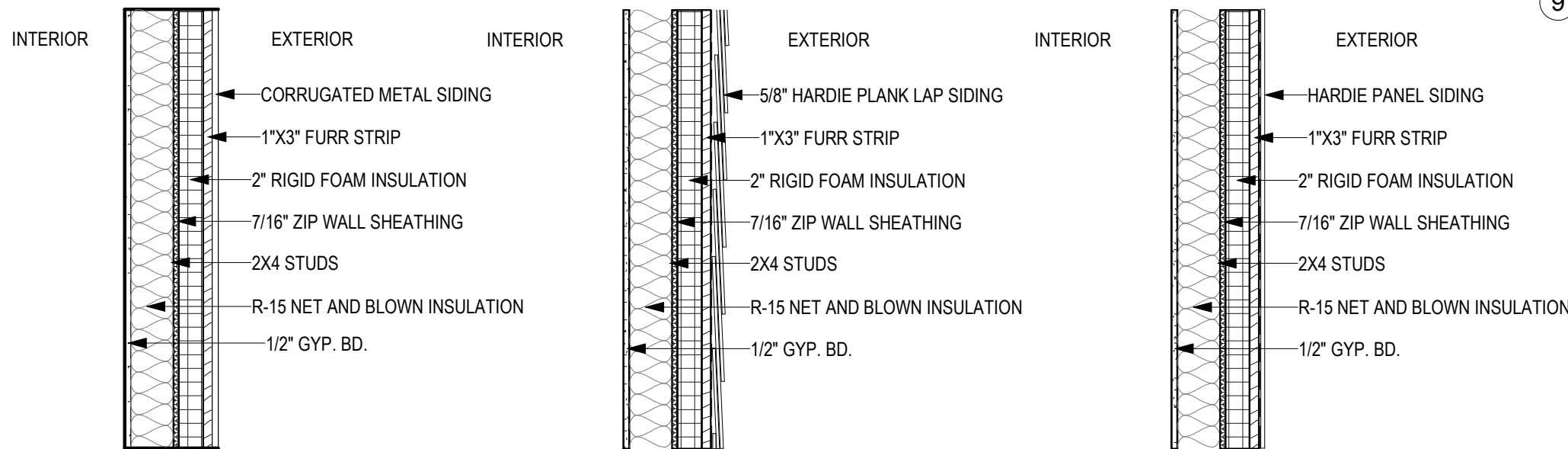
DOOR SCHEDULE			
Type Mark	Width	Height	Comments
①	3' - 0"	6' - 8"	
②	2' - 8"	6' - 8"	
③	2' - 6"	6' - 8"	
④	2' - 4"	6' - 8"	
⑤	2' - 0"	6' - 8"	
⑥	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
A	3' - 0"	5' - 0"	
B	6' - 0"	5' - 0"	

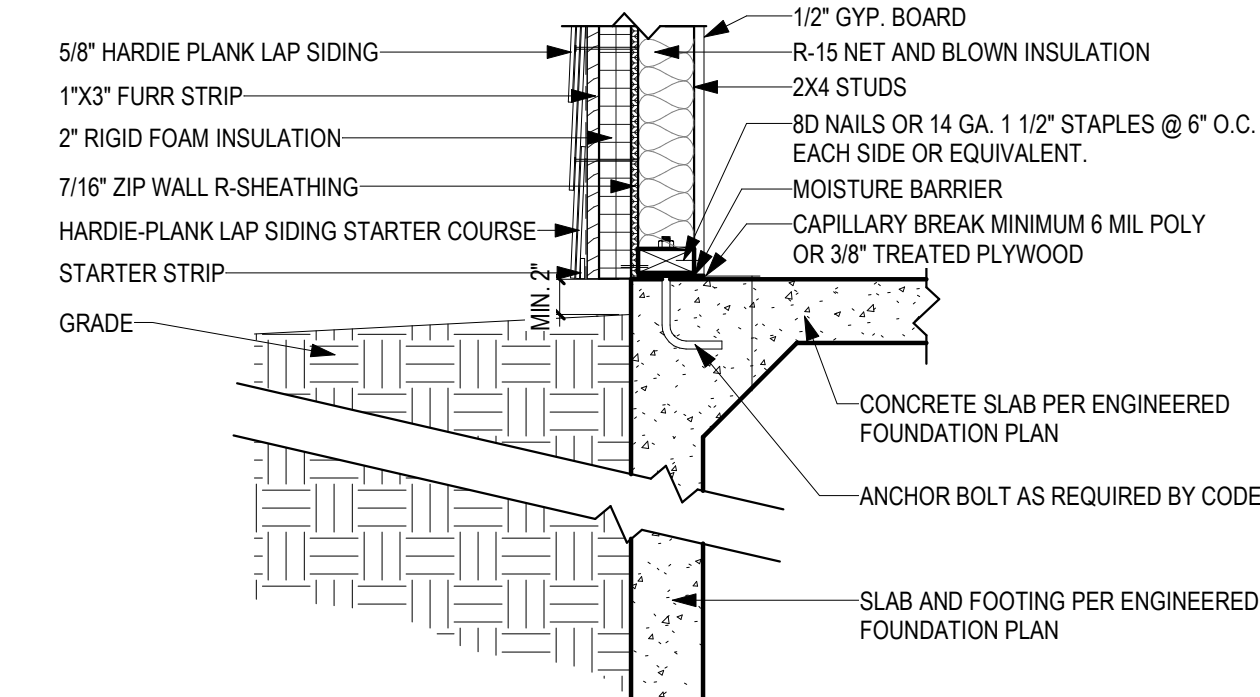
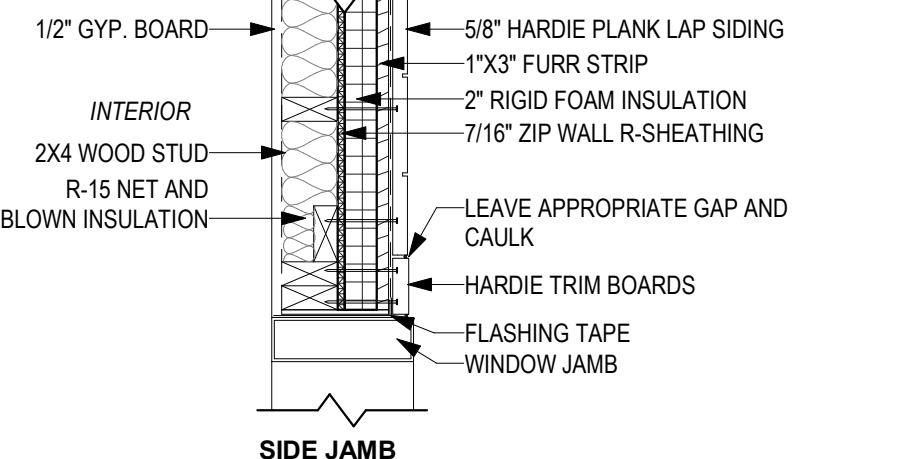
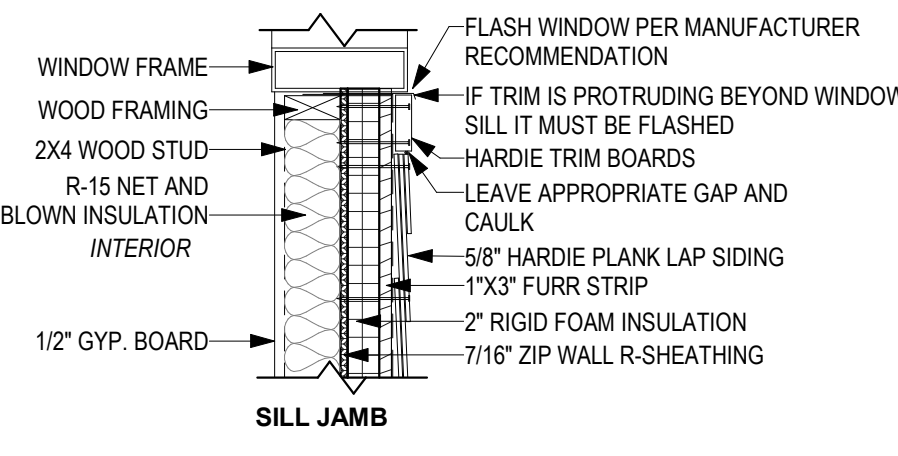
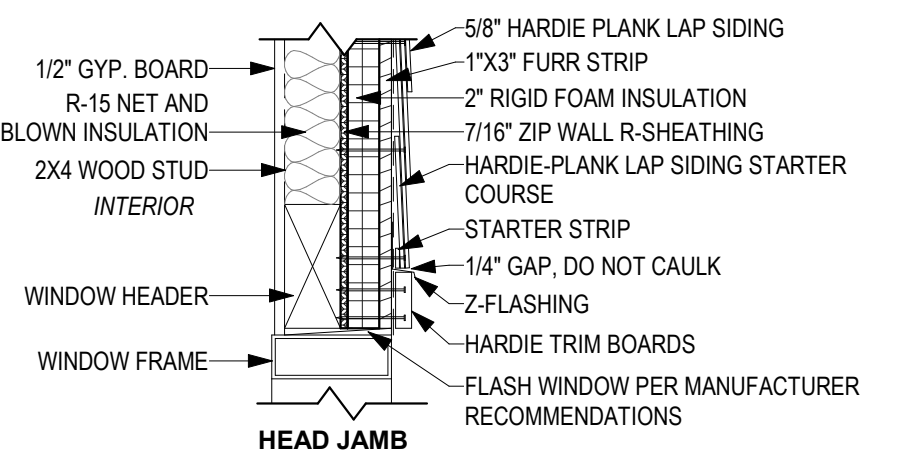
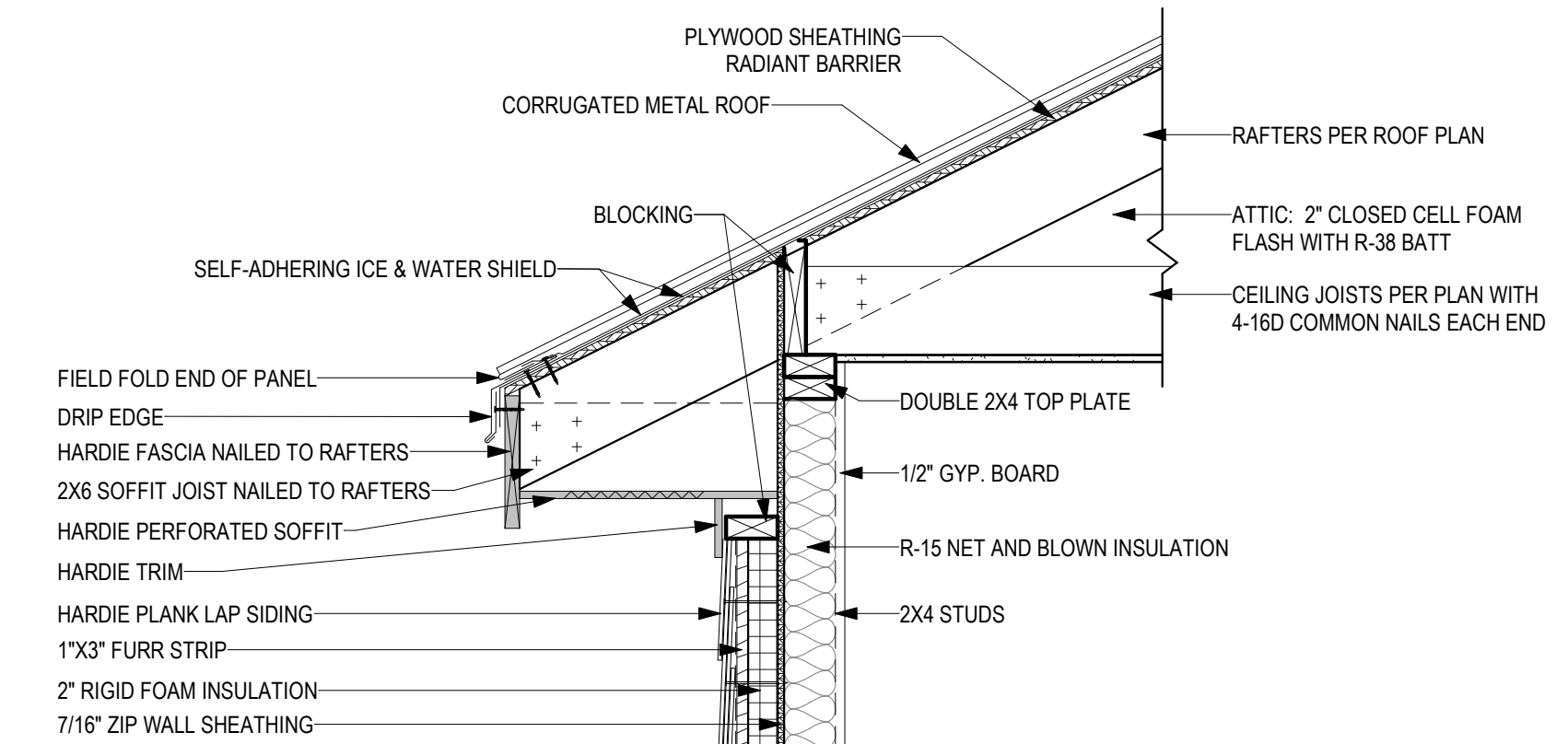
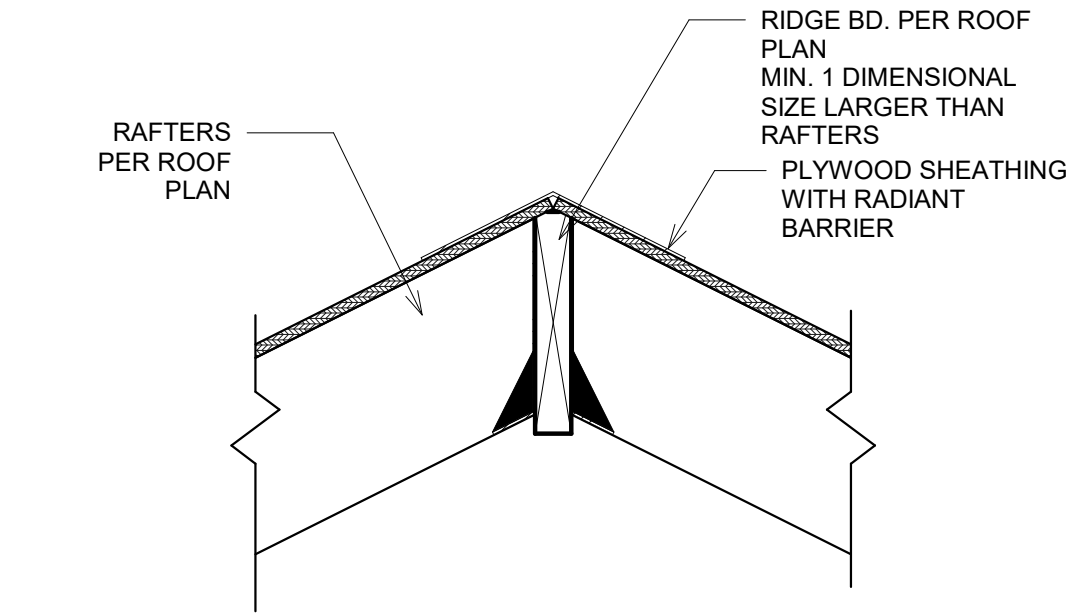
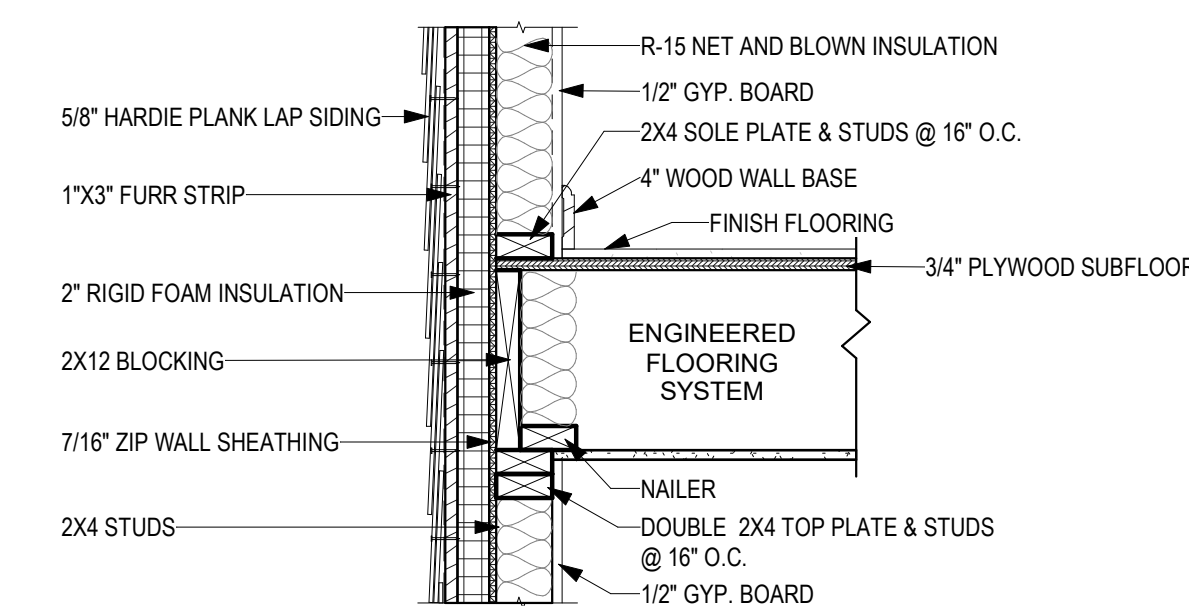
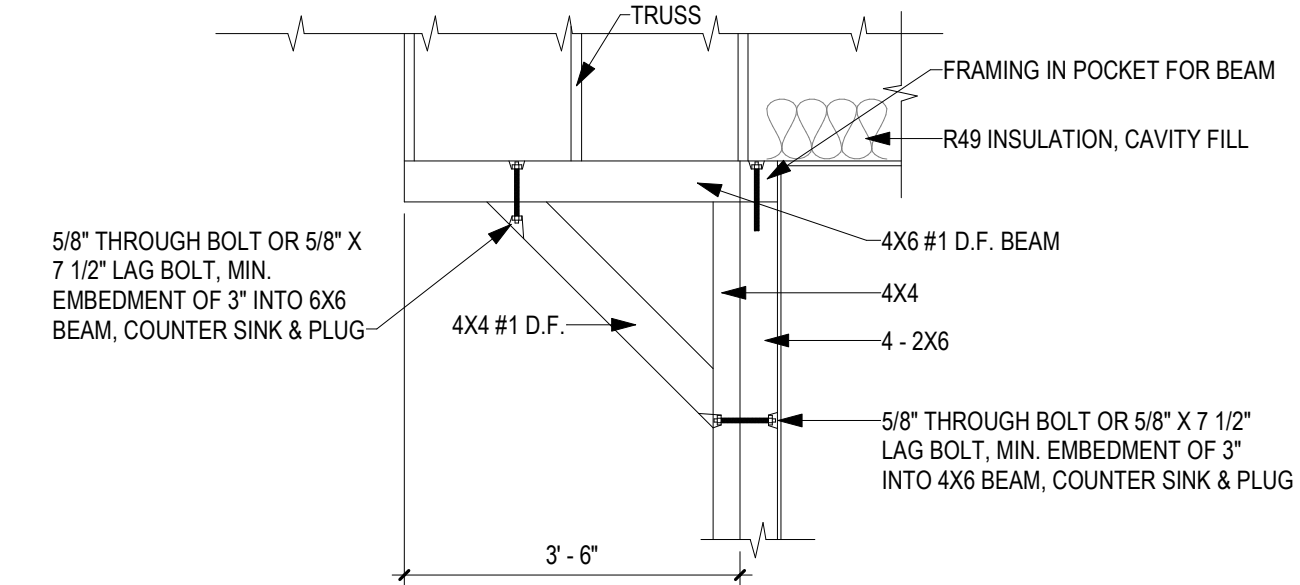
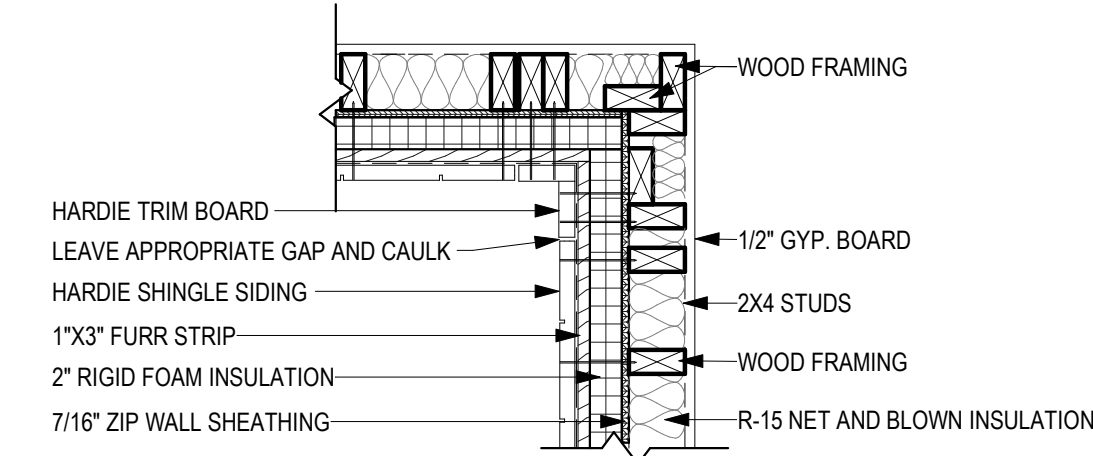
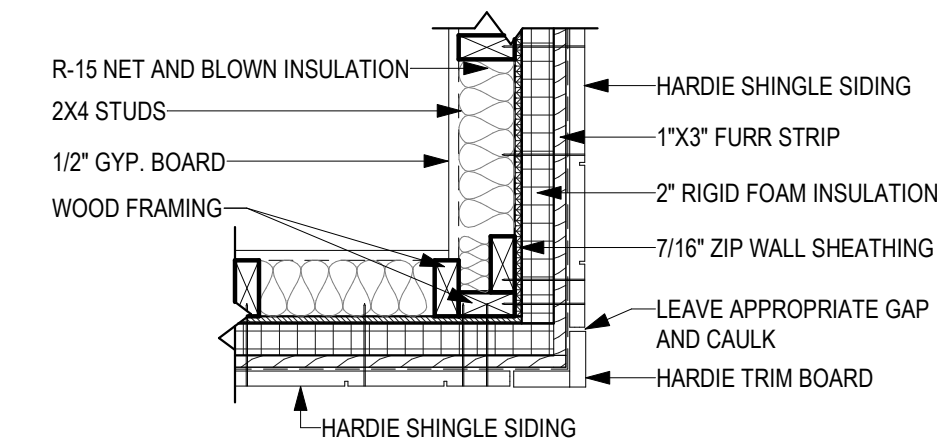
PLUMBING FIXTURE SCHEDULE	
Count	Description
3	3' X 3' SHOWER
6	19" X 19" ROUND VANITY SINK
3	36" X 21" DOUBLE KITCHEN SINK
3	SHOWER/TUB COMBO
6	TOILET - STANDARD HT.



**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



WALL TYPE LEGEND
1" = 1'-0"



**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

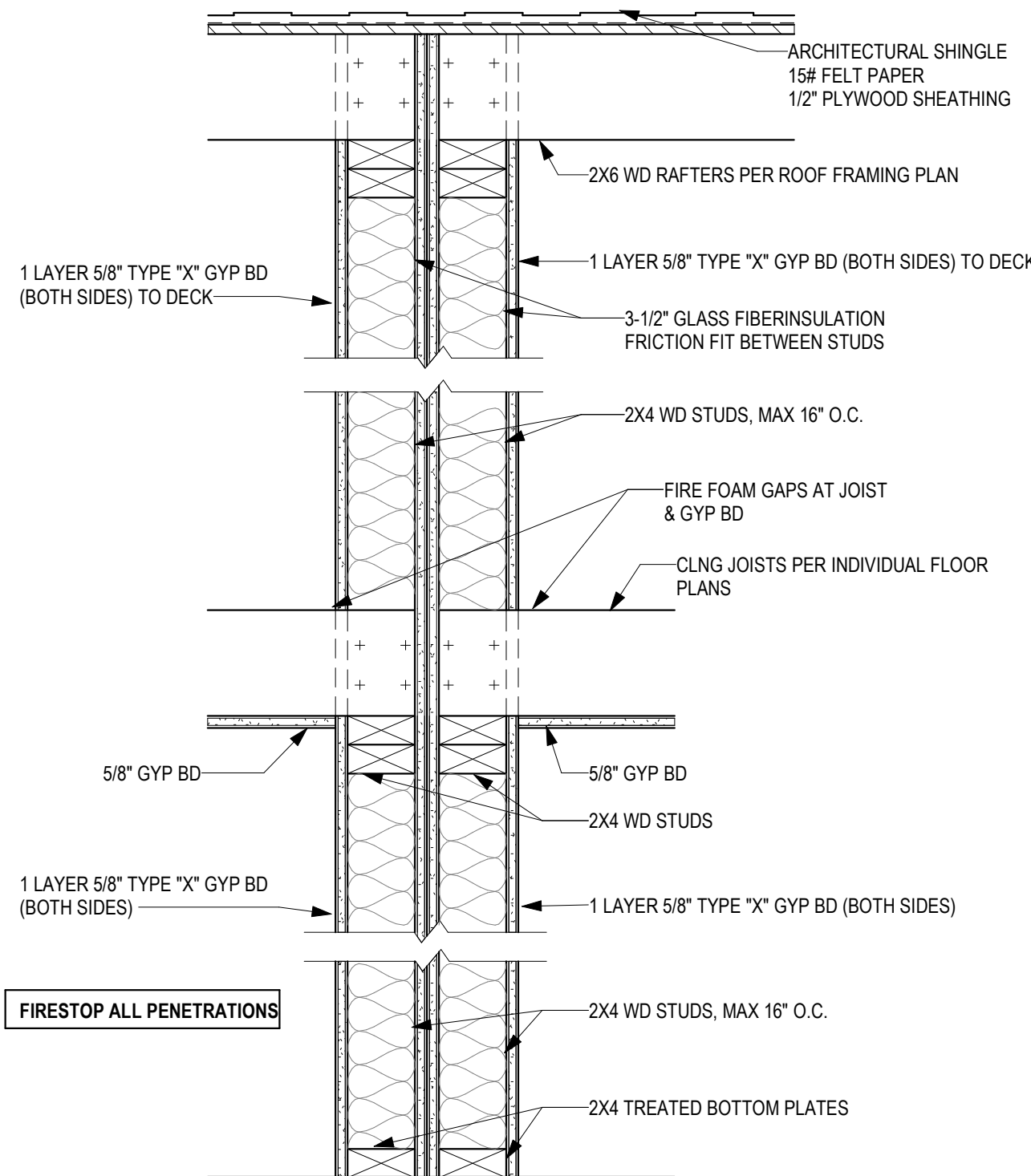
SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

**REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR INSULATION REQUIREMENTS FOR ZONE 7



1 FIRE SEPARATION WALL
1 1/2" = 1'-0"

No.	Description	Date



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207 Caddo St.

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Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

CONSULTANTS:

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BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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04.28.2020

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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-104
CONSTRUCTION
DETAILS

SCALE:

As indicated



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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

A-104.1
PRESCRIPTIVE
TABLE

SCALE:

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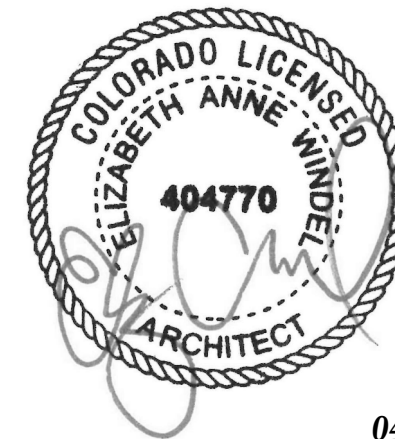
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**BUILDING #3 -
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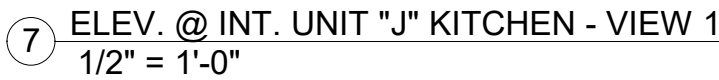
Project number	2017-1
Date	04.28.2021
Drawn by	MMML
Checked by	EAW

A-105

CABINET LAYOUT & ELEVATIONS

SCALE:

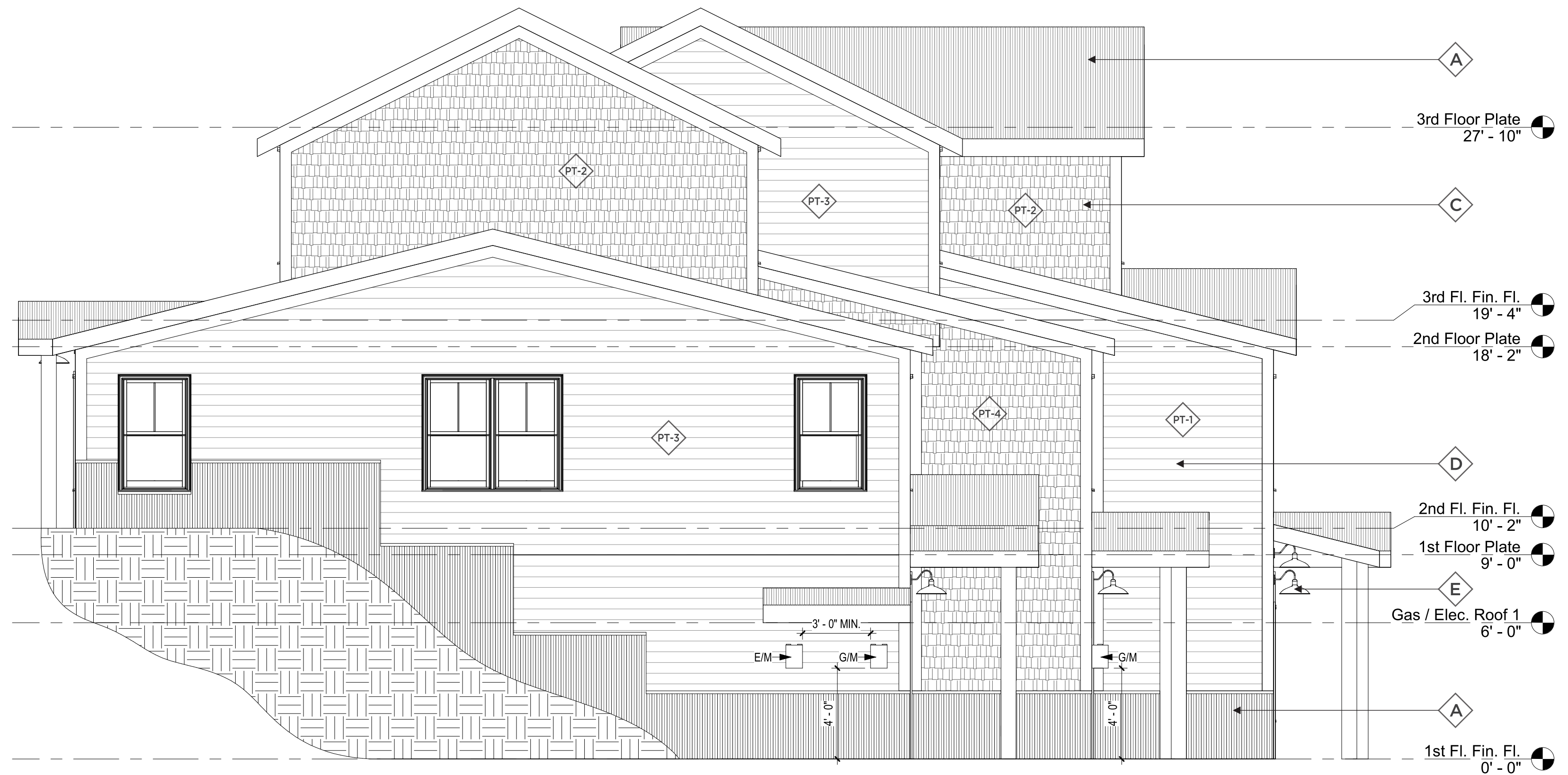
As indicated

[illegible]

FRONT ELEVATION BLDG HT. - 33'-01"
LEFT ELEVATION BLDG HT. - 28'-00"
REAR ELEVATION BLDG HT. - 22'-11"
RIGHT ELEVATION BLDG HT. - 28'-00"
TOTAL - 112'-00"
BUILDING HT. - 28'-00"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

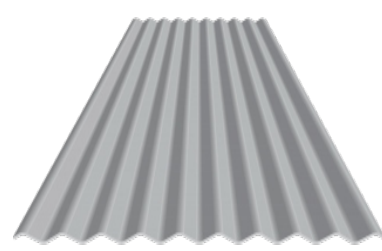


2 SIDE 1 ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

MATERIALS



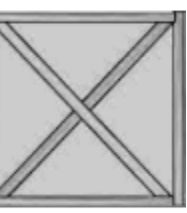
A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



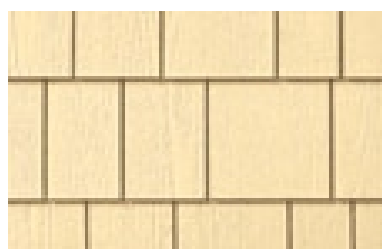
G EXTERIOR DOOR
Manufacturer: Thermo-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



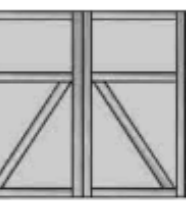
B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



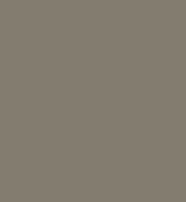
D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



E EXTERIOR SCNCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



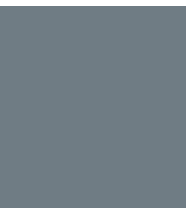
PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



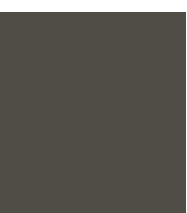
F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White



PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048



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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML / IPT
Checked by EAW

A-201 EXTERIOR ELEVATIONS

No.	Description	Date

SCALE:

1/4" = 1'-0"

MATERIALS



A

EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B

DECK RAILING

Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C

SHAKE SIDING

Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D

LAP SIDING

Manufacturer: Allura
Color: Vary
Style: Traditional



E

EXTERIOR SCONCE

Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



F

EXTERIOR WINDOW

Manufacturer: Synergy
Color: White



G

EXTERIOR DOOR

Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



H

GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I

GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1

EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2

EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3

EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4

EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250

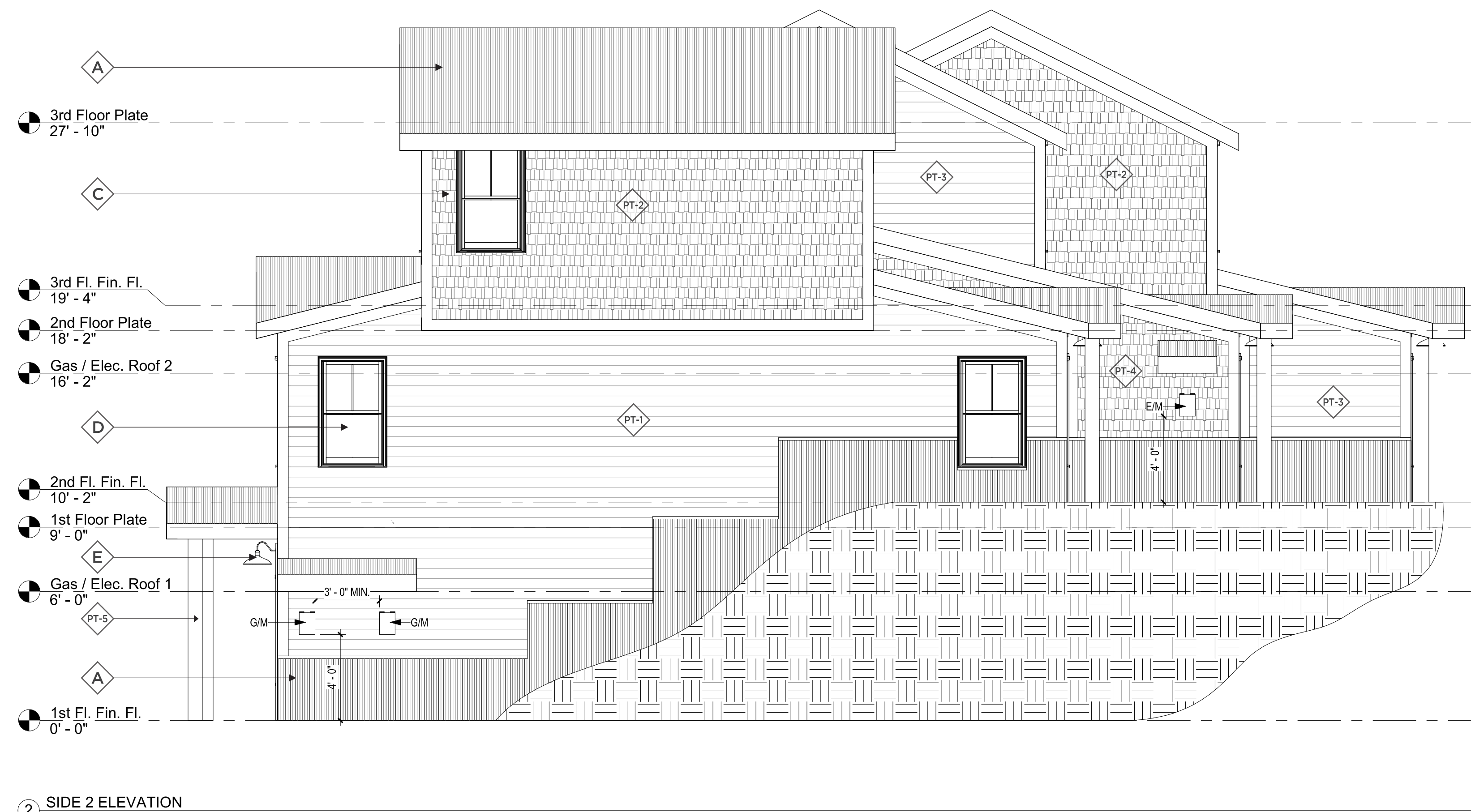


PT-5

TRIM COLOR

Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



No.	Description	Date

SDG

ARCHITECTS

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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL


Williams Engineering

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(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #3 -
TRIPLEX UNIT "J"
2-BEDROOM PLANS

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Project number	2017-5
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Checked by	EAW

A-202 EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #4 - UNIT "F" 3+ BEDROOM PLANS LOTS 7-8



ABBREVIATIONS

A ABV ABOVE ACC ACCESSIBLE ACoust ACoustICAL ACT ACoustICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AEWC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SHOWER HEAD ATTEN ATTENUATION AU ACCESSIBLE URINAL	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR	H HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDNR HARDENER HDWD HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT I IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT	O OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAR PARALLEL PART PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTD PAINTED PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER	S (CONT.) SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/ WITH W/O WITHOUT
--	--	--	---	--

MATERIAL INDICATIONS

	EARTH/ PREPARED SUBGRADE
	GRAVEL, STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND,GROUT,MORTAR
	IRON,STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO



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Architect of Record: Elizabeth Windel, AIA

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CONSULTANTS:

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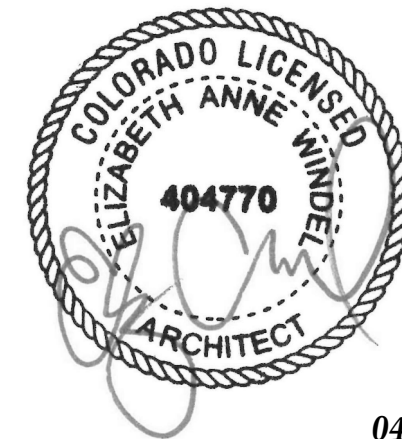
The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

C
COVER SHEET

SCALE:

12" = 1'-0"

GENERAL NOTES

STANDARDS AND REGULATIONS

1.CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-ASSEMBLY TESTS AND STANDARDS.

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK REQUIRED.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7.CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

1.THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A.FACE OF STUD
B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.
C.TO TOP OF STRUCTURAL DECK
D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION. ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2."CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3."MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

4."MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5."TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."-/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH.

5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS GUIDELINES SET FORTH IN THESE DOCUMENTS.

6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE.

3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE REQUIREMENTS.

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS.....50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. DO NOT SCALE THESE DRAWINGS. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

PROJECT TEAM

OWNER

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SHEET INDEX	
Sheet #	Sheet Name
C	COVER SHEET
A-100	PLOT PLAN
A-101	DUPLEX - 1ST FLOOR PLAN
A-101.1	DUPLEX - 2ND FLOOR PLAN
A-101.2	UNIT "F" - 1ST FLOOR PLANS
A-101.3	UNIT "F" - 2ND FLOOR PLANS
A-102	ROOF PLAN
A-103	ELECTRICAL PLAN
A-104	CONSTRUCTION DETAILS
A-104.1	PREScriptive TABLE
A-105	CABINET LAYOUT & ELEVATIONS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS

UNIT PLANS SQUARE FOOTAGE PER UNIT	BUILDING PLANS SQUARE FOOTAGE
UNIT "F" EXT. LEFT (CONDITIONED)	BUILDING #5 (CONDITIONED)
3-BEDROOM	1ST FLOOR - 1,643 SF
1ST FLOOR - 814 SF	2ND FLOOR - 1,999 SF
2ND FLOOR - 1,095 SF	TOTAL (CONDITIONED) - 3,642 SF
TOTAL (CONDITIONED) - 1,899 SF	
(UNCONDITIONED)	(UNCONDITIONED)
HVAC - 33 SF	HVAC - 66 SF
GARAGE - 356 SF	GARAGE - 734 SF
TOTAL (UNCONDITIONED) - 389 SF	TOTAL (UNCONDITIONED) - 800 SF

UNIT "F" EXT. RIGHT (CONDITIONED)	3-BEDROOM
1ST FLOOR - 814 SF	2ND FLOOR - 1,095 SF
TOTAL (CONDITIONED) - 1,899 SF	
(UNCONDITIONED)	
HVAC - 33 SF	GARAGE - 377 SF
TOTAL (UNCONDITIONED) - 410 SF	

No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
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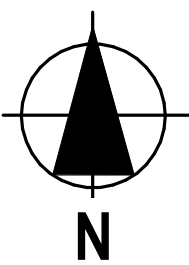
LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

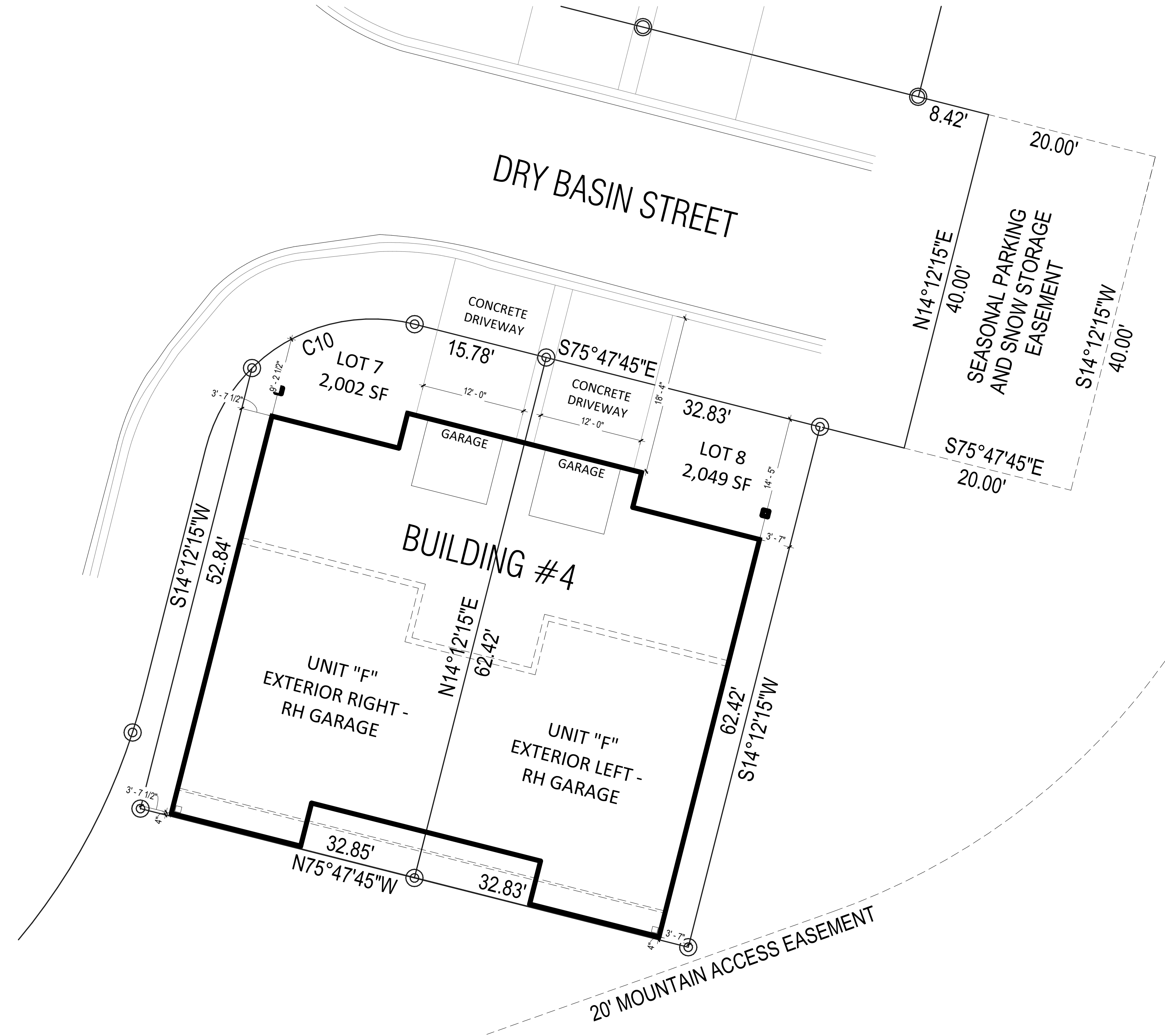
CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"



No.	Description	Date



1 PLOT PLAN
1/8" = 1'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE:

1/8" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABLT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
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- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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No.	Description	Date



Southern Design Group, LLC

207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)

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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

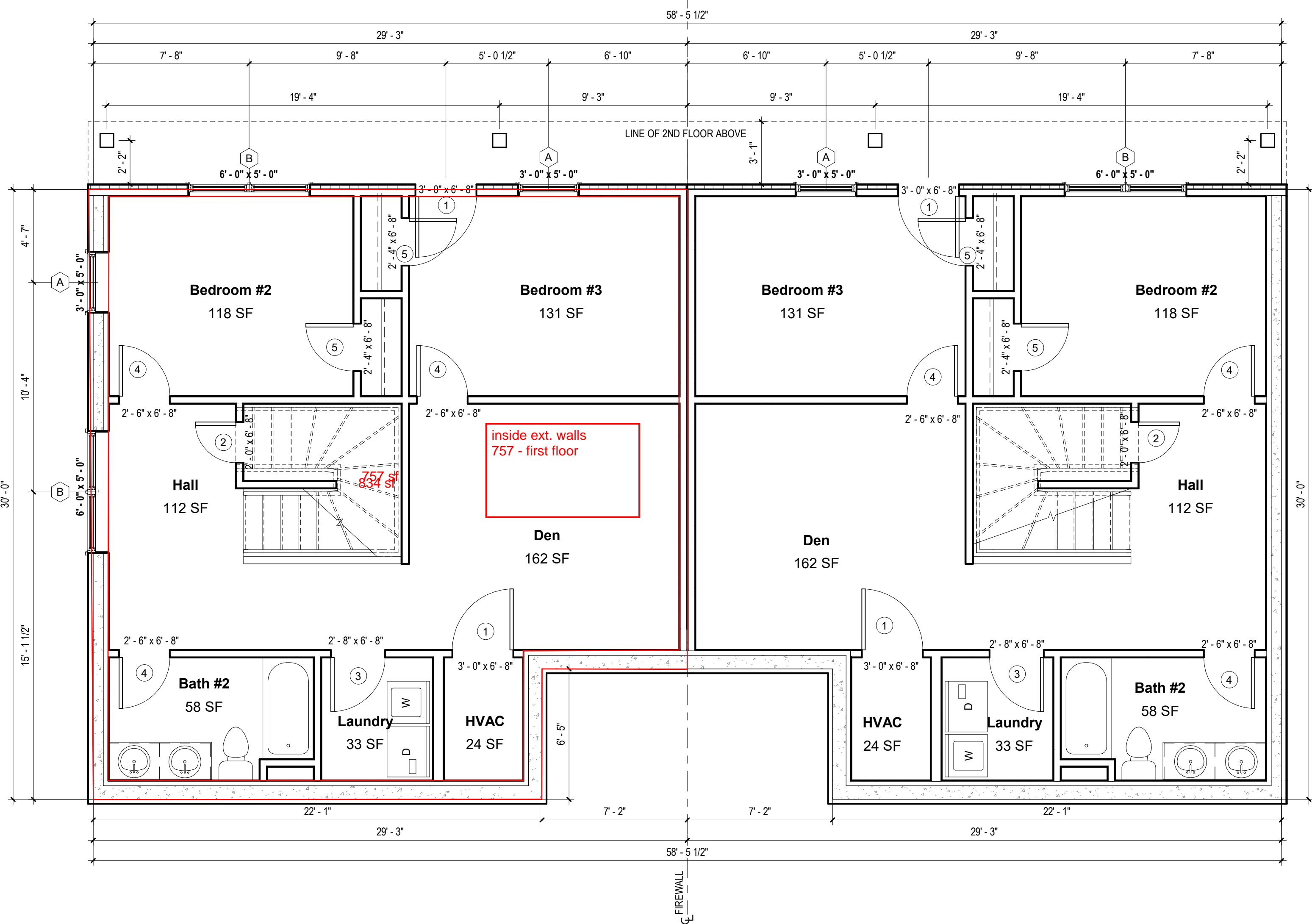
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
DUPLEX - 1ST
FLOOR PLAN

SCALE:

As indicated



1 BUILDINGS #4 PLANS - 1ST FLOOR
1/4" = 1'-0"

***SPRINKLERS WILL BE PER APPLICABLE NFPA CODE**

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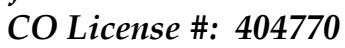
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[illegible]

CONSULTANTS:

STRUCTURAL

Williams Engineering

400 N. Main Street

Gunnison, CO 81230

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(111) 970.041.2499

The Prospect Homestead Subdivision

**Town of Mount Crested
Butte, Colorado**

10

**BUILDING #4
DUPLIX UNIT "F"
3+ BEDROOM PLANS**

五

3+ BEDROOM PLANS

L

S. PEDRO COMIT E END

LE

4/27/2020 11:19:24 AM

834	first floor
362	garage
1,019	second floor
1,853	

1 BUILDINGS #4 PLANS - 2ND FLOOR
1/4" = 1'-0"

04.28.2020

**100% COMPLETE CONSTRUCTION
DOCUMENTS**

Project number

2017-5

Date _____

04.28.2020

Drawn by

MML

Checked by

FAW



A-101.1

DUPLEX - 2ND

FLOOR PLAN

NOTES
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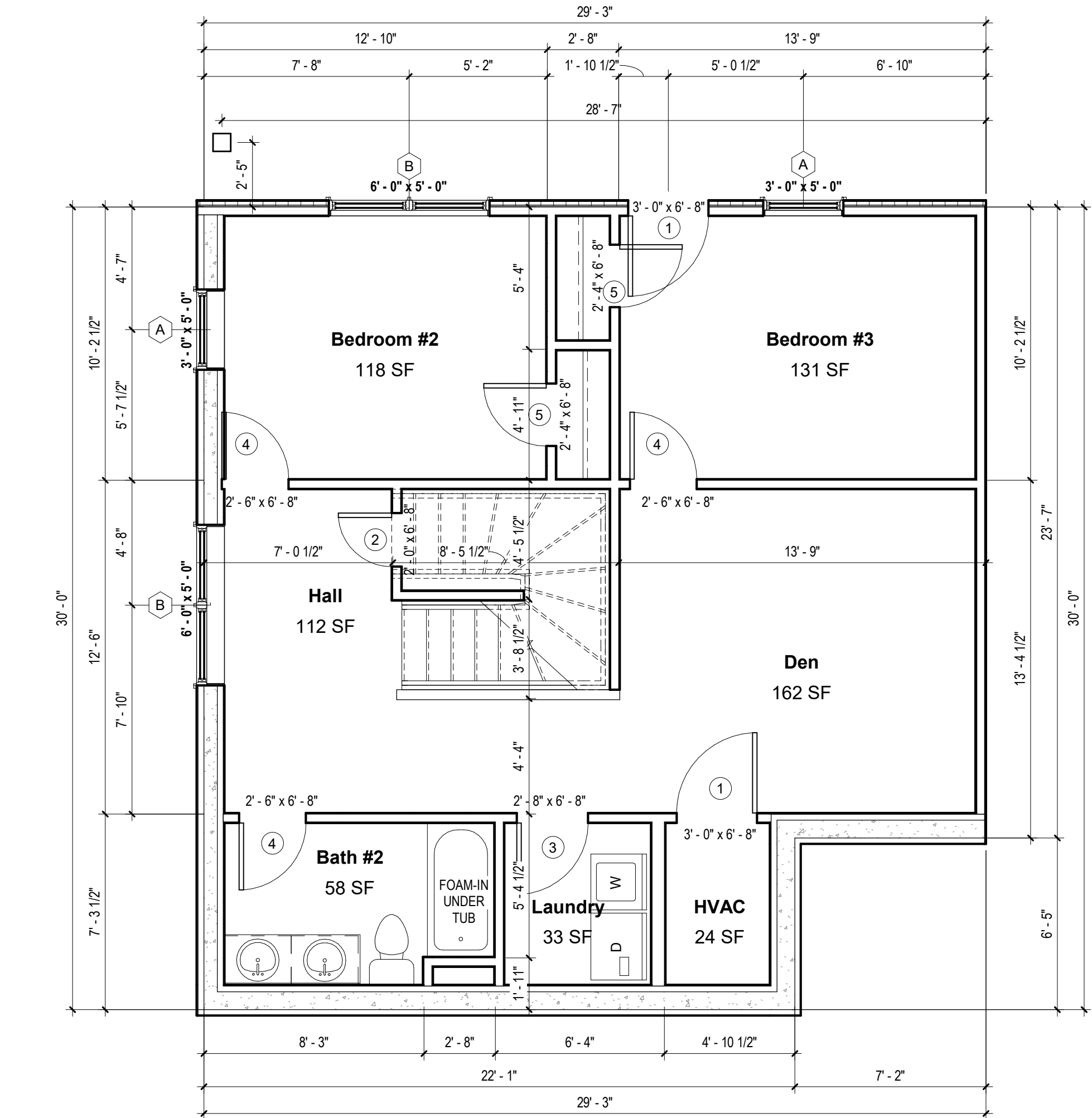
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A-101.2
UNIT "F" - 1ST
FLOOR PLANS

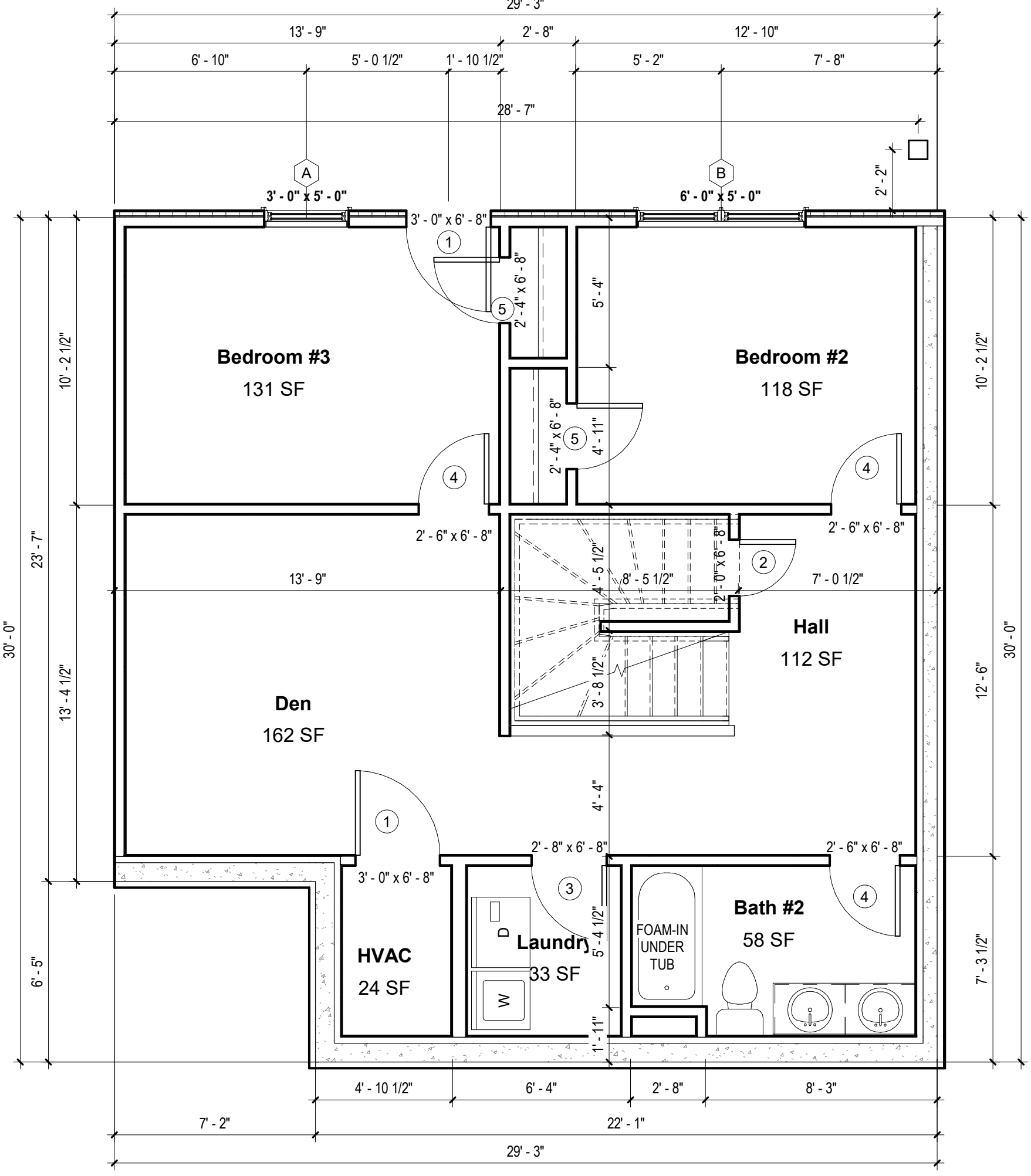
SCALE:

As indicated

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② UNIT "F" EXT. LEFT - 1ST FLOOR PLAN
1/4" = 1'-0"



① UNIT "F" EXT. RIGHT - 1ST FLOOR PLAN
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11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE. INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado
BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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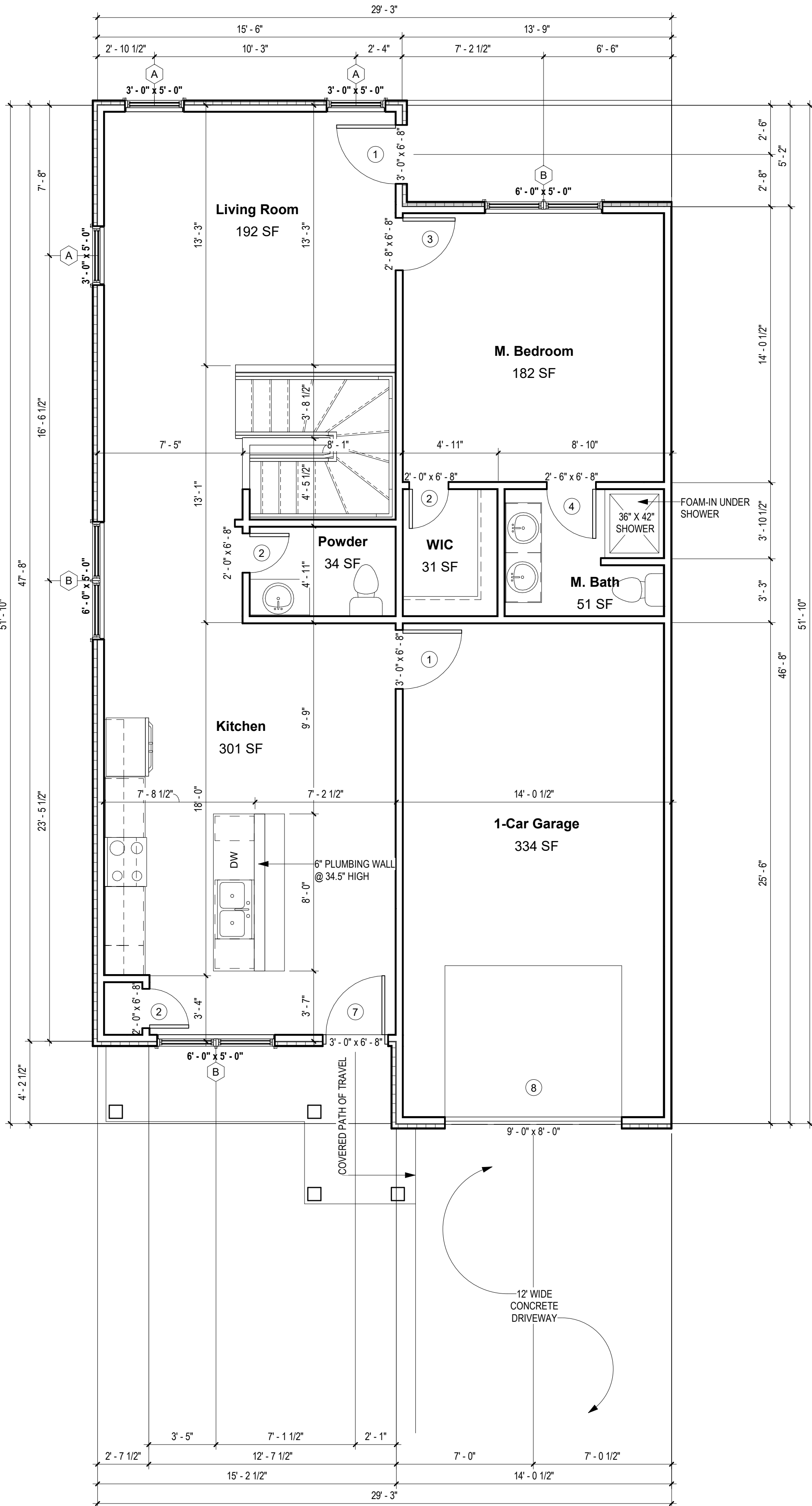
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DOCUMENTS

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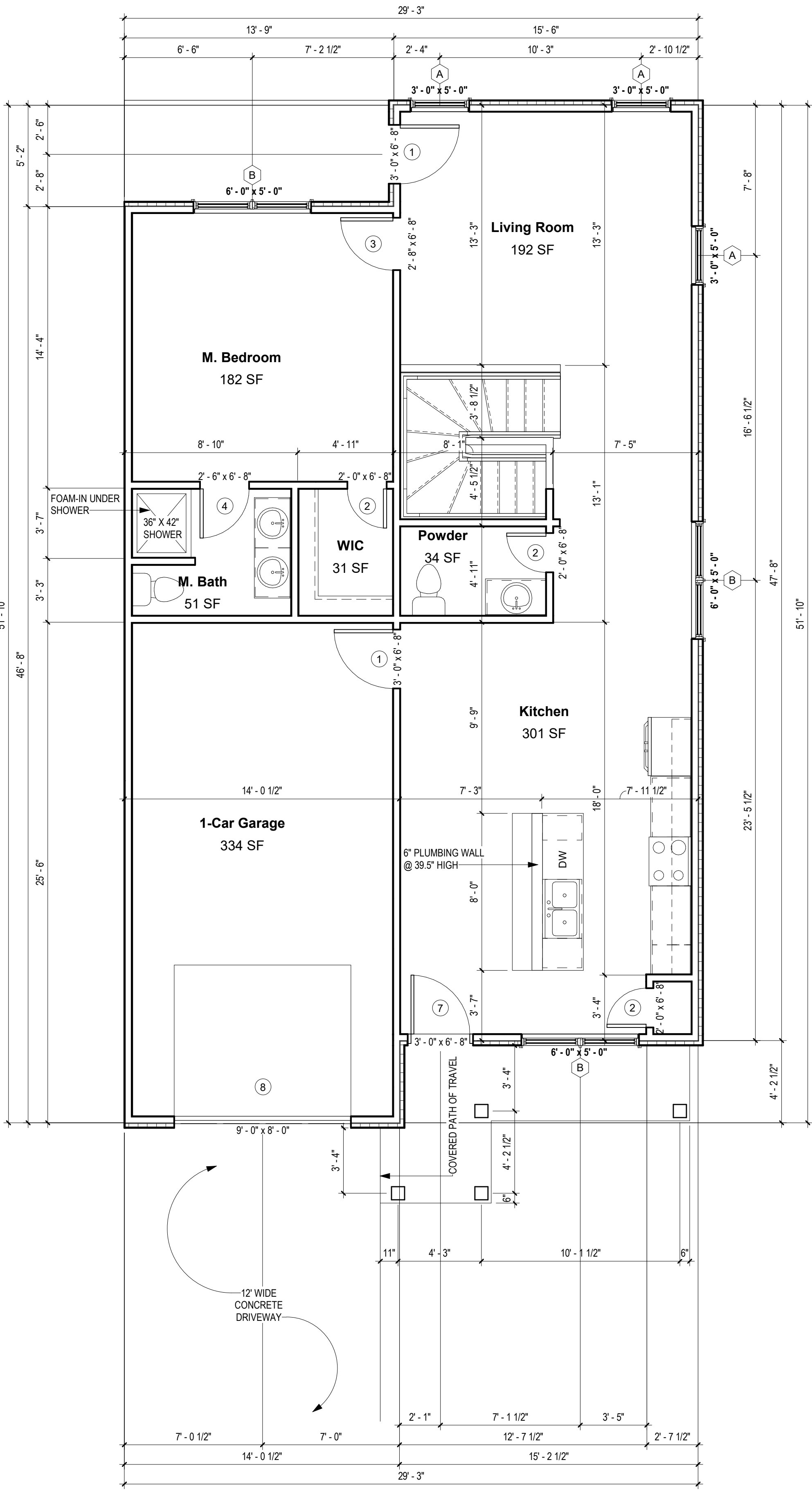
A-101.3
UNIT "F" - 2ND
FLOOR PLANS

SCALE:

As indicated



② UNIT "F" EXT. LEFT - 2ND FLOOR PLAN
1/4" = 1'-0"



① UNIT "F" EXT. RIGHT - 2ND FLOOR PLAN
1/4" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
2. ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
3. ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



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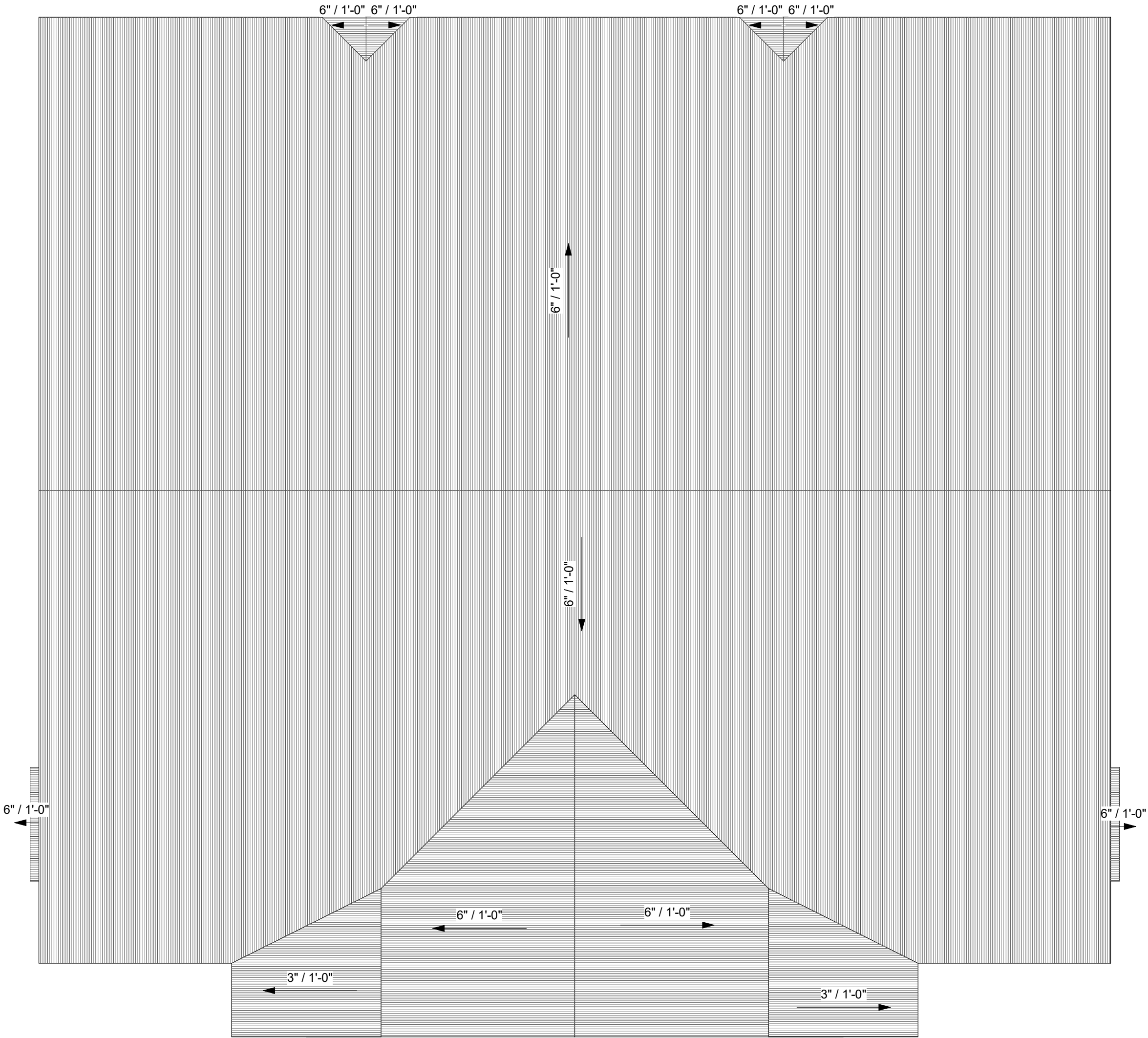
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A-102
ROOF PLAN

No.	Description	Date

SCALE: As indicated












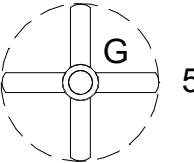

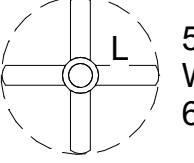


1 ROOF PLAN
3/16" = 1'-0"

GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

1.
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
2.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
3.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
4.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY..
5.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
6.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE			
	WALL MOUNT FIXTURE, 36" WIDE		BATHROOM EXHAUST FAN
	SURFACE MOUNT FIXTURE, 11 1/4" DIA.		PHONE / DATA
	SURFACE MOUNT FIXTURE, 15 1/4" DIA.		PHONE
	WALL MOUNT FIXTURE, 24" WIDE		CABLE
	5-LIGHT CHANDELIER		52" FAN, WITH LIGHT KIT
	EXTERIOR FLOODLIGHT		52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	GOOSENECK LIGHT FULL CUT-OFF		
	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



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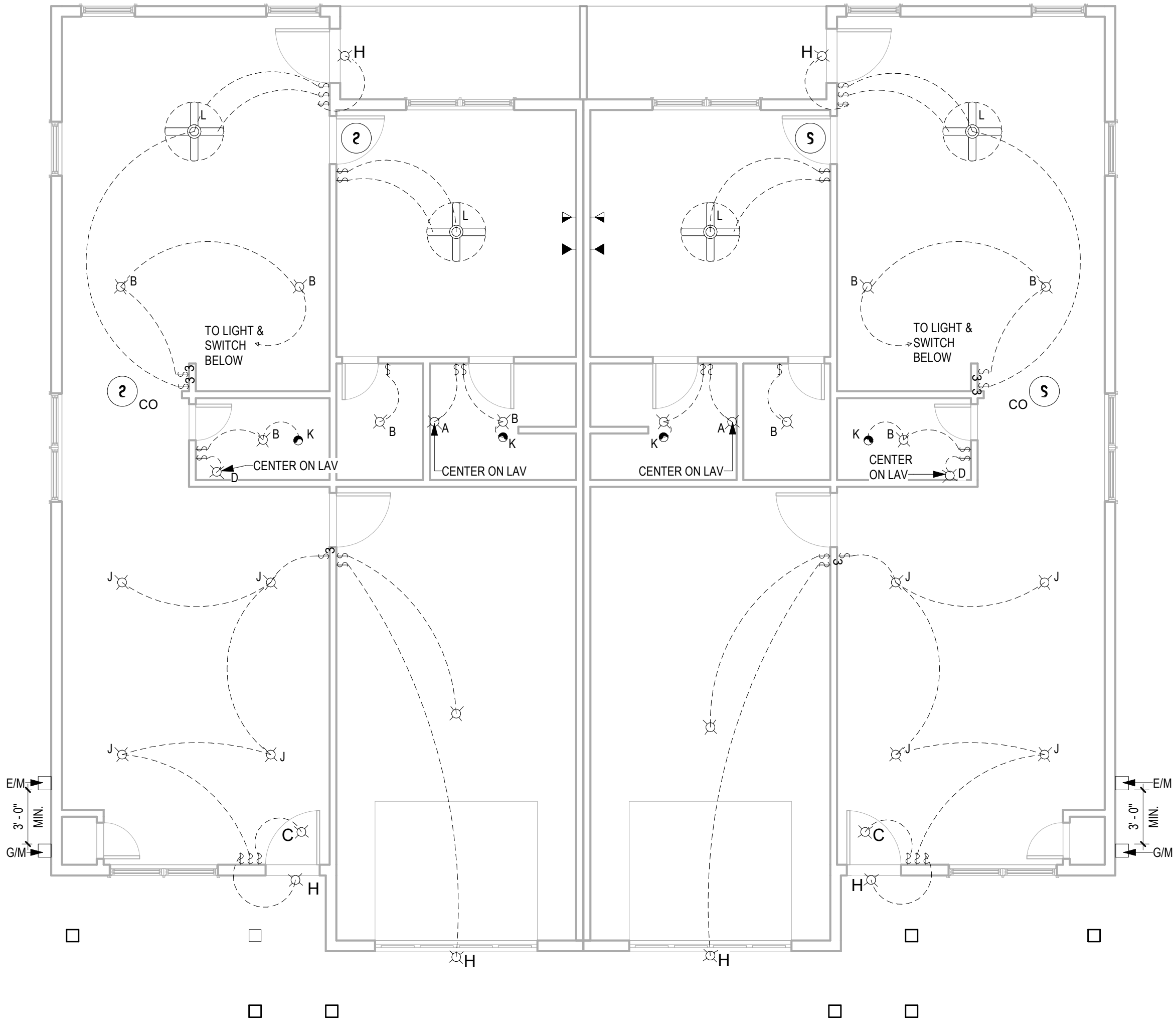
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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

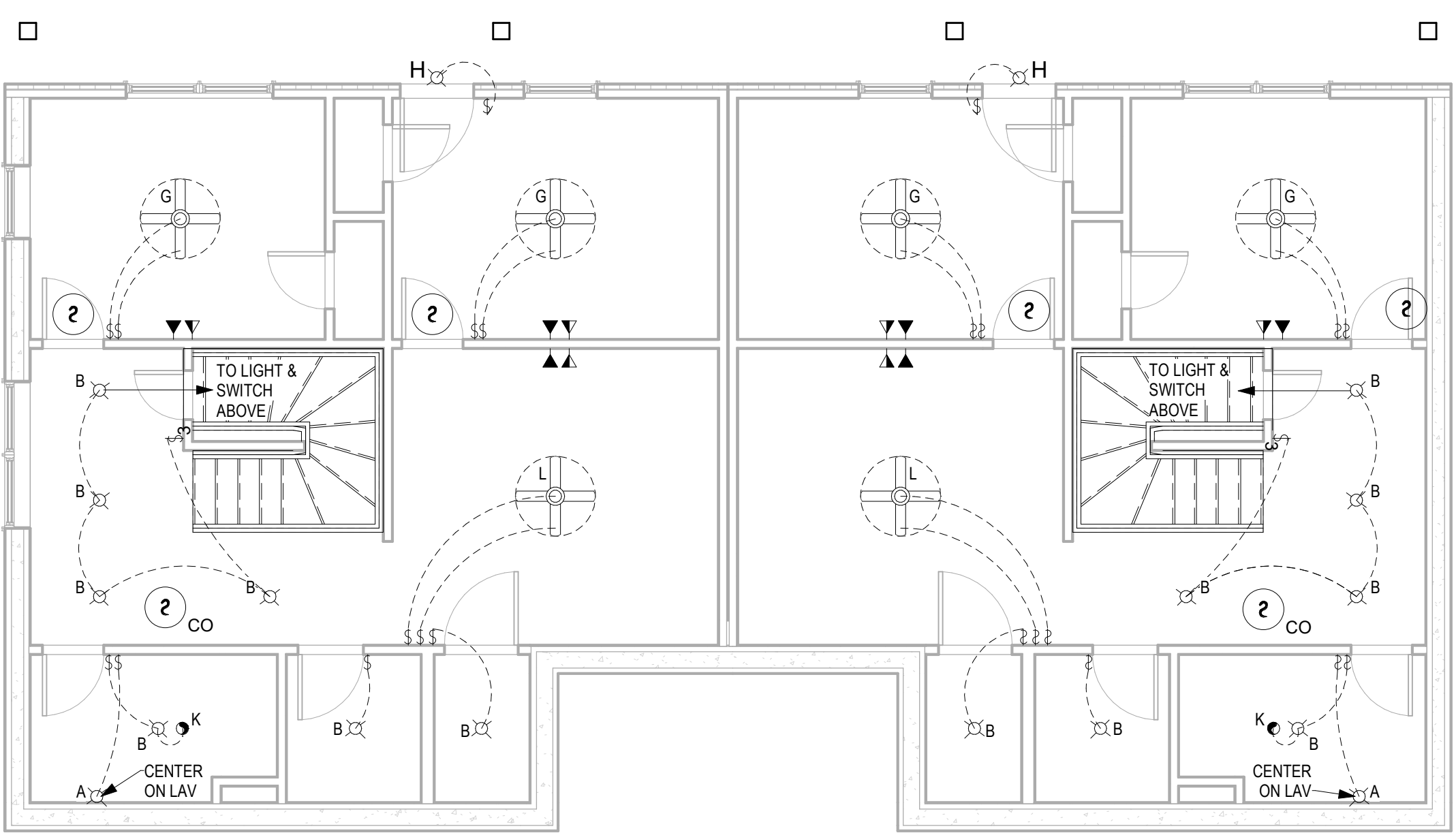
STRUCTURAL

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2 ELECTRICAL PLAN - 2ND FLOOR
3/16" = 1'-0"



1 ELECTRICAL PLAN - 1ST FLOOR
3/16" = 1'-0"

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Date 04.28.2020
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A-103
ELECTRICAL PLAN

No.	Description	Date

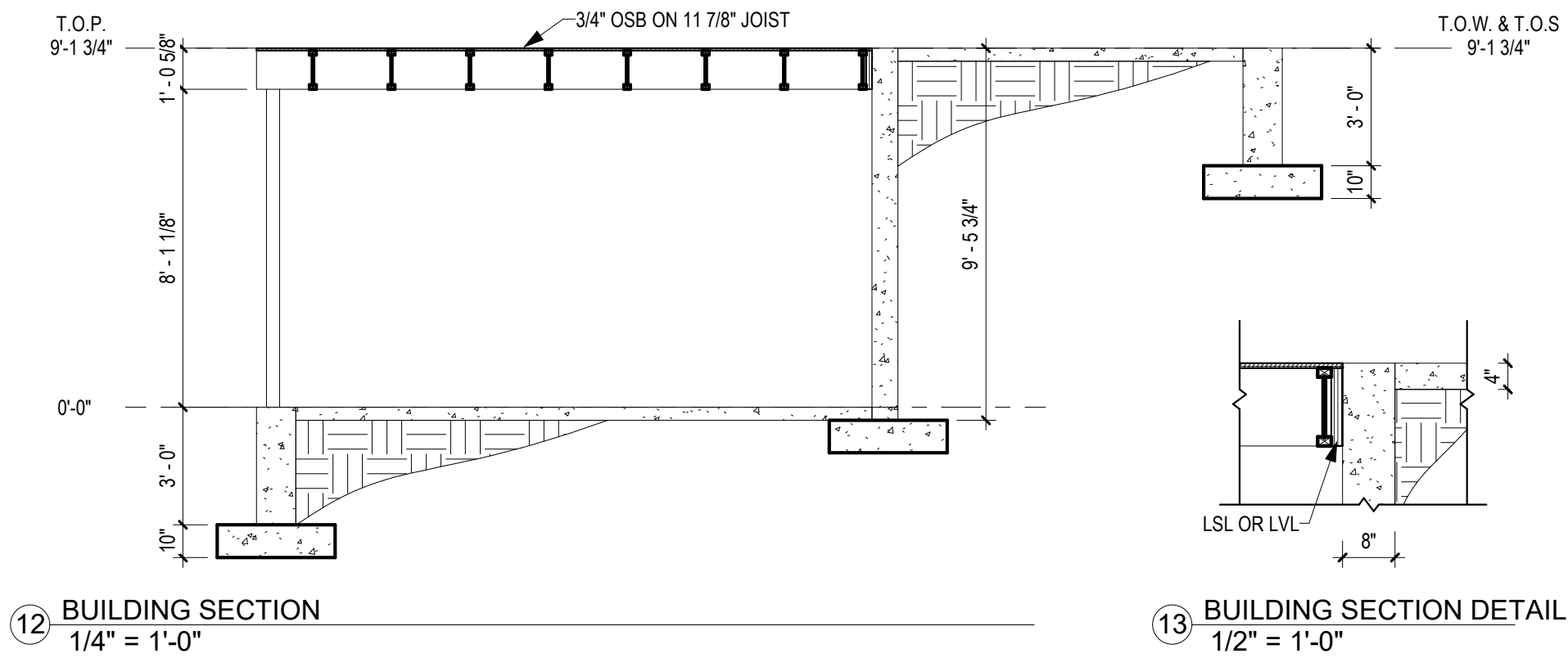
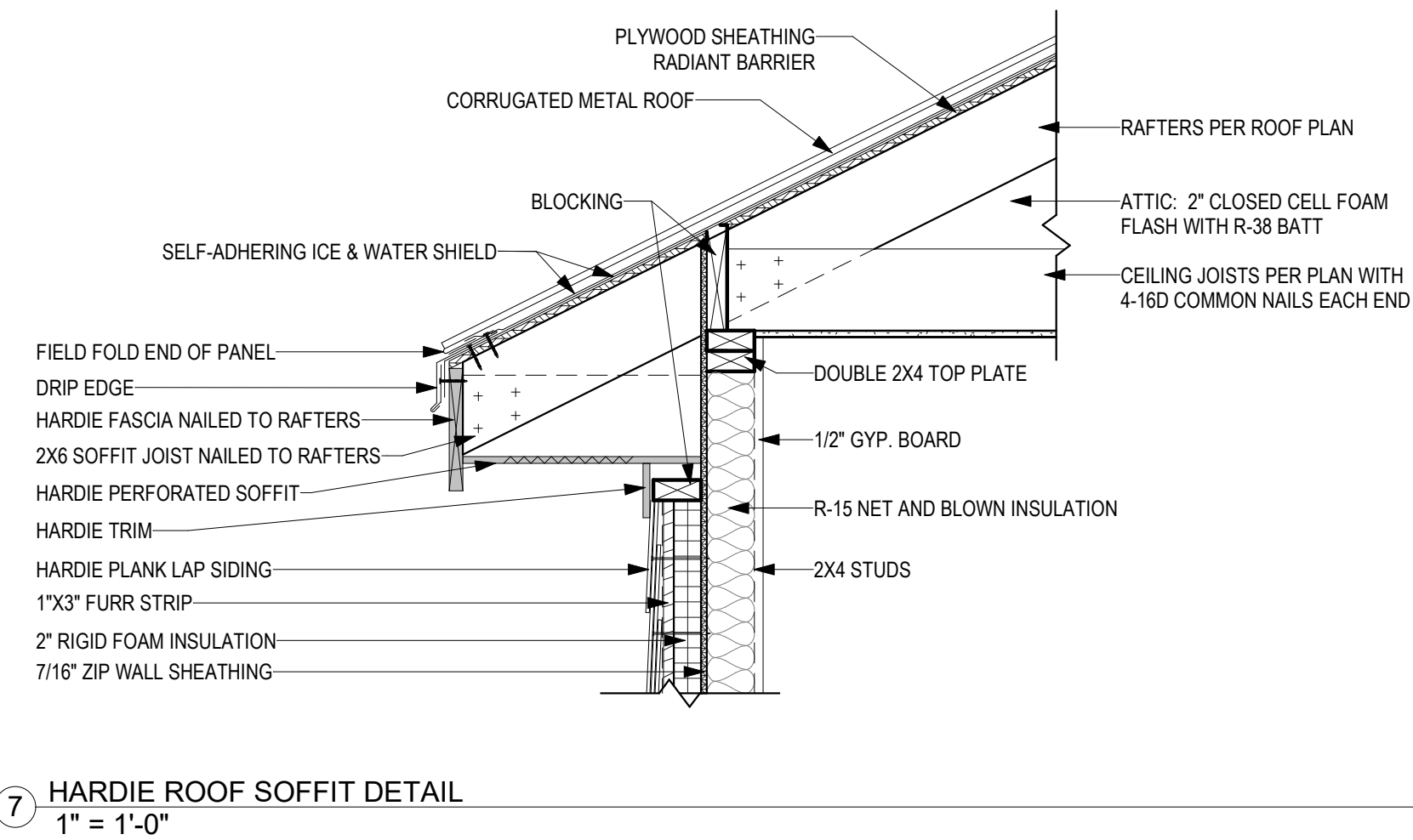
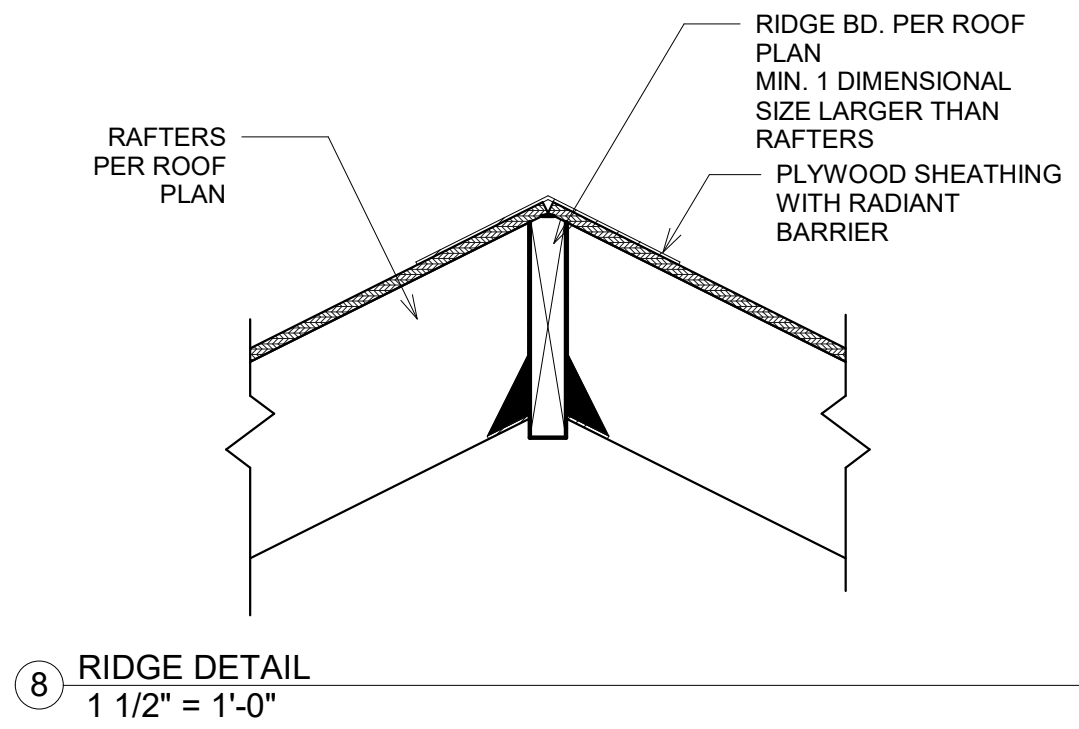
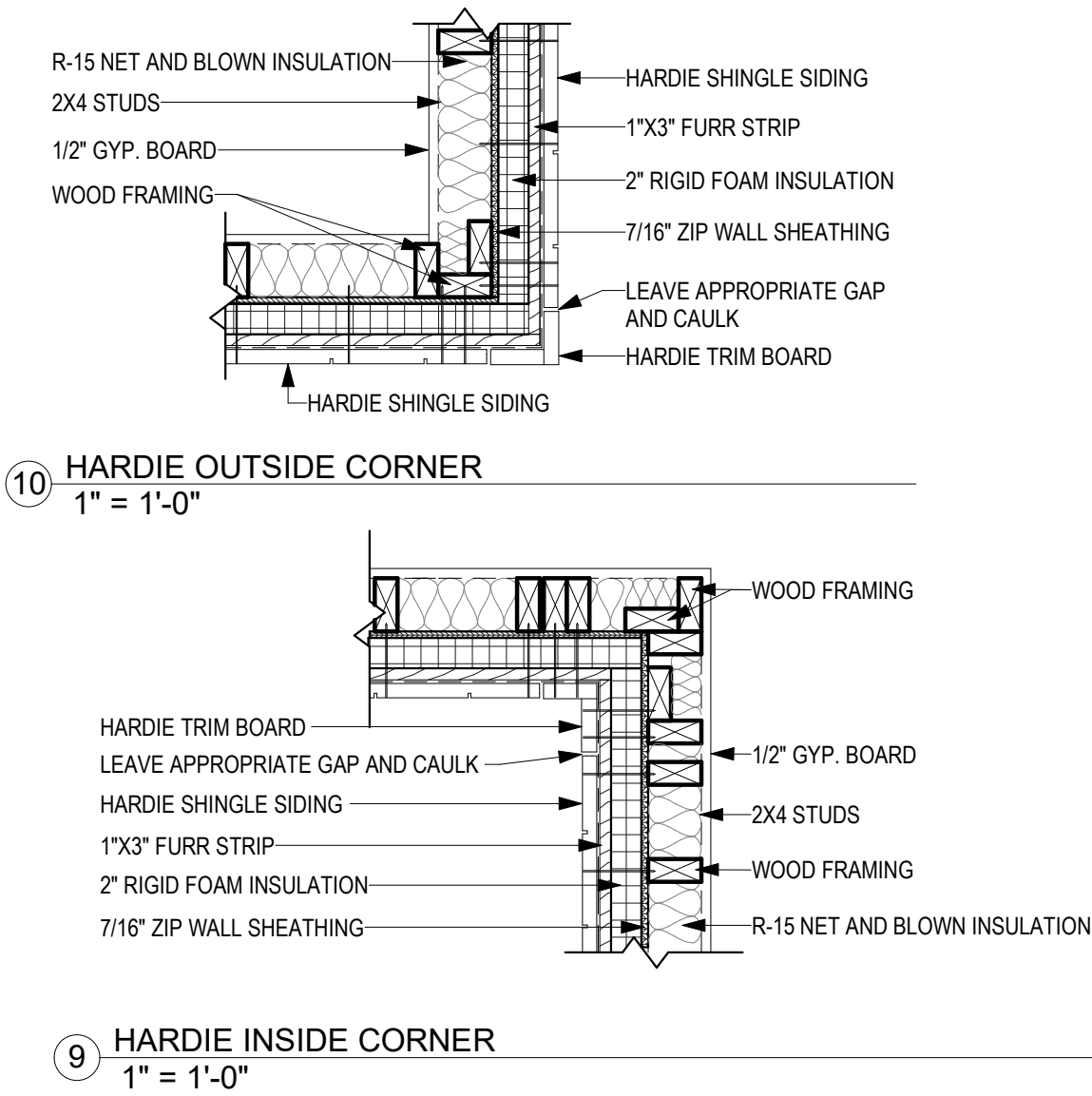
SCALE:

As indicated

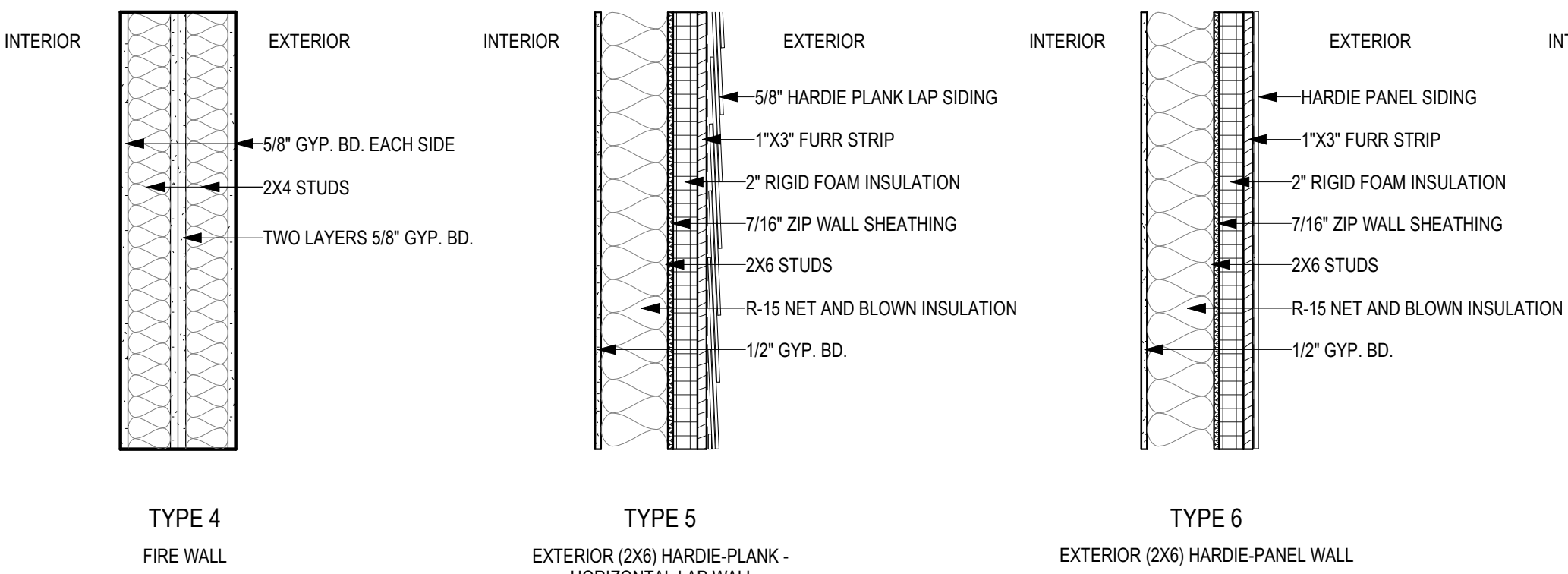
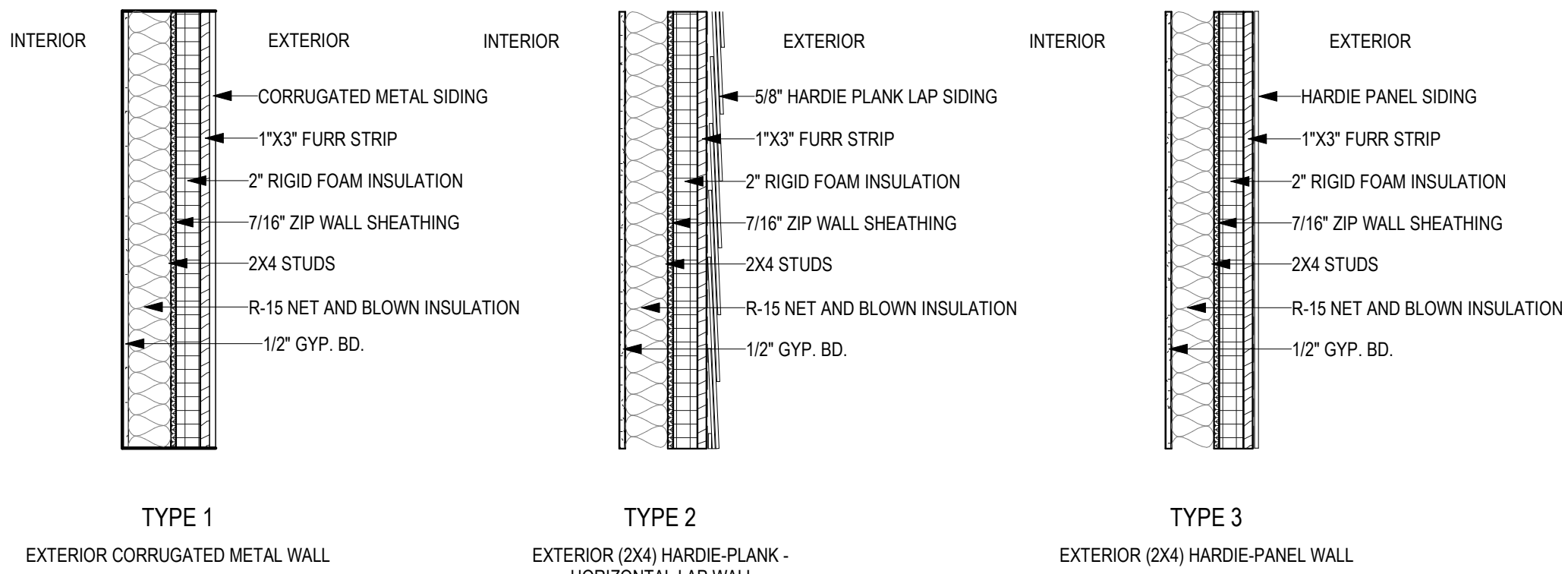
DOOR SCHEDULE				
Type	Mark	Width	Height	Comments
	①	3' - 0"	6' - 8"	
	②	2' - 0"	6' - 8"	
	③	2' - 8"	6' - 8"	
	④	2' - 6"	6' - 8"	
	⑤	2' - 4"	6' - 8"	
	⑦	3' - 0"	6' - 8"	
	⑧	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
(A)	3' - 0"	5' - 0"	
(B)	6' - 0"	5' - 0"	

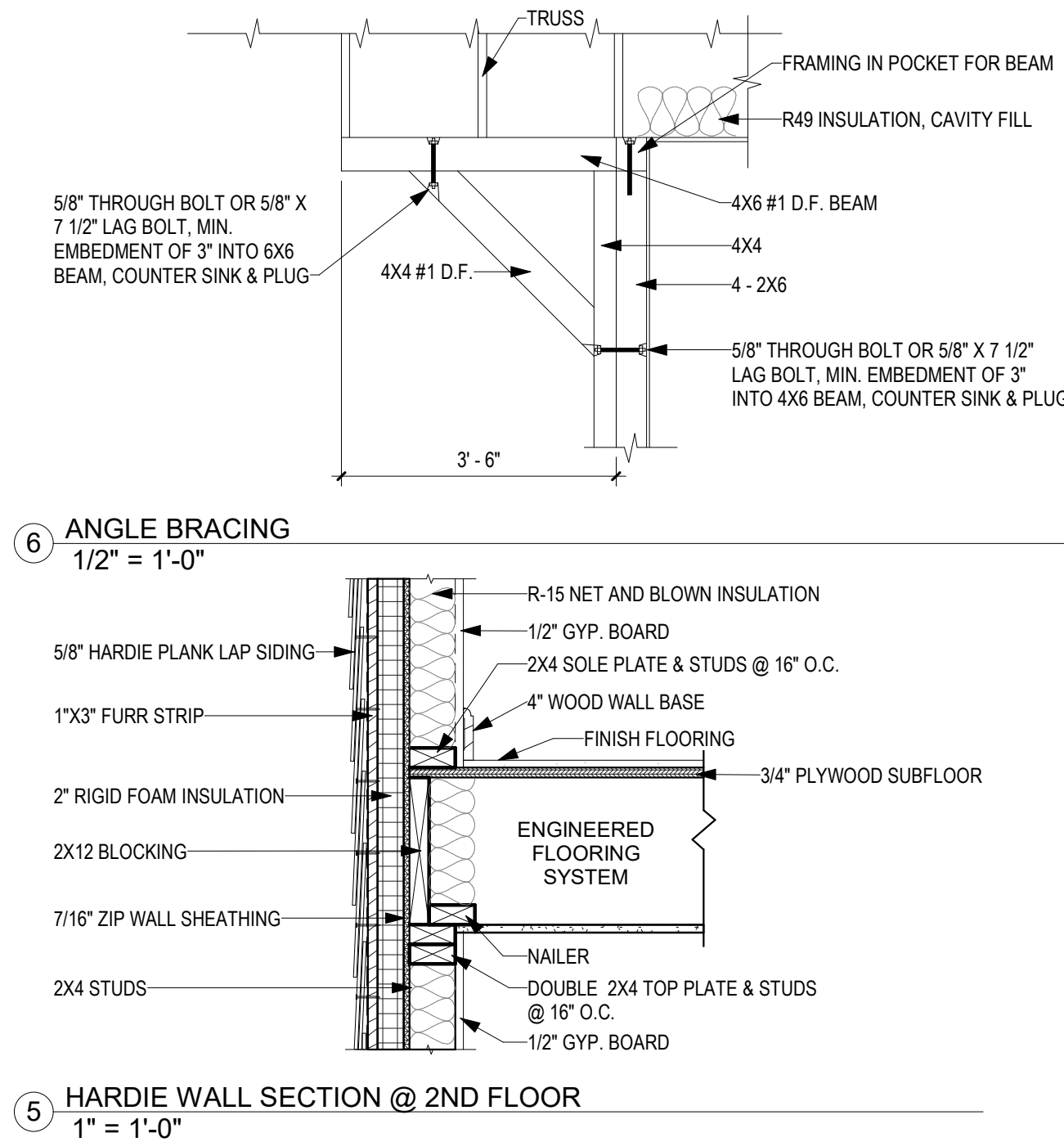
PLUMBING FIXTURE SCHEDULE	
Count	Description
10	19" X 19" ROUND VANITY SINK
2	36" X 21" DOUBLE KITCHEN SINK
2	36" X 42" SHOWER
2	SHOWER/TUB COMBO
6	TOILET - STANDARD HT.



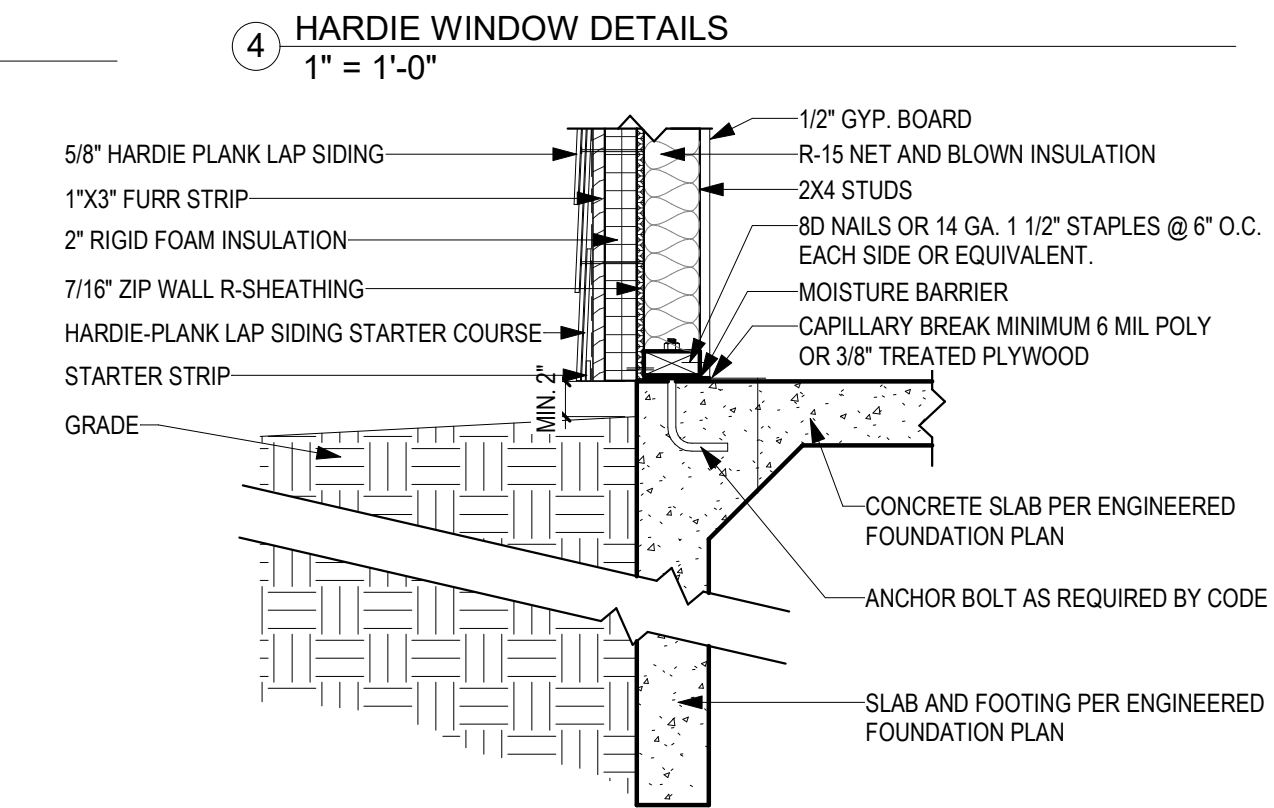
****REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION**



(11) WALL TYPE LEGEND
1" = 1'-0"



5 HARDIE WALL SECTION @ 2ND FLOOR
1" = 1'-0"



③ HARDIE GRADE CLEARANCE
1" = 1'-0"

****REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION**



1. APPROACH SHALL MEET CITY SPECIFICATIONS.
2. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

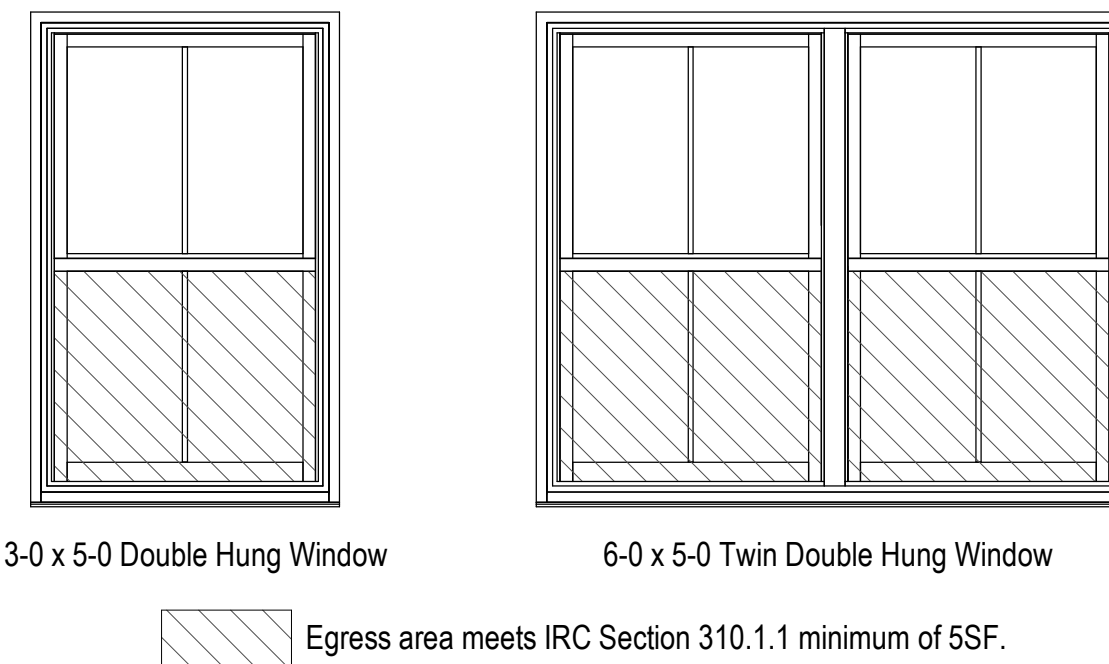
SITE PREPARATION NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
2. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

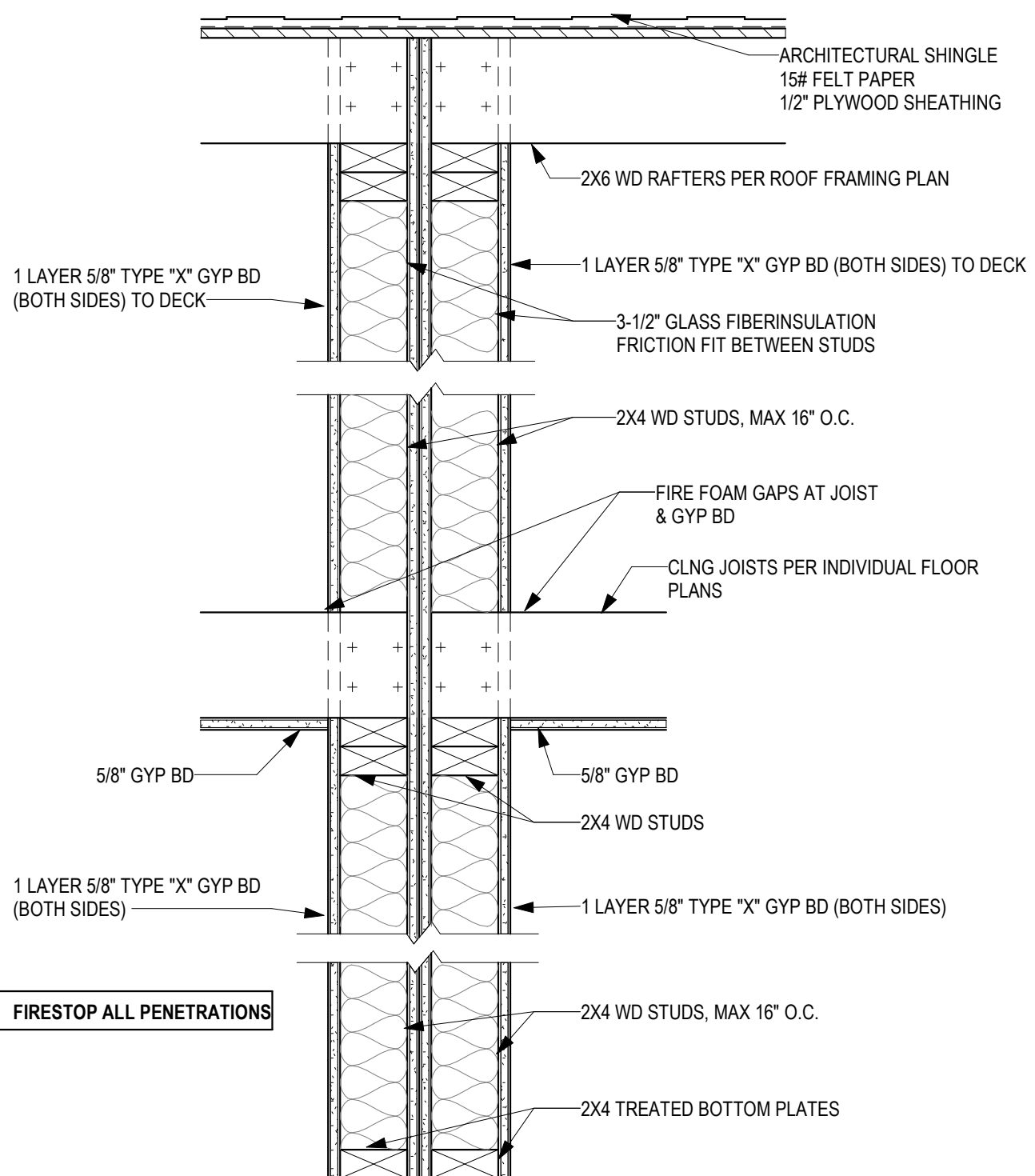
CONSTRUCTION NOTES:

1. SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
2. CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
3. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

****REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR INSULATION REQUIREMENTS FOR ZONE 7**



② TYPICAL WINDOW EGRESS
1/2" = 1'-0"



① FIRE SEPARATION WALL
1 1/2" = 1'-0"

[illegible]

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CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

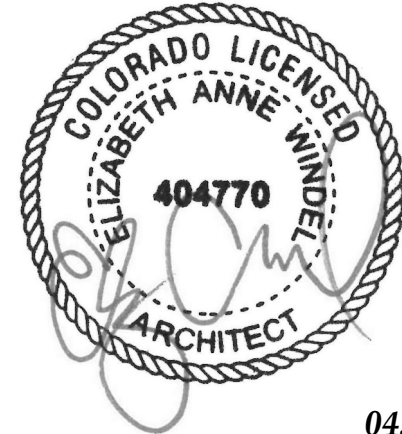
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**The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado**

**BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS**

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04.28.2020

**100% COMPLETE CONSTRUCTION
DOCUMENTS**

Project number	2017-5
Date	04.28.2020
Drawn by	MMML
Checked by	EAW

A-104

CONSTRUCTION DETAILS

SCALE:

As indicated



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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path

TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
 - c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
 - e. There are no SHGC requirements in the Marine Zone.
 - f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 - g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date



04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5
Date 04.28.2020
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A-104.1
PRESCRIPTIVE
TABLE

SCALE:



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A-105
CABINET LAYOUT &
ELEVATIONS

SCALE: As indicated

**MIRROR CABINET ELEVATIONS FOR UNIT "F" EXT. RIGHT

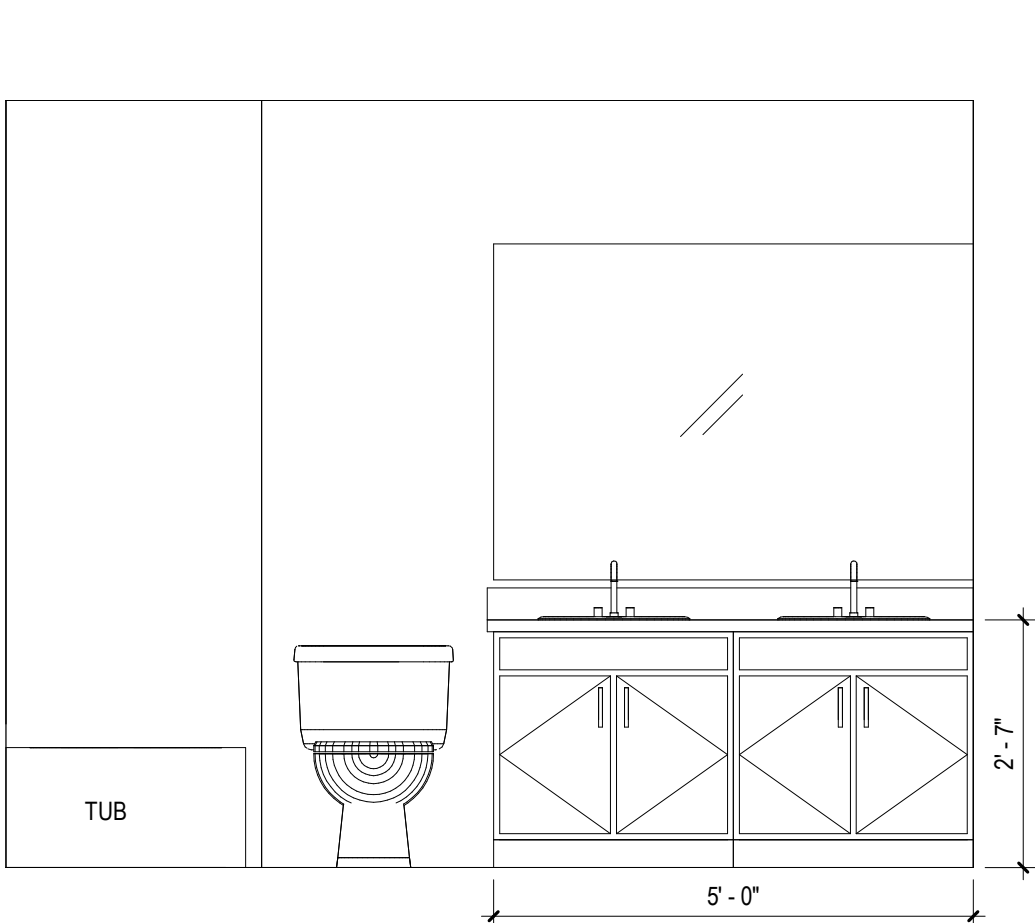
KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH
COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

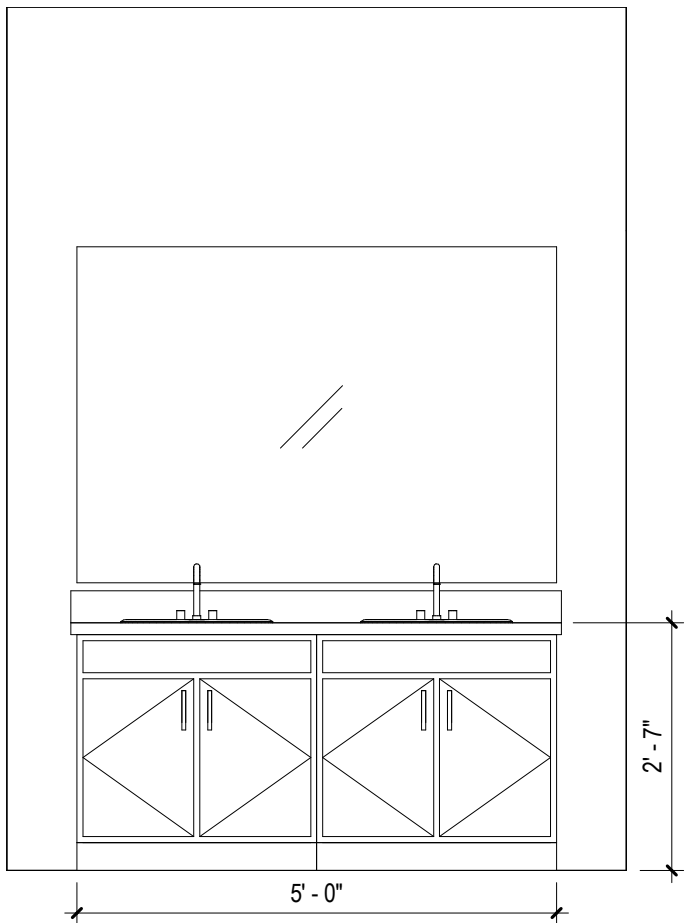
BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH
COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

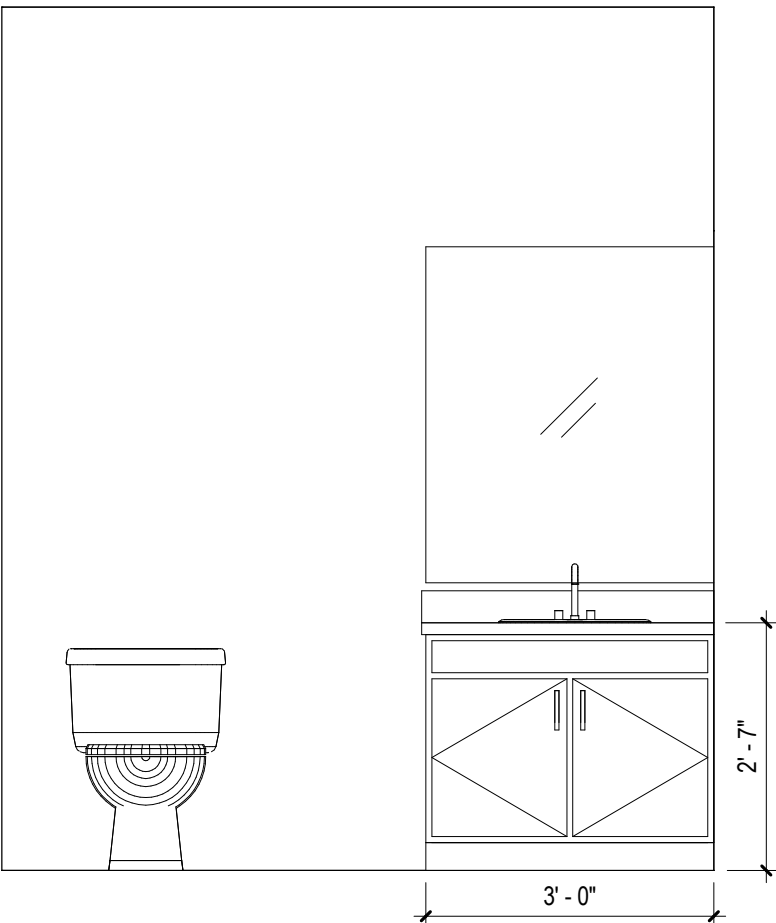
NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN



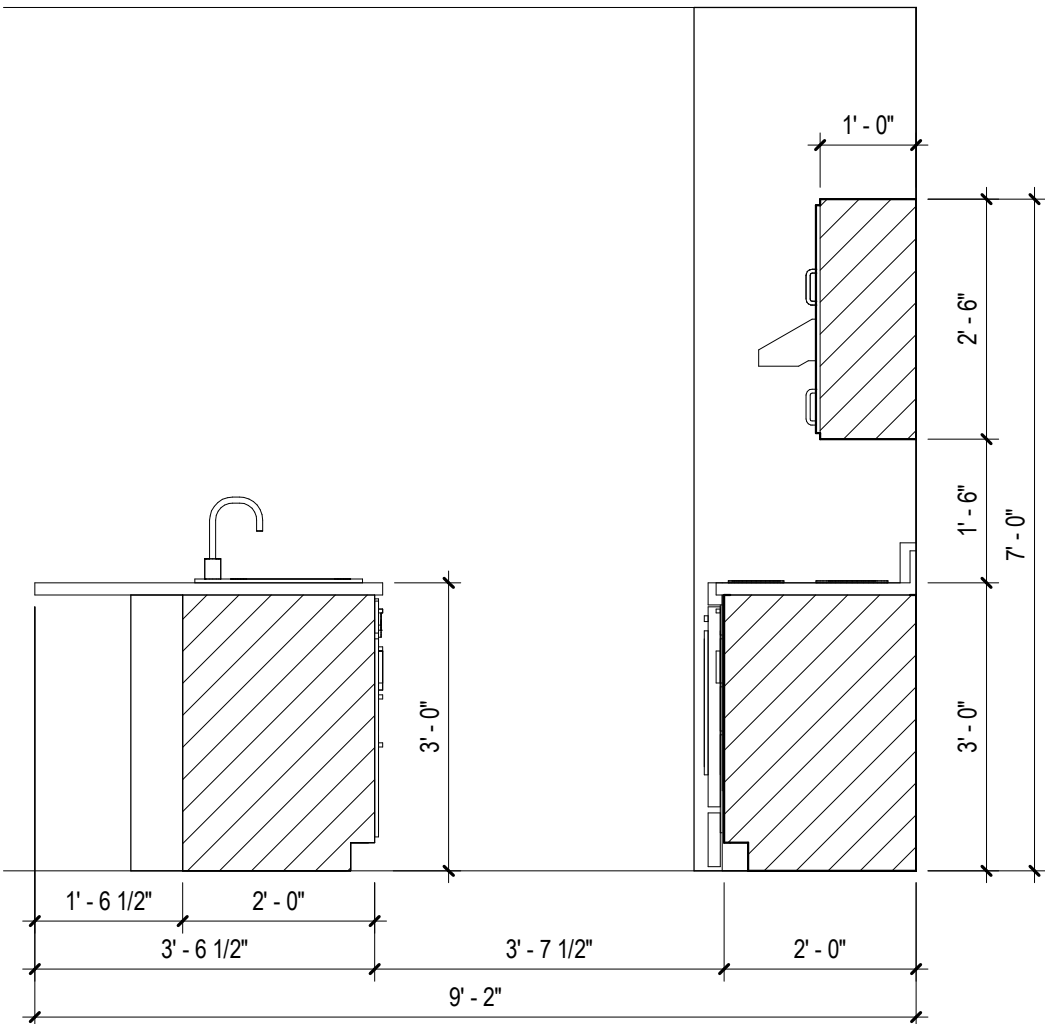
7 ELEV. @ UNIT "F" EXT. LEFT BATH #2
1/2" = 1'-0"



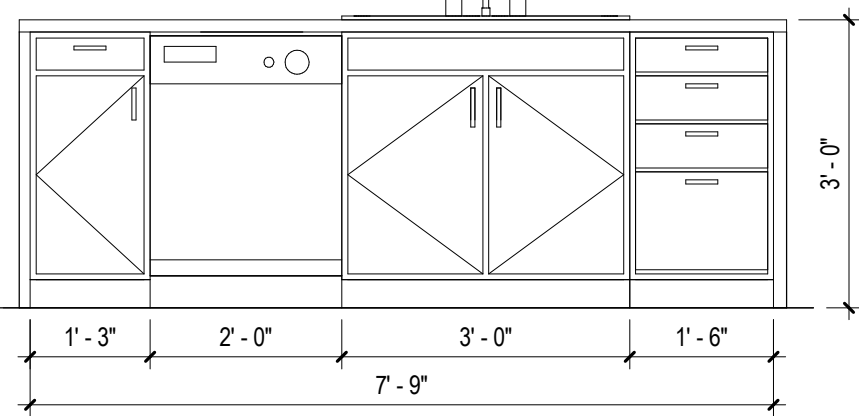
6 ELEV. @ UNIT "F" EXT. LEFT M. BATH
1/2" = 1'-0"



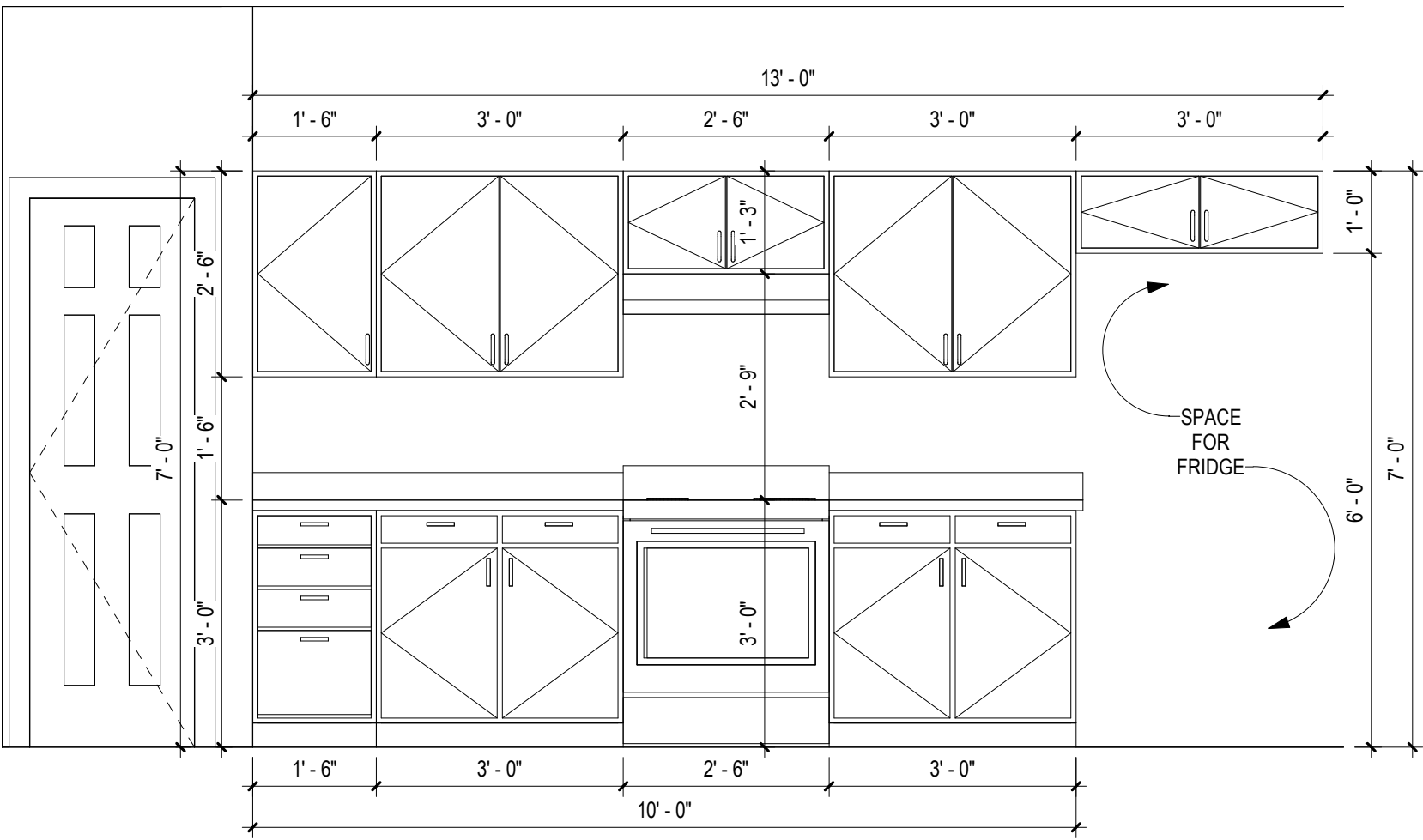
5 ELEV. @ UNIT "F" EXT. LEFT POWDER
1/2" = 1'-0"



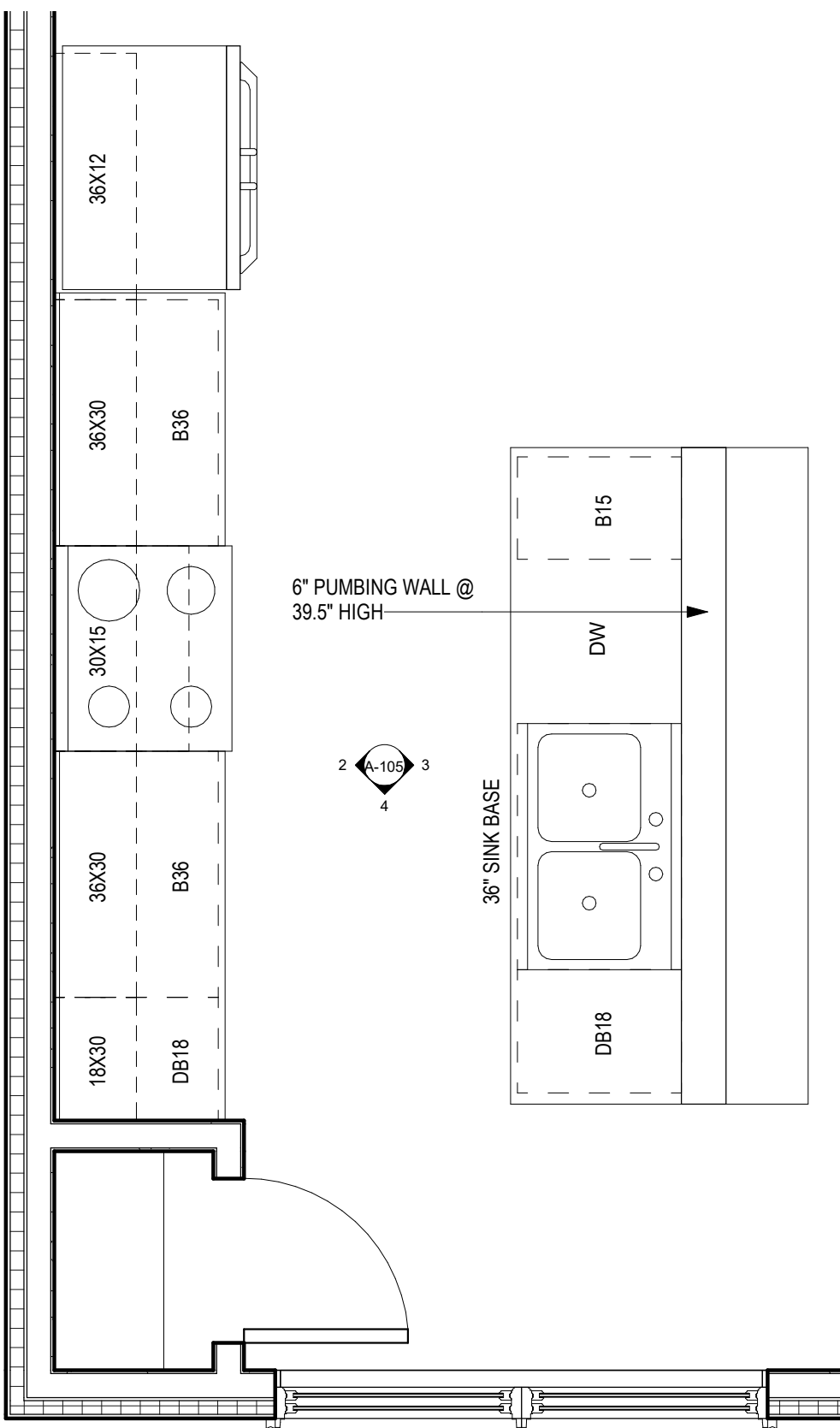
4 ELEV. @ UNIT "F" EXT. LEFT ISLAND -
VIEW 2
1/2" = 1'-0"



3 ELEV. @ UNIT "F" EXT. LEFT KITCHEN -
VIEW 1
1/2" = 1'-0"



2 ELEV. @ UNIT "F" EXT. LEFT ISLAND -
VIEW 1
1/2" = 1'-0"



1 ENLARGED KITCHEN @ UNIT "F" EXT.
LEFT
1/2" = 1'-0"

No.	Description	Date

****REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING**



A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8'x3' panels



C SHAKE SIDING

Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura
Color: Vary
Style: Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



F EXTERIOR WINDOW

Manufacturer: Synergy
Color: White



G EXTERIOR DOOR

Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

1 REAR ELEVATION
1/4" = 1'-0"

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Architect of Record: Elizabeth Windel, AIA
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CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #4
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML / IPT
Checked by EAW

A-202
EXTERIOR
ELEVATIONS

No.	Description	Date

SCALE: 1/4" = 1'-0"

4/27/2020 10:56:02 AM

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #5 - UNIT "F" 3+ BEDROOM PLANS LOTS 9-10



VICINITY MAP

SITE LOCATION

ABBREVIATIONS

A ABV ABOVE ACC ACCESSIBLE ACoust ACoustICAL ACT ACoustICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AENC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SHOWER HEAD ATTEN ATTENUATION AU ACCESSIBLE URINAL	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR	H HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDNR HARDENER HDWD HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT I IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT	O OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAAR PARALLEL PARTN PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER	S (CONT.) SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/ WITH W/O WITHOUT
--	--	--	--	--

MATERIAL INDICATIONS

	EARTH/ PREPARED SUBGRADE
	GRAVEL, STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND,GROUT,MORTAR
	IRON,STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO



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Architect of Record: Elizabeth Windel, AIA

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The Prospect Homestead
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BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number	2017-05
Date	04.28.2020
Drawn by	MMML
Checked by	EAW

C COVER SHEET

No.	Description	Date

SCALE:

12" = 1'-0"

GENERAL NOTES

STANDARDS AND REGULATIONS

1.CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-ASSEMBLY TESTS AND STANDARDS.

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK REQUIRED.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7.CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

1.THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A.FACE OF STUD
B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.
C.TO TOP OF STRUCTURAL DECK
D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION. ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2."CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3."MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

4."MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5."TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."-/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH.

5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS GUIDELINES SET FORTH IN THESE DOCUMENTS.

6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE.

3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE REQUIREMENTS.

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS.....50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS.** ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

PROJECT TEAM

OWNER

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Architect of Record: Elizabeth Windel, AIA
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CONSULTANTS:

STRUCTURAL

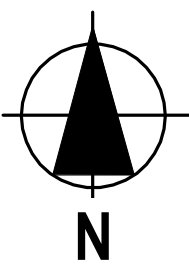
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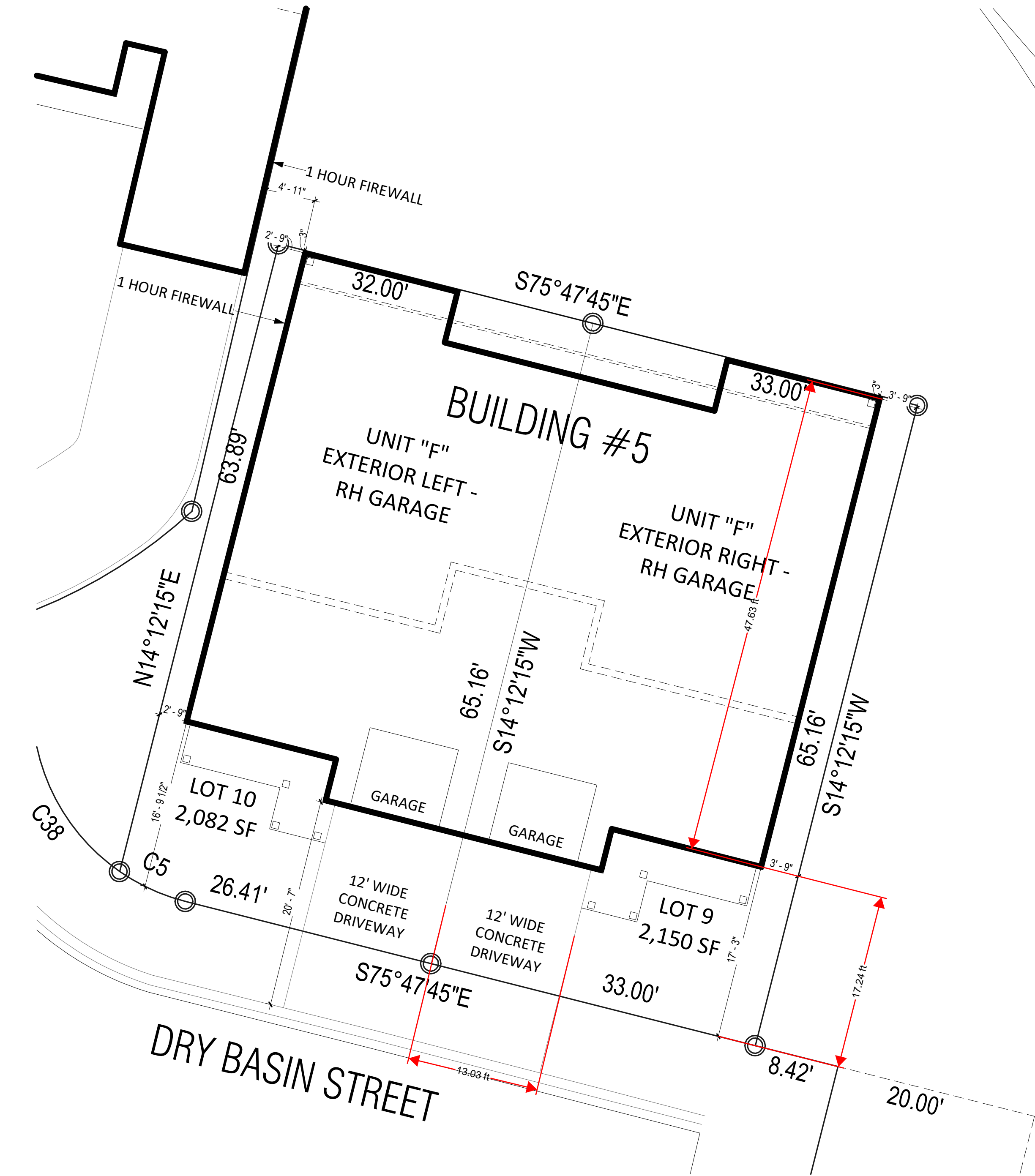
LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"



No.	Description	Date



1 PLOT PLAN
1/8" = 1'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS**

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE: 1/8" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABLT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

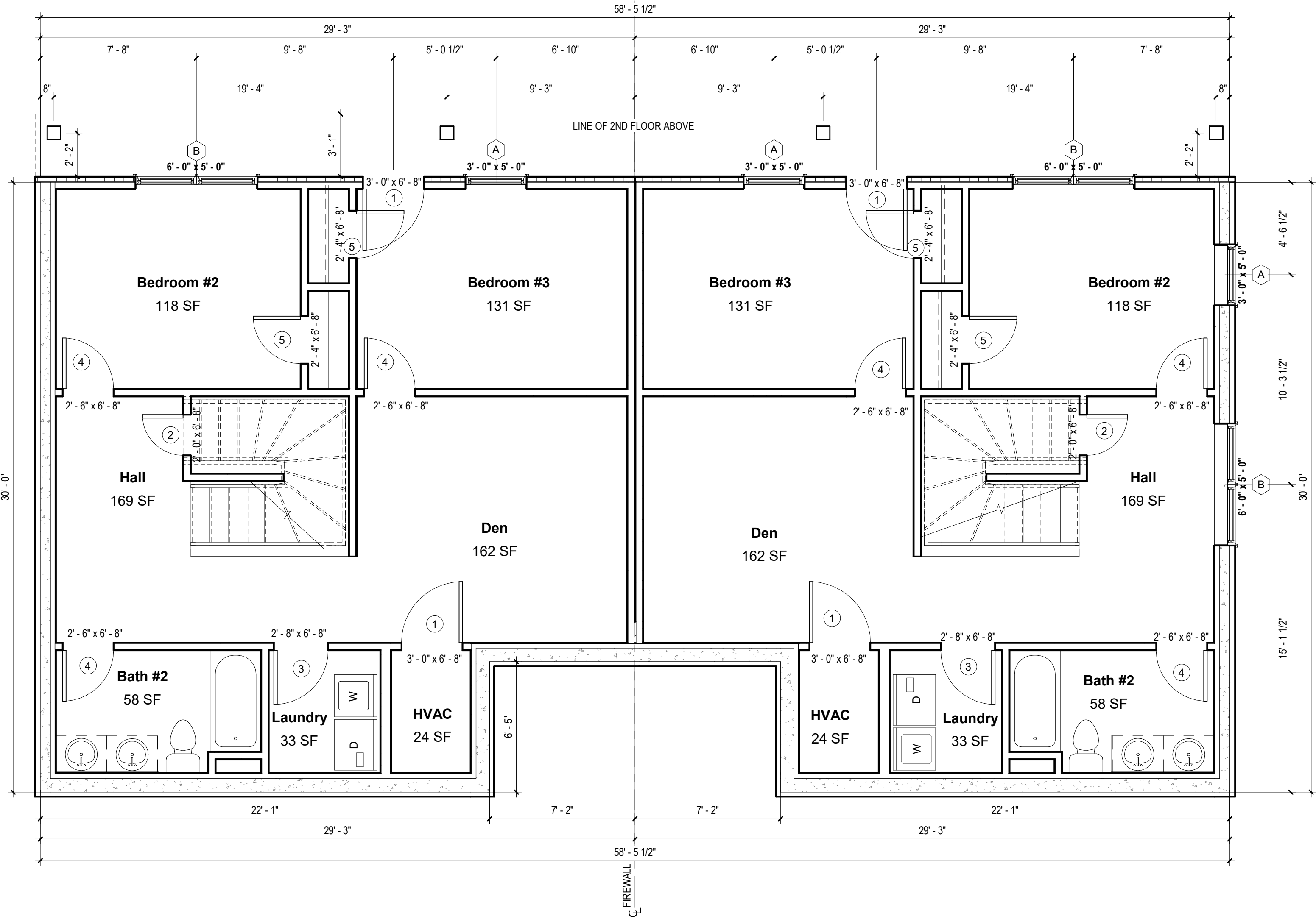
- 1. R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
 - 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
 - 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
 - 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
 - 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
 - 7. DO NOT SCALE DRAWINGS.
 - 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
 - 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
 - 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
 - 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
 - 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
 - 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
 - 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
 - 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
 - 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
 - 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
 - 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
 - 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
 - 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
 - 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
 - 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
 - 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
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 - 2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
 - 3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
 - 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
 - 5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date

1 BUILDINGS #5 PLANS - 1ST FLOOR
1/4" = 1'-0"



Southern Design Group, LLC

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-05
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
DUPLEX - 1ST
FLOOR PLAN

SCALE:

As indicated

***SPRINKLERS WILL BE PER APPLICABLE NFPA CODE**

1. U-VALUES - .32-.29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

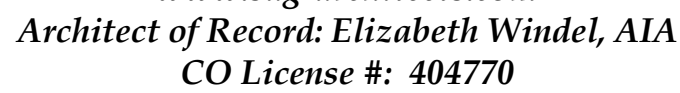
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5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

1. R15 BLOWN WALL: CERTAINTEE INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
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6. 1" RIGID INSULATION (R-5 DOWN BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3" BELOW SLAB

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[illegible]

**The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado**

**BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS**

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04.28.2020

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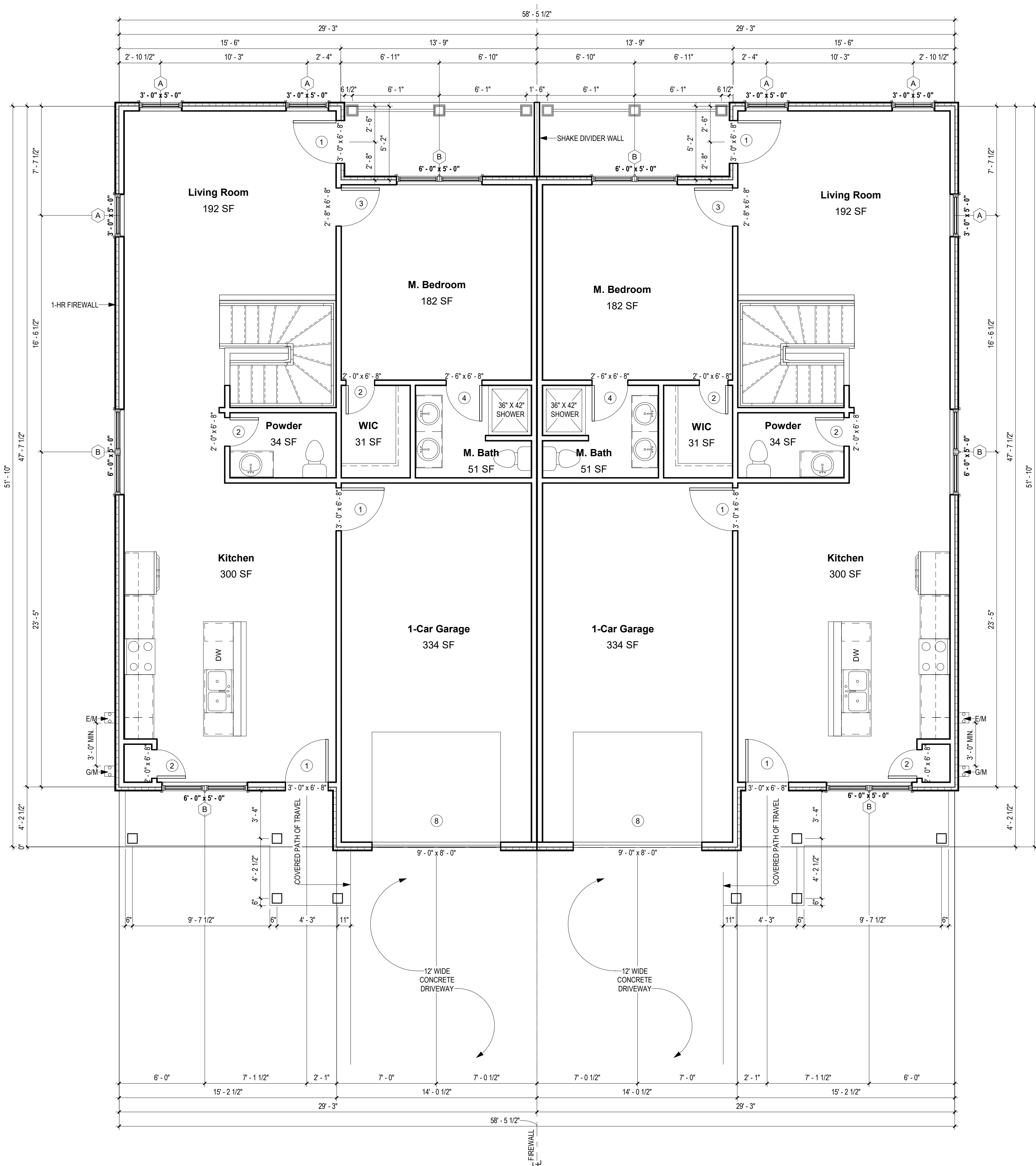
A-101.1

DUPLEX - 2ND FLOOR PLAN

SCALE:

As indicated

4/27/2020 11:57:45 AM



1 BUILDINGS #5 PLANS - 2ND FLOOR
1/4" = 1'-0"

NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - 32-29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

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INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
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- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

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- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
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No.	Description	Date



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207 Caddo St.

Ardmore, OK 73401

580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

400 N. Main Street

Gunnison, CO 81230

(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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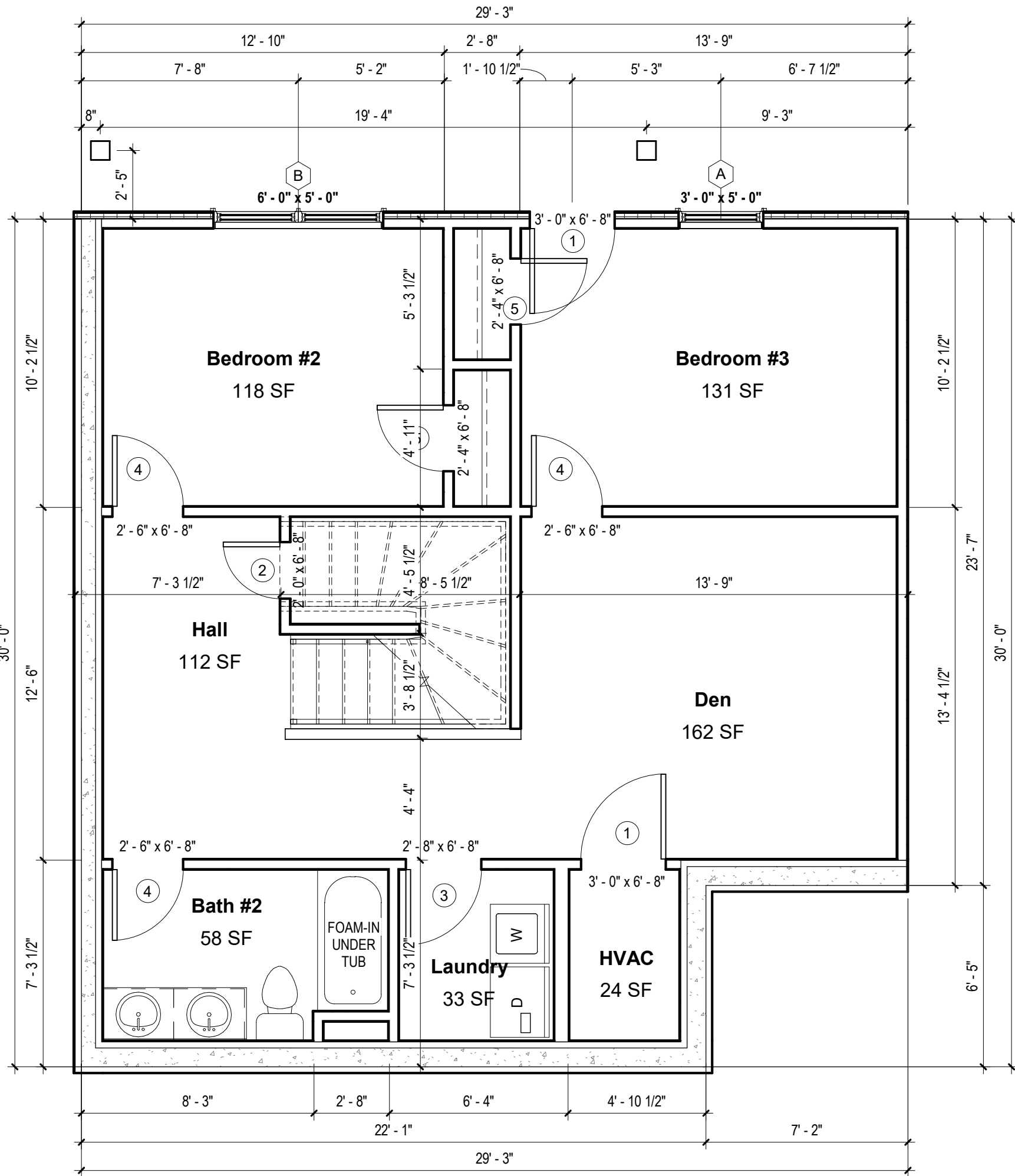
A-101.2
UNIT "F" - 1ST
FLOOR PLANS

SCALE:

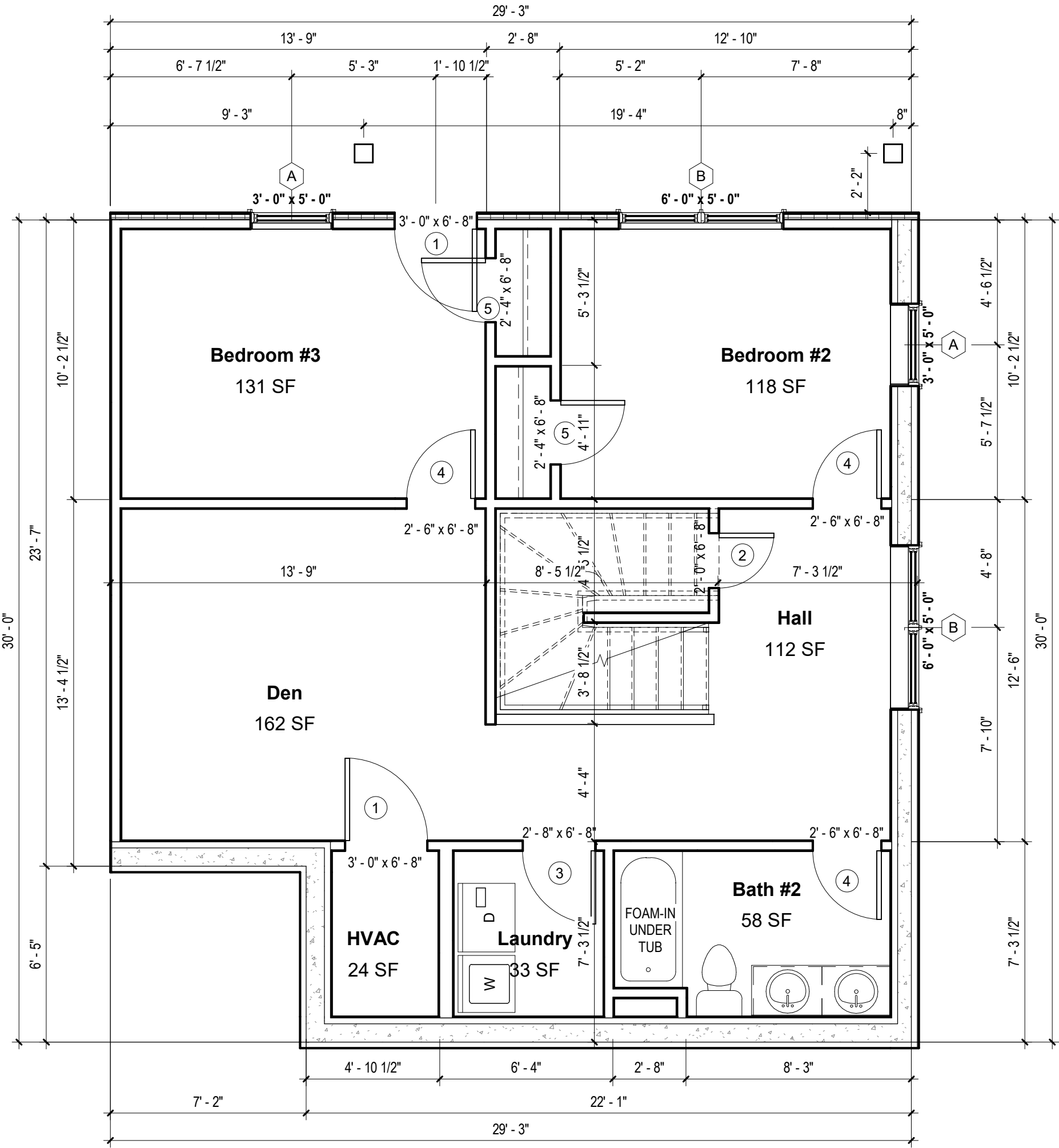
As indicated

4/27/2020 11:57:46 AM

② UNIT "F" EXT. LEFT - 1ST FLOOR PLAN
1/4" = 1'-0"



① UNIT "F" EXT. RIGHT - 1ST FLOOR PLAN
1/4" = 1'-0"



NOTES

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10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE. INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado
BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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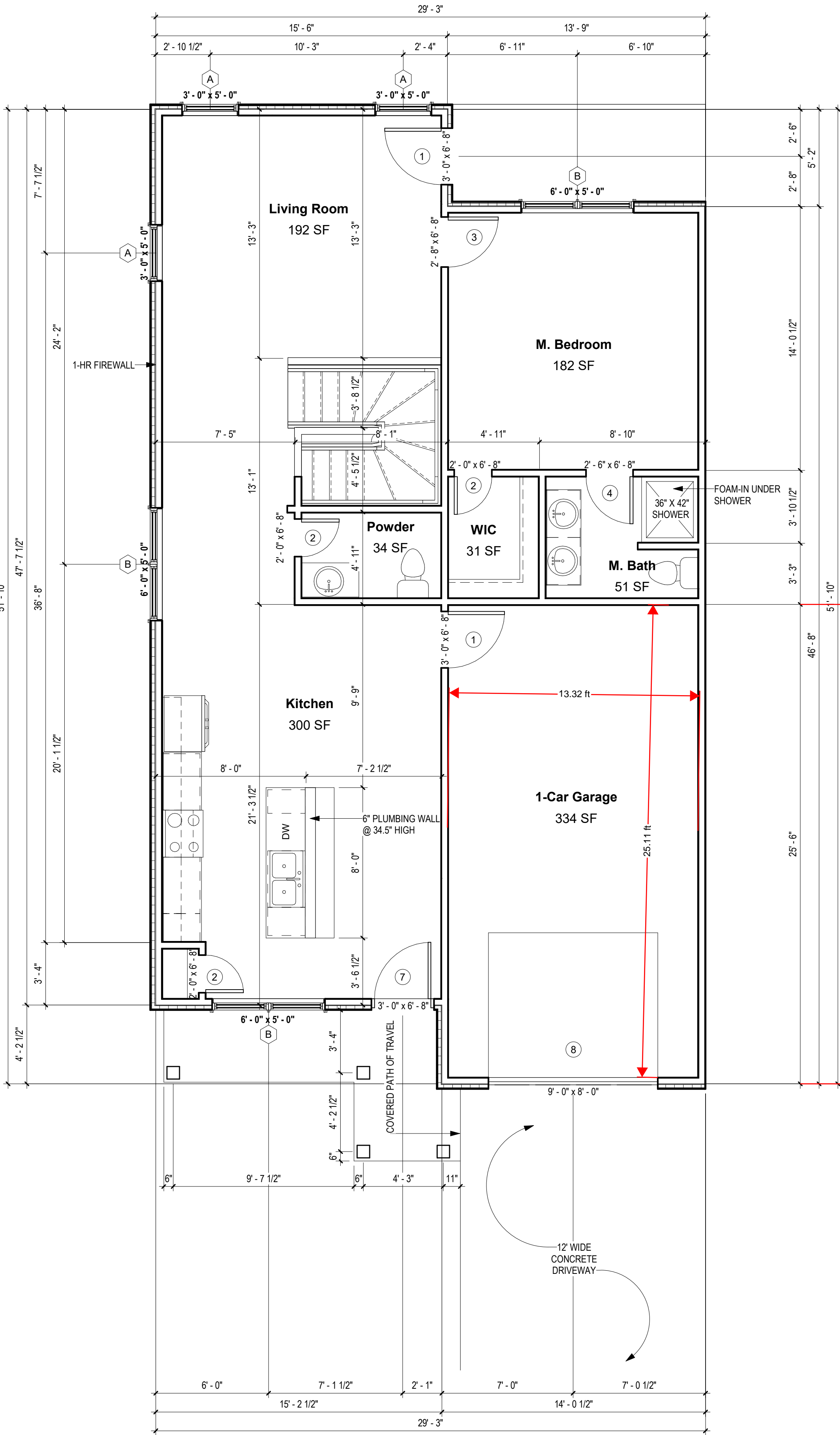
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-05
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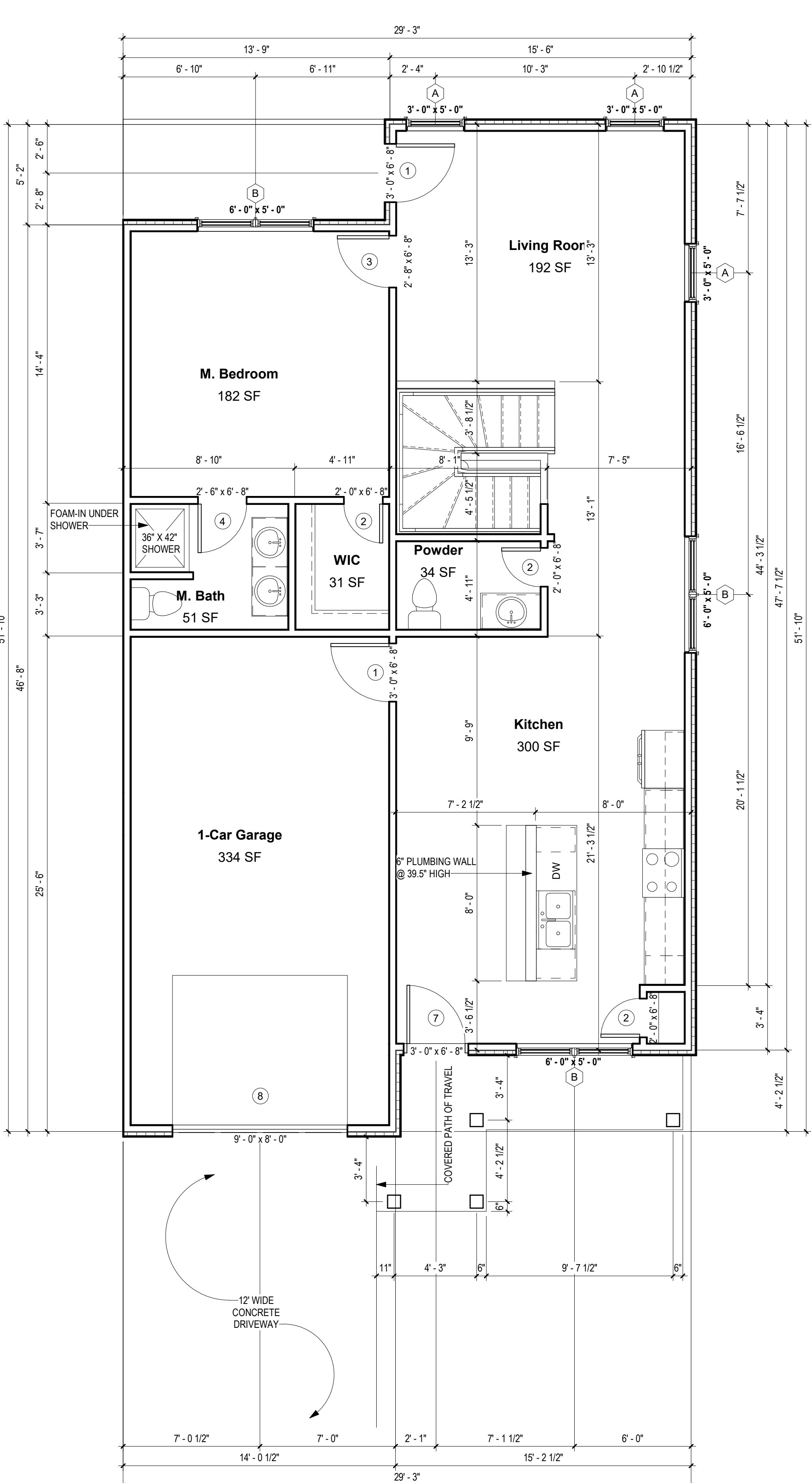
A-101.3
UNIT "F" - 2ND
FLOOR PLANS

SCALE:

As indicated



2 UNIT "F" EXT. LEFT - 2ND FLOOR PLAN
1/4" = 1'-0"



1 UNIT "F" EXT. RIGHT - 2ND FLOOR PLAN
1/4" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
2. ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
3. ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



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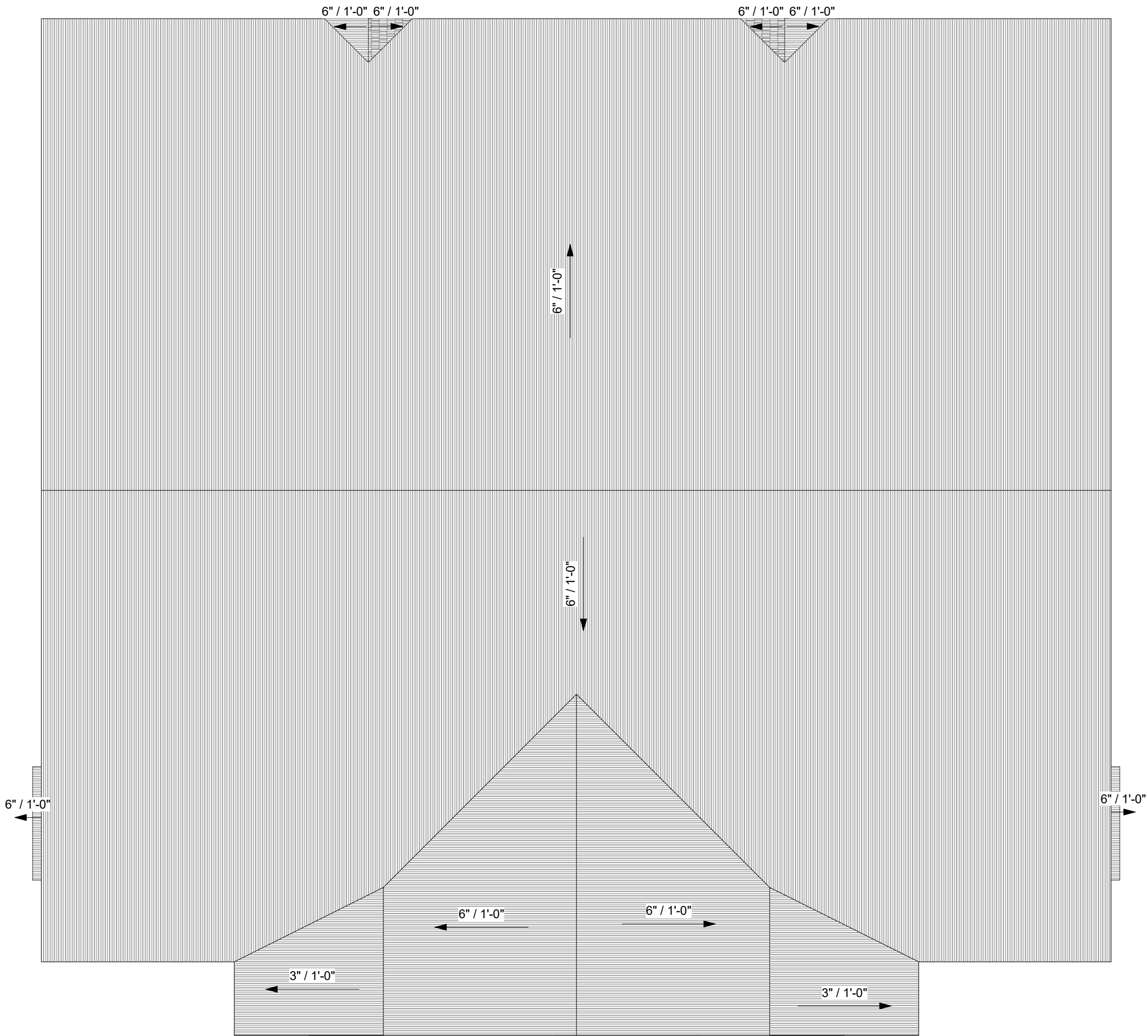
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DOCUMENTS

Project number 2017-05
Date 04.28.2020
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Checked by EAW

A-102
ROOF PLAN

No.	Description	Date

SCALE: As indicated












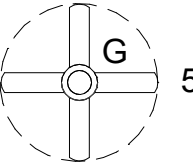


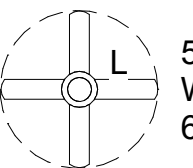

1 ROOF PLAN
3/16" = 1'-0"

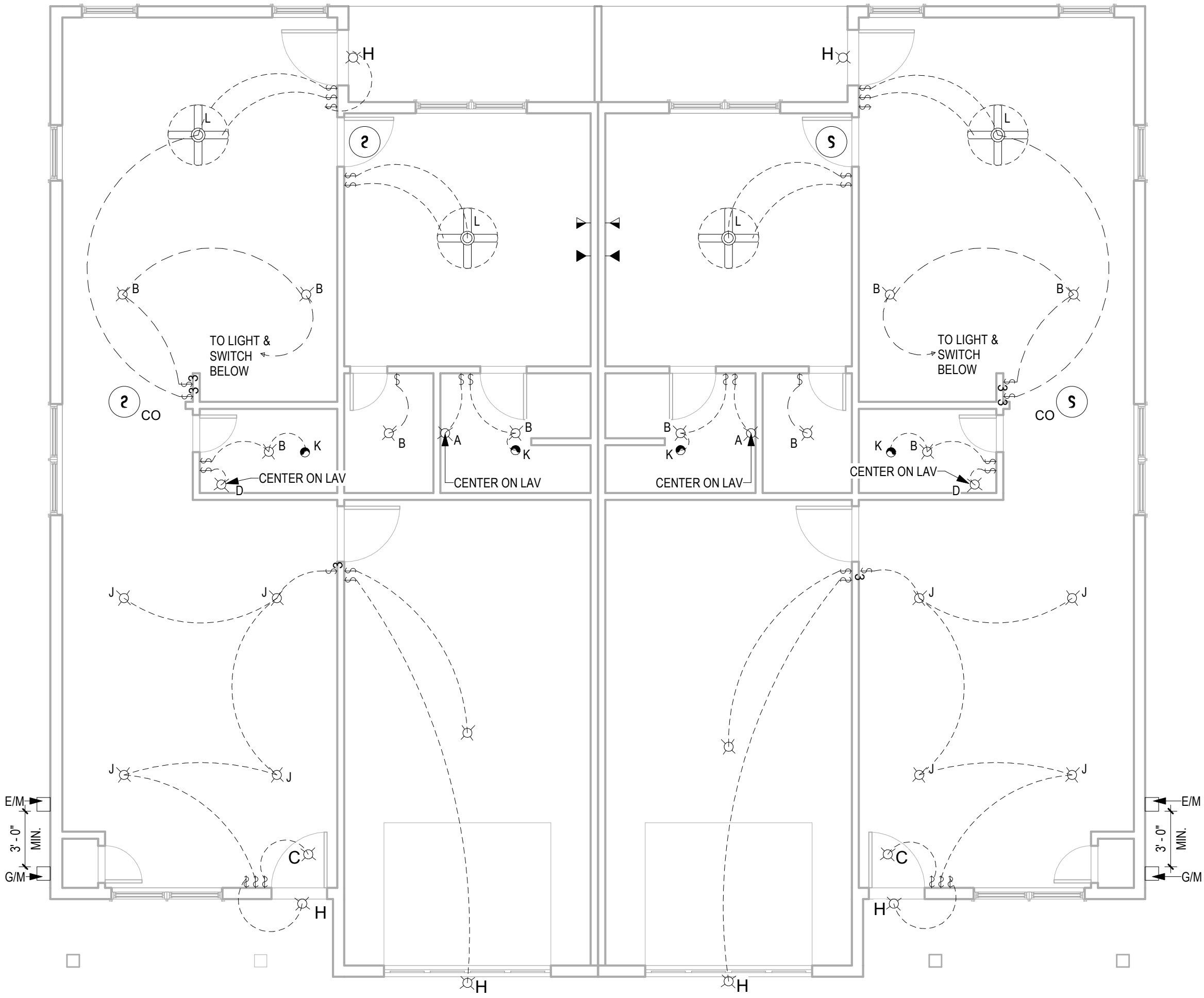
GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

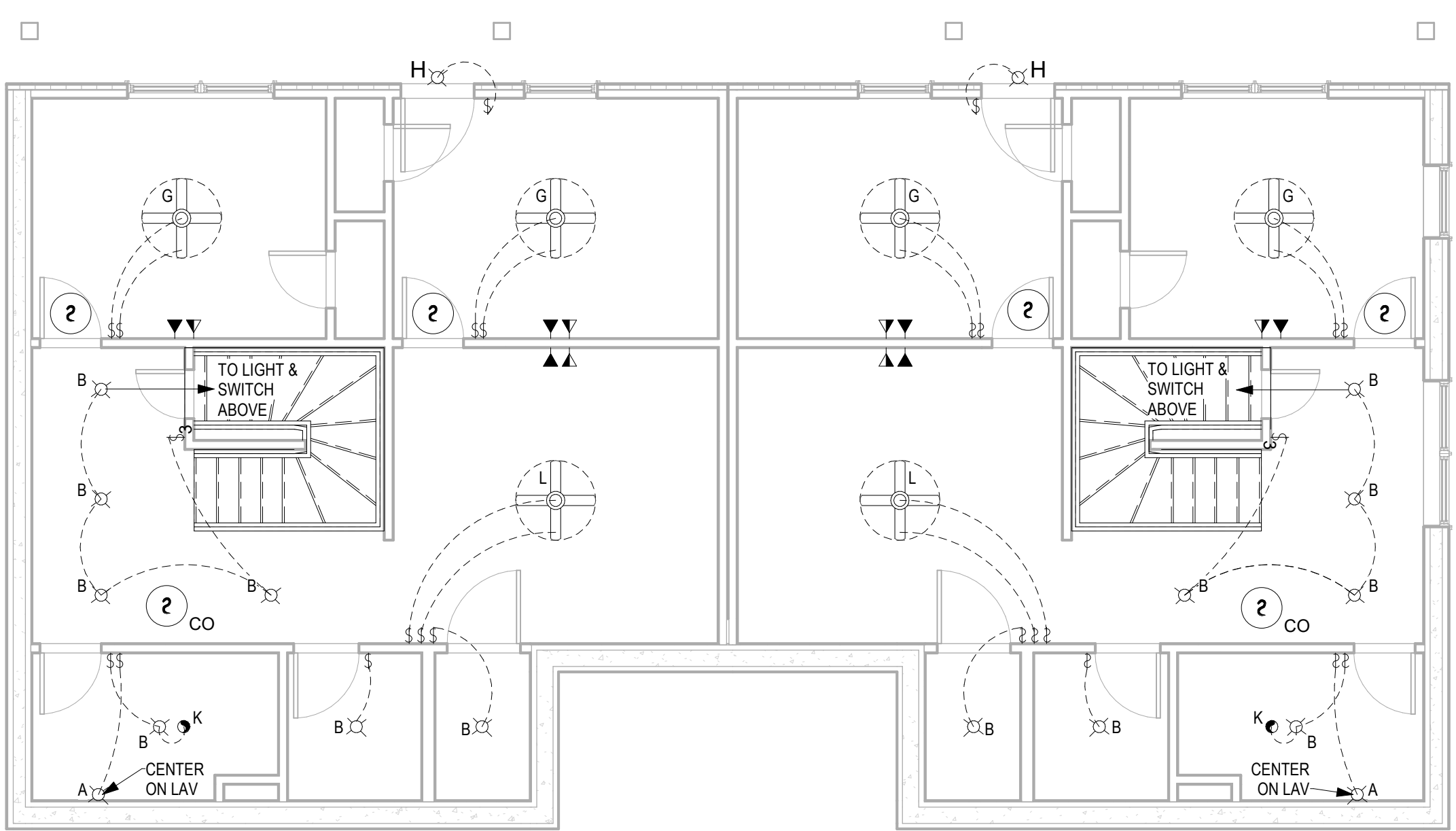
GENERAL MECHANICAL NOTES:

1.
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
2.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
3.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
4.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY..
5.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
6.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE			
	WALL MOUNT FIXTURE, 36" WIDE		BATHROOM EXHAUST FAN
	SURFACE MOUNT FIXTURE, 11 1/4" DIA.		PHONE / DATA
	SURFACE MOUNT FIXTURE, 15 1/4" DIA.		PHONE
	WALL MOUNT FIXTURE, 24" WIDE		CABLE
	5-LIGHT CHANDELIER		52" FAN, WITH LIGHT KIT
	EXTERIOR FLOODLIGHT		
	GOOSENECK LIGHT FULL CUT-OFF		52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



2 ELECTRICAL PLAN - 2ND FLOOR
3/16" = 1'-0"



1 ELECTRICAL PLAN - 1ST FLOOR
3/16" = 1'-0"



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A-103
ELECTRICAL PLAN

No.	Description	Date

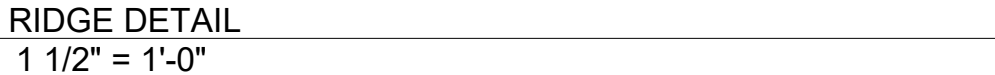
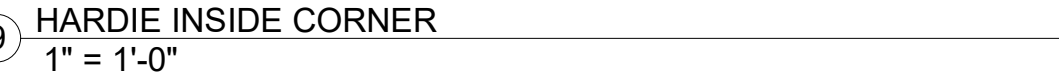
SCALE:

As indicated

DOOR SCHEDULE				
Type	Mark	Width	Height	Comments
	①	3' - 0"	6' - 8"	
	②	2' - 0"	6' - 8"	
	③	2' - 8"	6' - 8"	
	④	2' - 6"	6' - 8"	
	⑤	2' - 4"	6' - 8"	
	⑦	3' - 0"	6' - 8"	
	⑧	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
(A)	3' - 0"	5' - 0"	
(B)	6' - 0"	5' - 0"	

PLUMBING FIXTURE SCHEDULE	
Count	Description
10	19" X 19" ROUND VANITY SINK
2	36" X 21" DOUBLE KITCHEN SINK
2	36" X 42" SHOWER
2	SHOWER/TUB COMBO
6	TOILET - STANDARD HT.



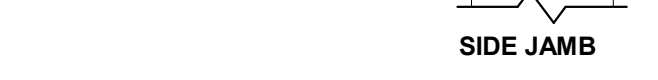
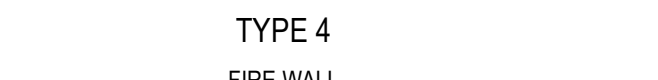
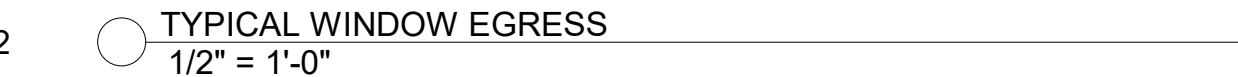
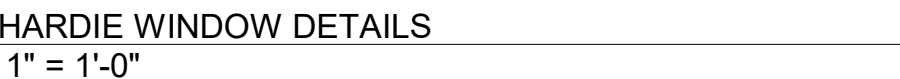
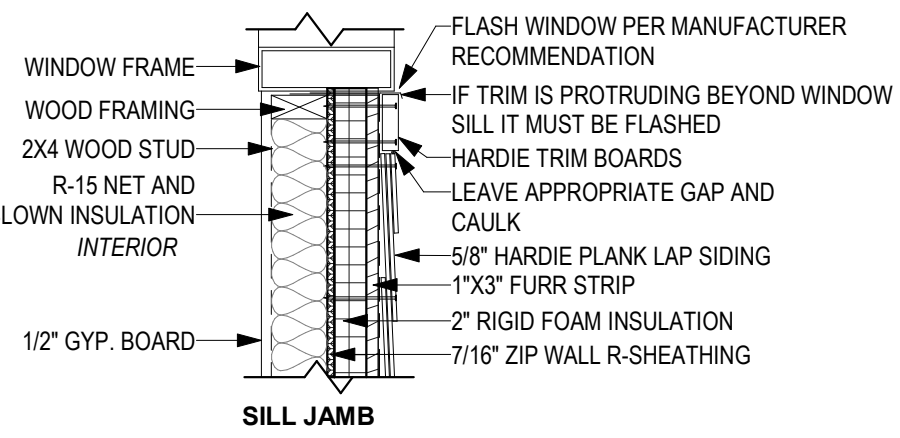
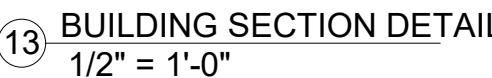
1. APPROACH SHALL MEET CITY SPECIFICATIONS.
2. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
2. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

1. SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
2. CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
3. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

3-0 x 5-0 Double Hung Window

6-0 x 5-0 Twin Double Hung Window



As indicated



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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
 - c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
 - e. There are no SHGC requirements in the Marine Zone.
 - f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 - g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date



04.28.2020

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A-104.1
PRESCRIPTIVE
TABLE

SCALE:



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A-105
CABINET LAYOUT &
ELEVATIONS

SCALE: As indicated

**MIRROR CABINET ELEVATIONS FOR UNIT "F" EXT. RIGHT

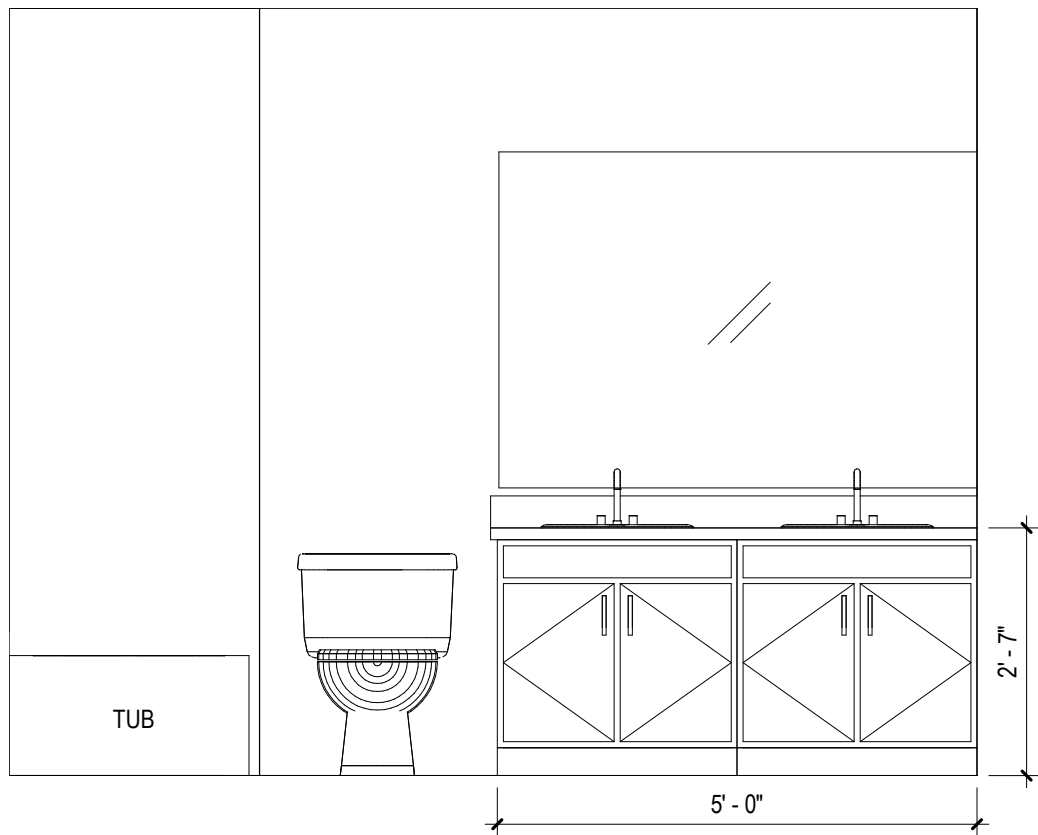
KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH
COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

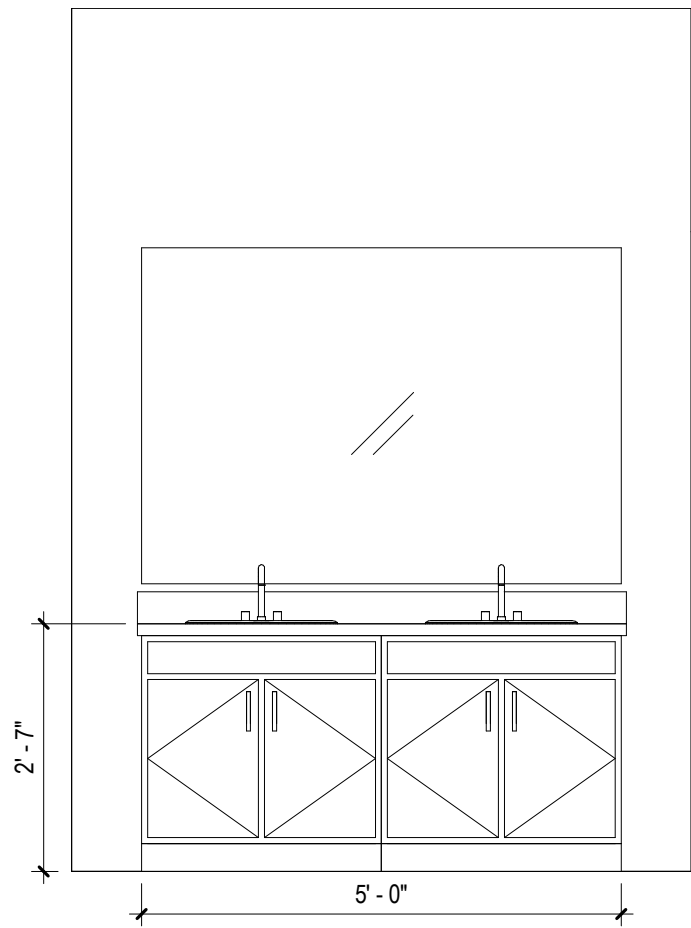
BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH
COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

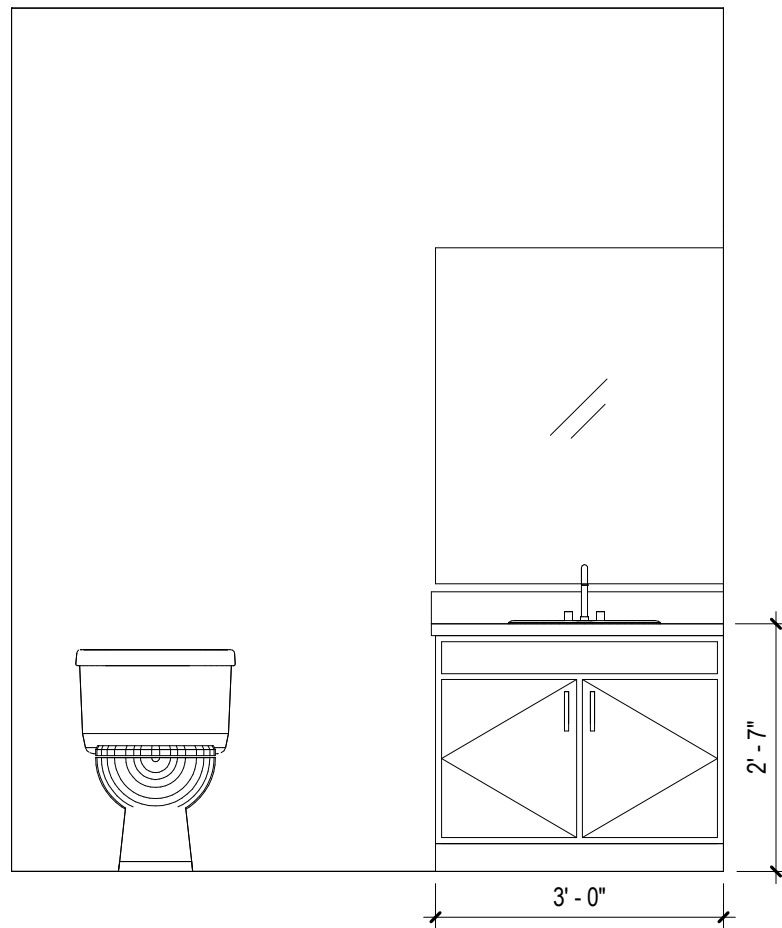
NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN



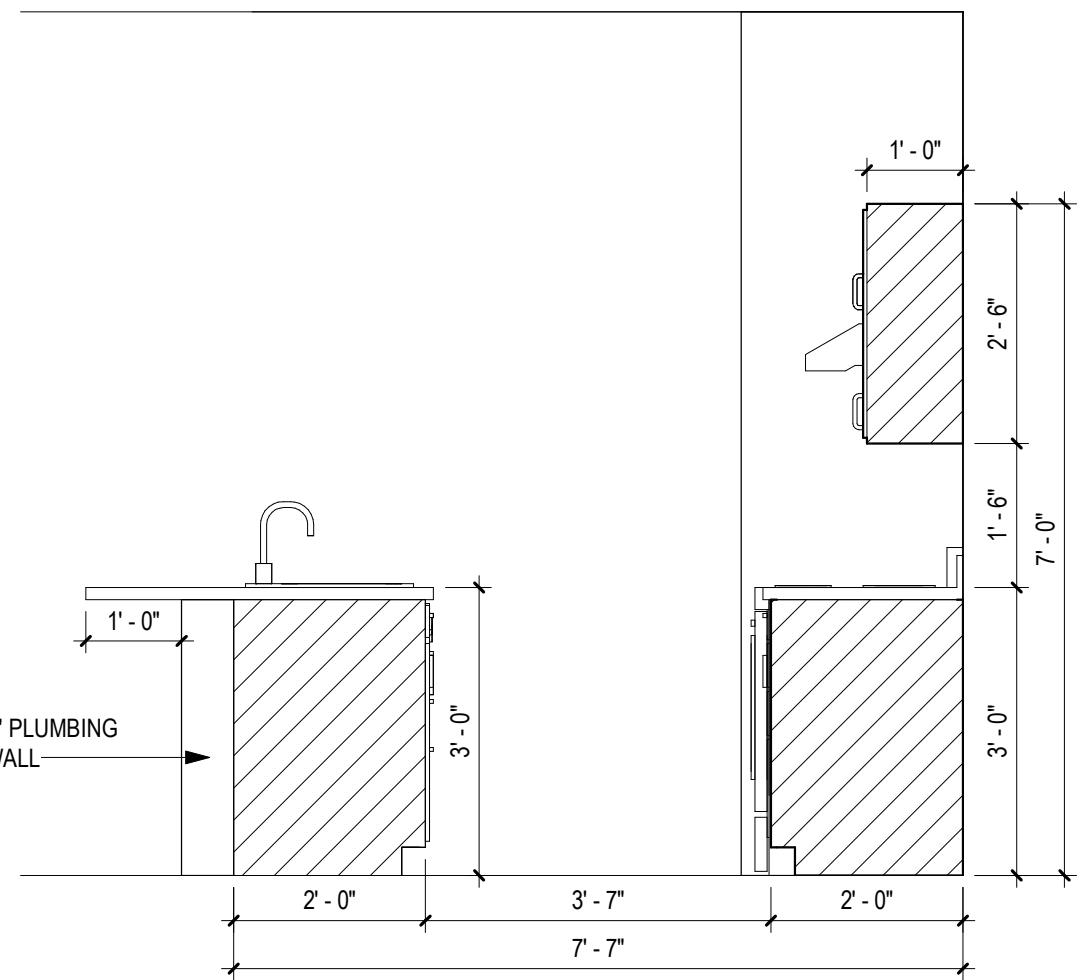
7 ELEV. @ UNIT "F" EXT. LEFT BATH #2
1/2" = 1'-0"



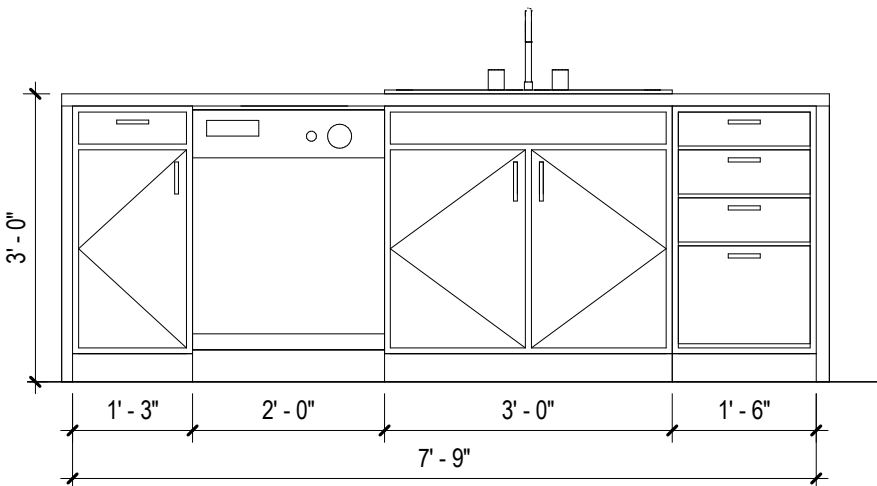
6 ELEV. @ UNIT "F" EXT. LEFT M. BATH
1/2" = 1'-0"



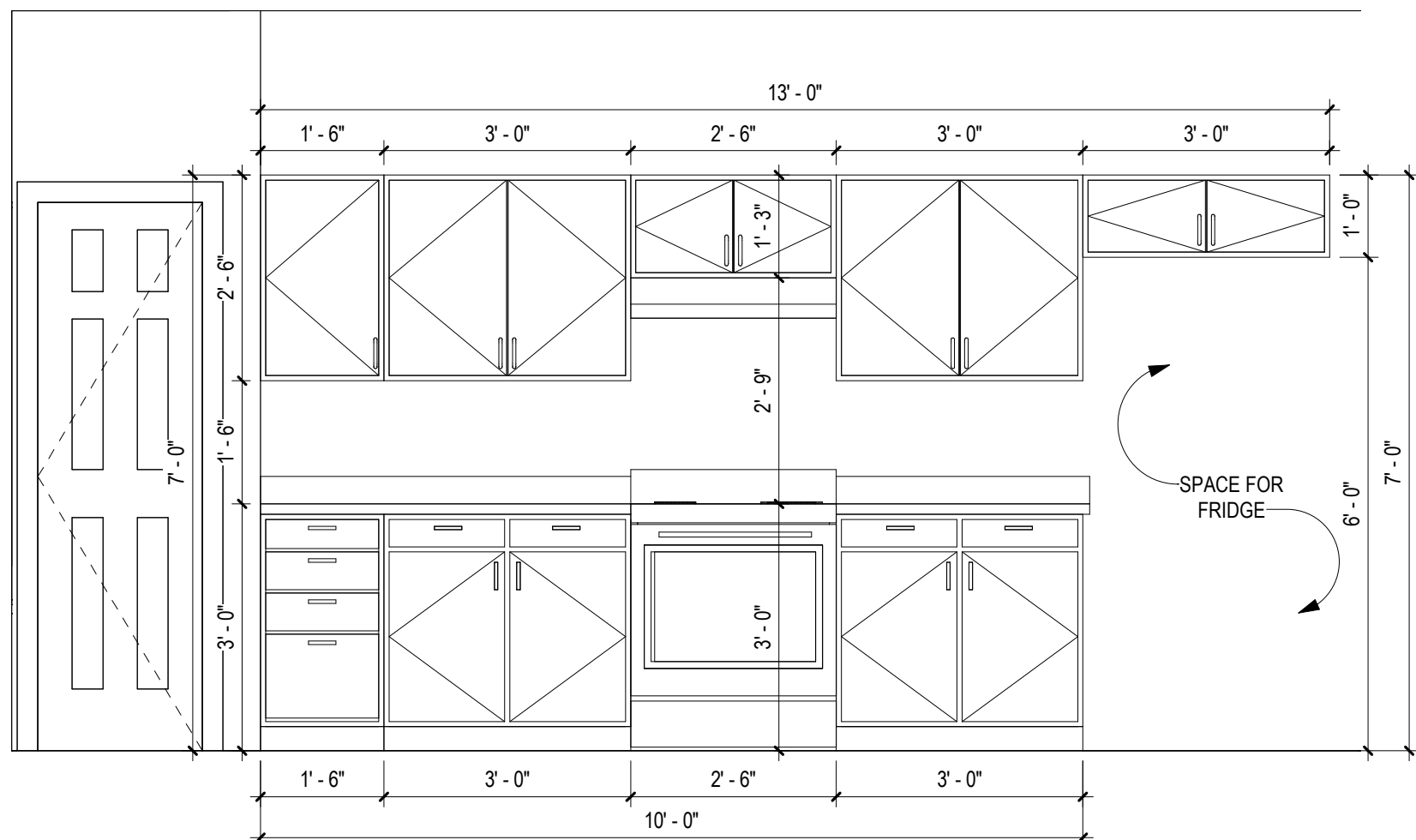
5 ELEV. @ UNIT "F" EXT. LEFT POWDER
1/2" = 1'-0"



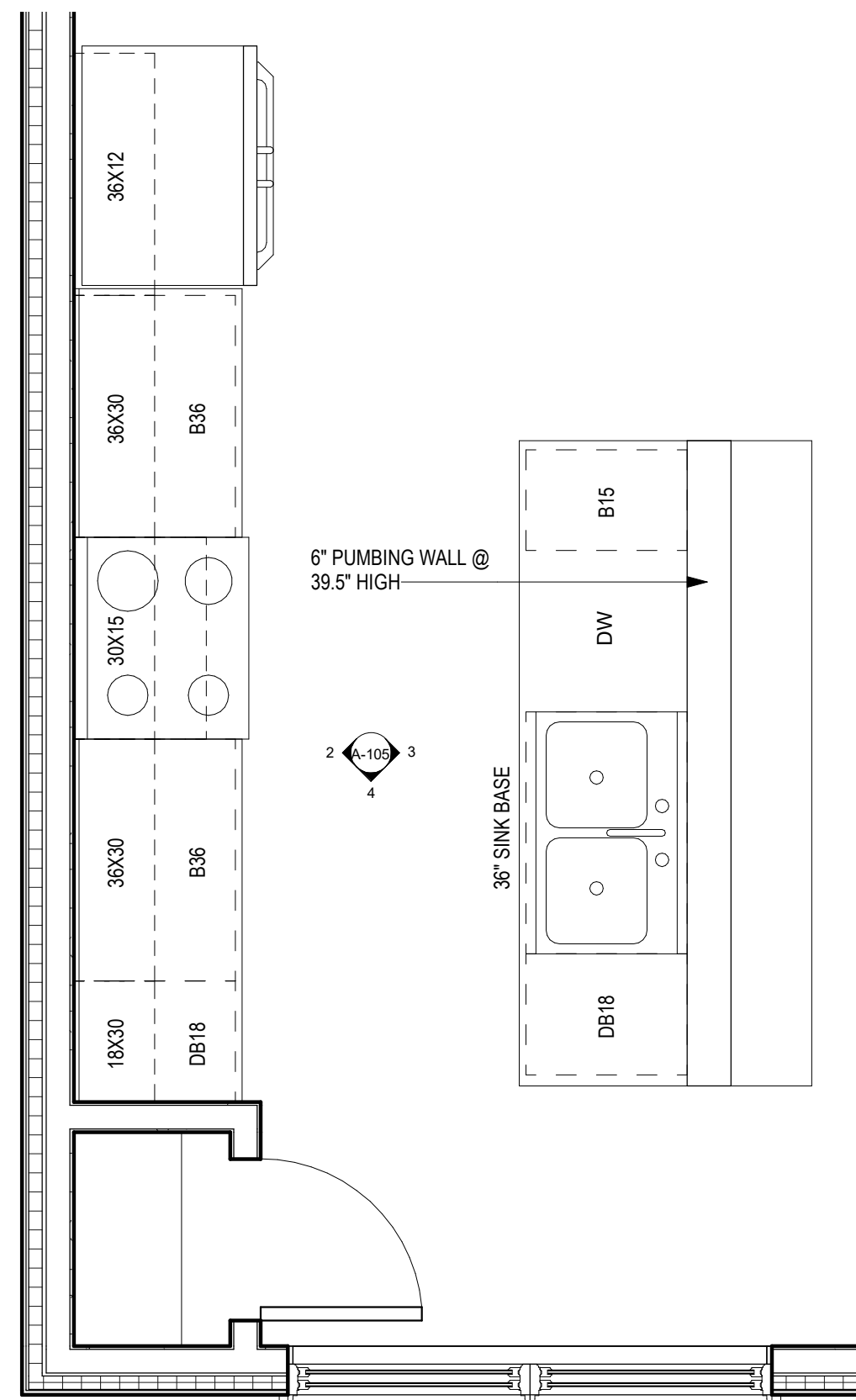
4 ELEV. @ UNIT "F" EXT. LEFT ISLAND -
VIEW 2
1/2" = 1'-0"



3 ELEV. @ UNIT "F" EXT. LEFT KITCHEN -
VIEW 1
1/2" = 1'-0"

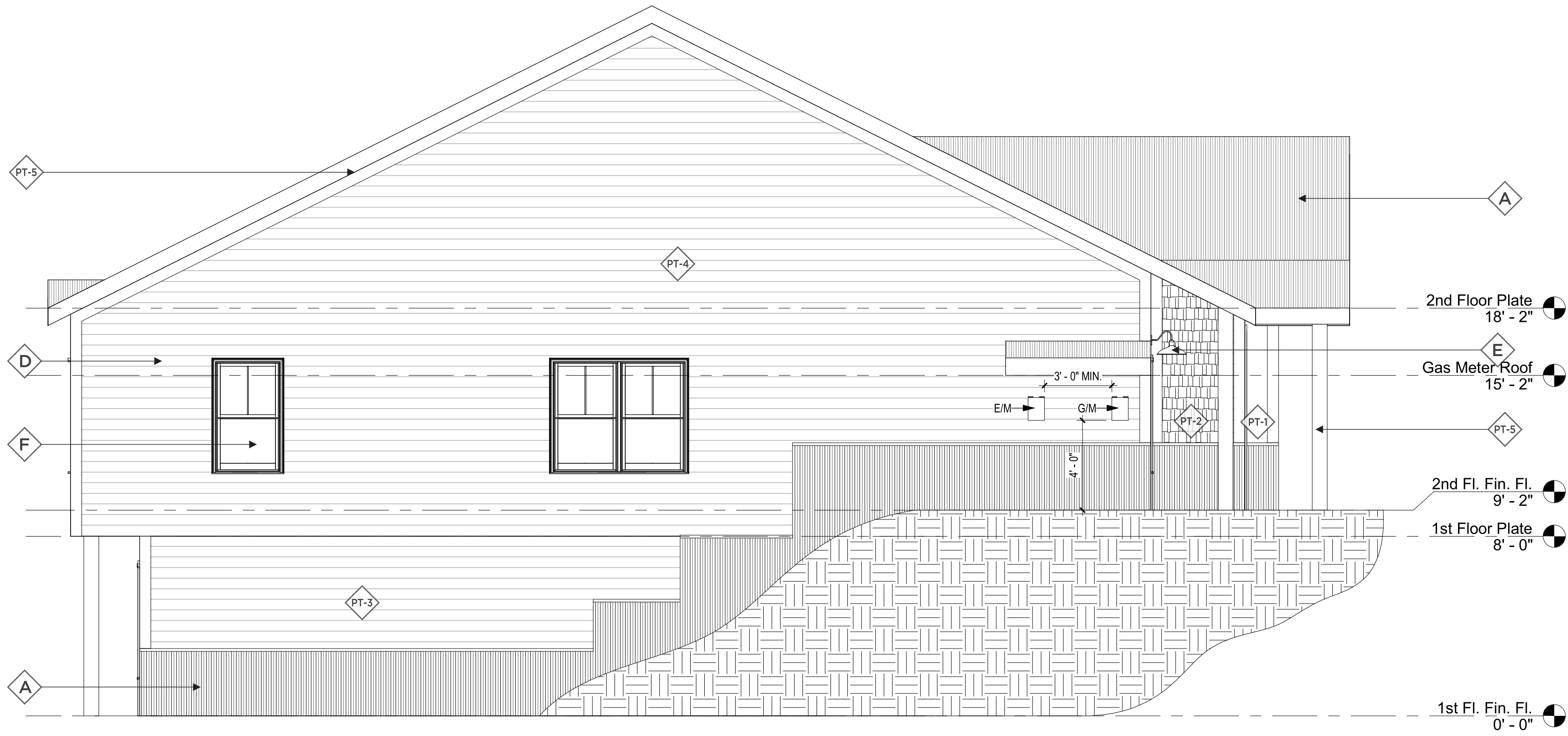


2 ELEV. @ UNIT "F" EXT. LEFT ISLAND -
VIEW 1
1/2" = 1'-0"

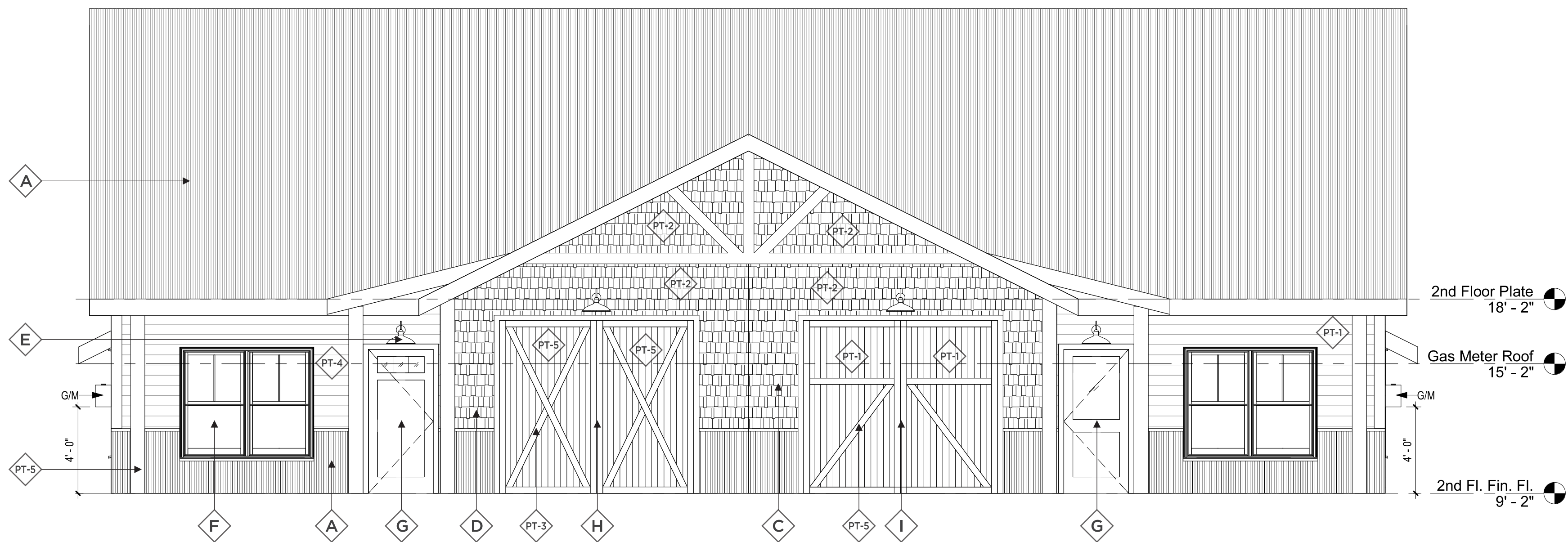


1 ENLARGED KITCHEN @ UNIT "F" EXT.
LEFT
1/2" = 1'-0"

No.	Description	Date



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

MATERIALS



A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



E EXTERIOR SCONCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White



G EXTERIOR DOOR
Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM211S230LB
Size: 36"x 80"



H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

FRONT ELEVATION BLDG HT. - 22'-06"
LEFT ELEVATION BLDG HT. - 27'-01"
REAR ELEVATION BLDG HT. - 31'-08"
RIGHT ELEVATION BLDG HT. - 27'-01"
TOTAL - 108'-04"
BUILDING HT. - 27'-01"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

No.	Description	Date

CONSULTANTS:


STRUCTURAL
Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number2017-05

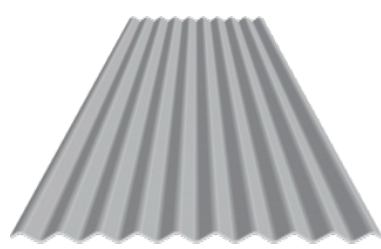
Date04.28.2020

Drawn byMML / IPT

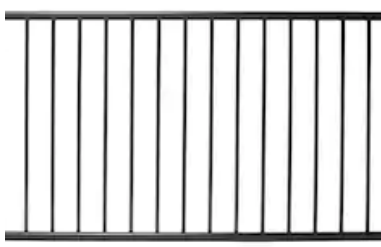
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A-201
EXTERIOR
ELEVATIONS

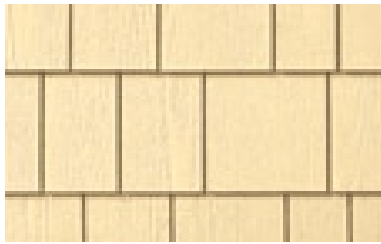
MATERIALS



A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



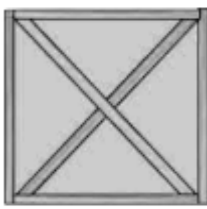
E EXTERIOR SCNCE
Manufacturer: Sylvania Lighting
Color: Antique Black
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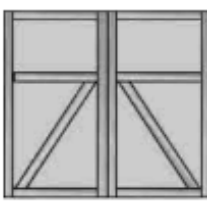
F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White



G EXTERIOR DOOR
Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
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H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
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PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
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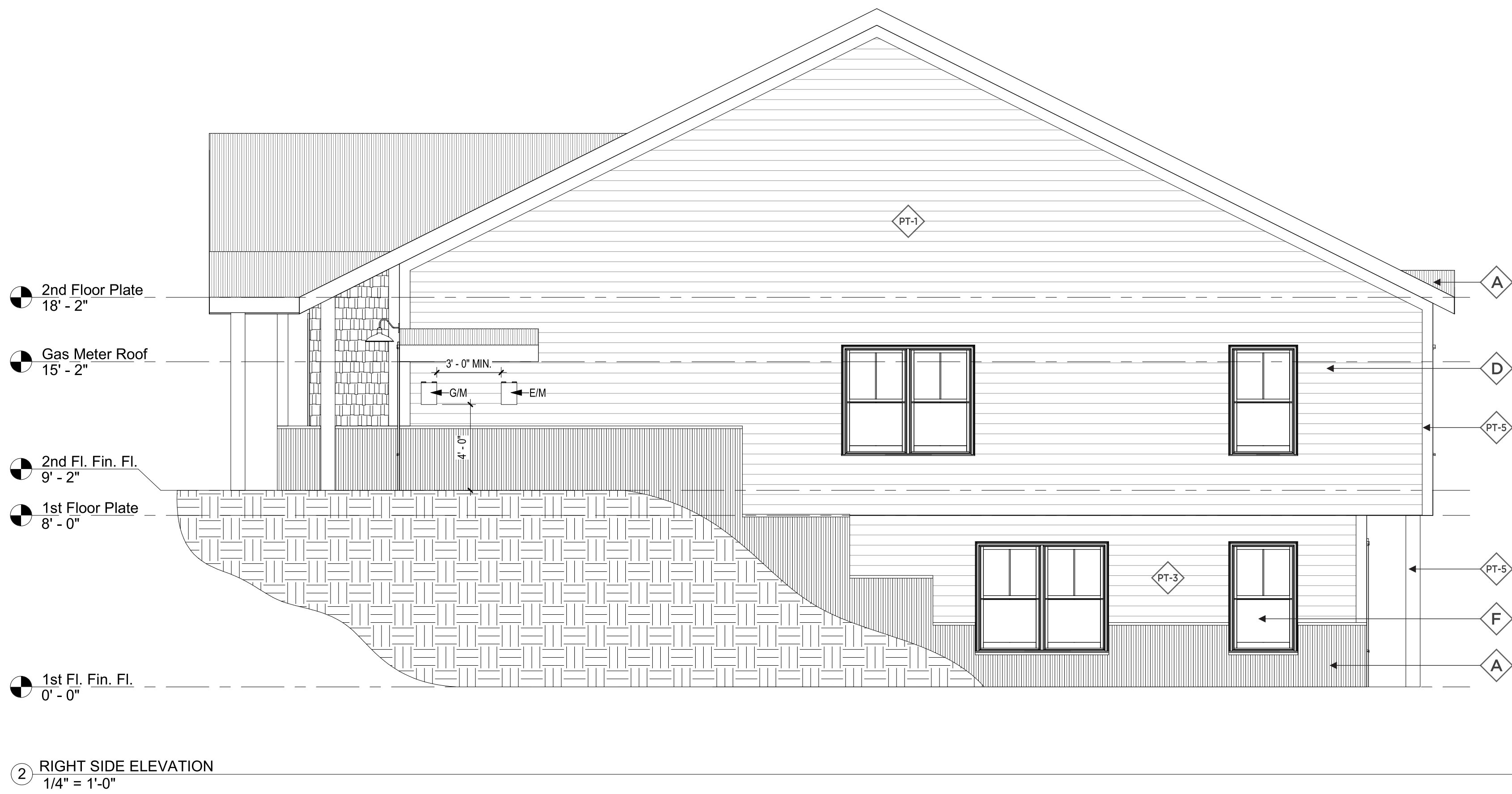


PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



Southern Design Group, LLC
207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499

**The Prospect Homestead
Subdivision**
Town of Mount Crested
Butte, Colorado

**BUILDING #5
DUPLEX UNIT "F"
3+ BEDROOM PLANS**

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-05
Date 04.28.2020
Drawn by MML / IPT
Checked by EAW

A-202
EXTERIOR
ELEVATIONS

No.	Description	Date

SCALE: 1/4" = 1'-0"

LOTS 11-14



SCALE: 12" = 1'-0"

CONTACT: Bob Williams, PE
PHONE: 970.641.2499

(UNCONDITIONED)	
GARAGE -	316 SF
TOTAL (UNCONDITIONED) -	316 SF

4/24/2020 2:37:12 PM



Southern Design Group, LLC
207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
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CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #6 -
UNITS "B" & "C"
3-BEDROOM PLANS

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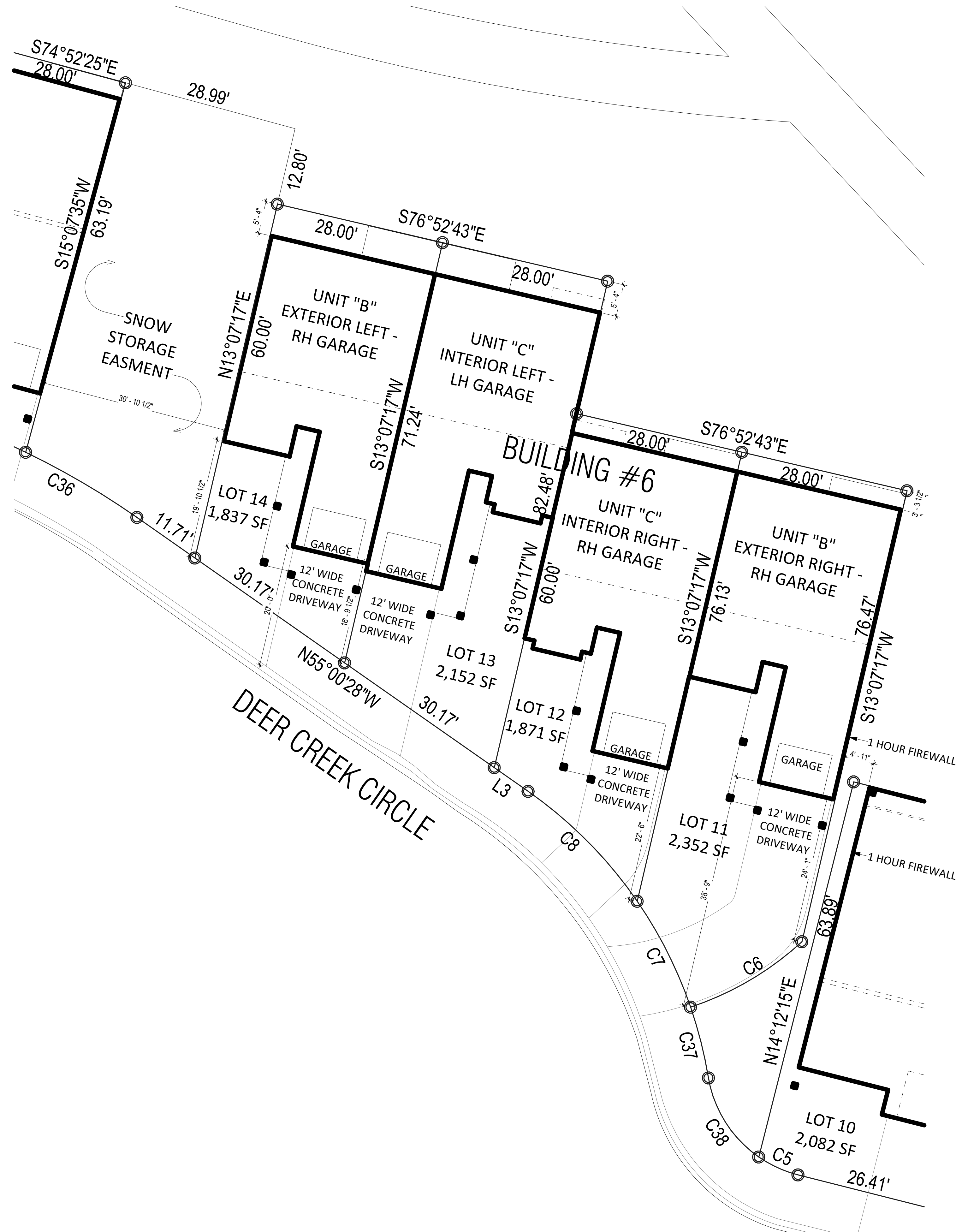
04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE: As indicated

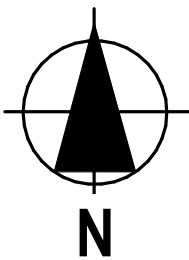


LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'



No.	Description	Date

NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - .32-.29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY/PATIO DOORS: RELIABLT 6-PANEL STEEL ENTRY DOOR.
2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE), 20-MIN. RATED
4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
7. DO NOT SCALE DRAWINGS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



Southern Design Group, LLC

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Ardmore, OK 73401
580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

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BUILDING #6 -
UNITS "B" & "C"
3-BEDROOM PLANS

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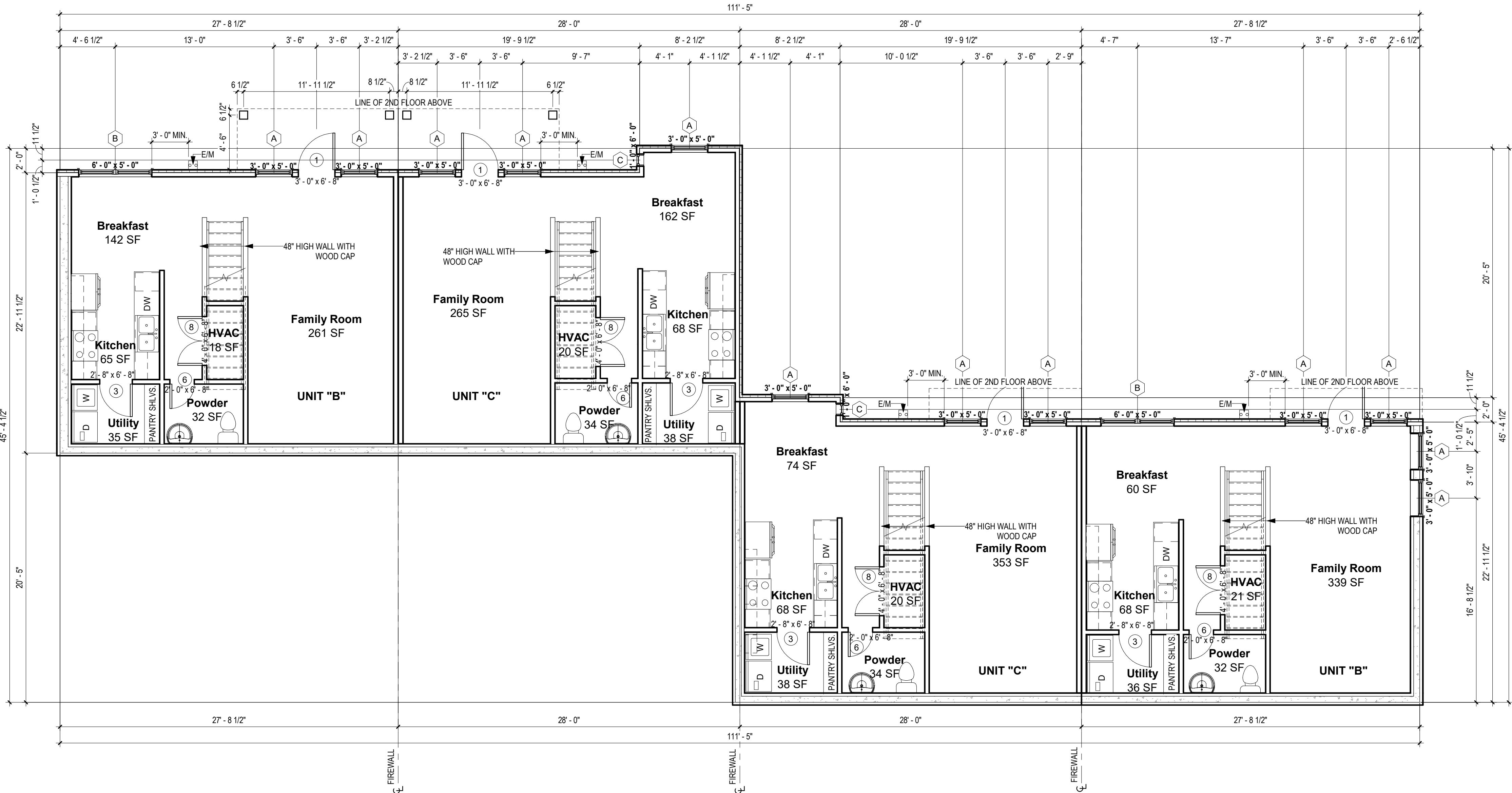
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101
BUILDING #6 - 1ST
FLOOR PLANS

SCALE:

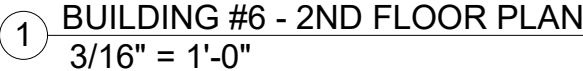
As indicated



1 BUILDING #6 - 1ST FLOOR PLAN
3/16" = 1'-0"

No.	Description	Date

***SPRINKLERS WILL BE PER APPLICABLE NFPA CODE**



ALL WINDOW SIZES ARE INDICATED ON PLANS:

- ALL DOOR SIZES ARE INDICATED ON PLANS:**

- # INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
3. ENERGY SEAL PACKAGE: SEAMAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS,
TOP PLATE, VERTICAL SEALS & ALL HOLE PENETRATIONS.
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN
DOUBLE FRAMED WALL.
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES
AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED
TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF
FOUNDATION WALL. 3' BELOW SLAB

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
7. DO NOT SCALE DRAWINGS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
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10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LOCAYS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 1'0" ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
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21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEPT/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED. INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

[illegible]

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Architect of Record: Elizabeth Windel, AIA
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CONSULTANTS:

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The Prospect Homestead Subdivision

BUILDING #6 - UNITS "B" & "C" 3-BEDROOM PLANS

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04.28.2020

**100% COMPLETE CONSTRUCTION
DOCUMENTS**

Project number	2017-1
Date	04.28.2021
Drawn by	MMML
Checked by	EAW

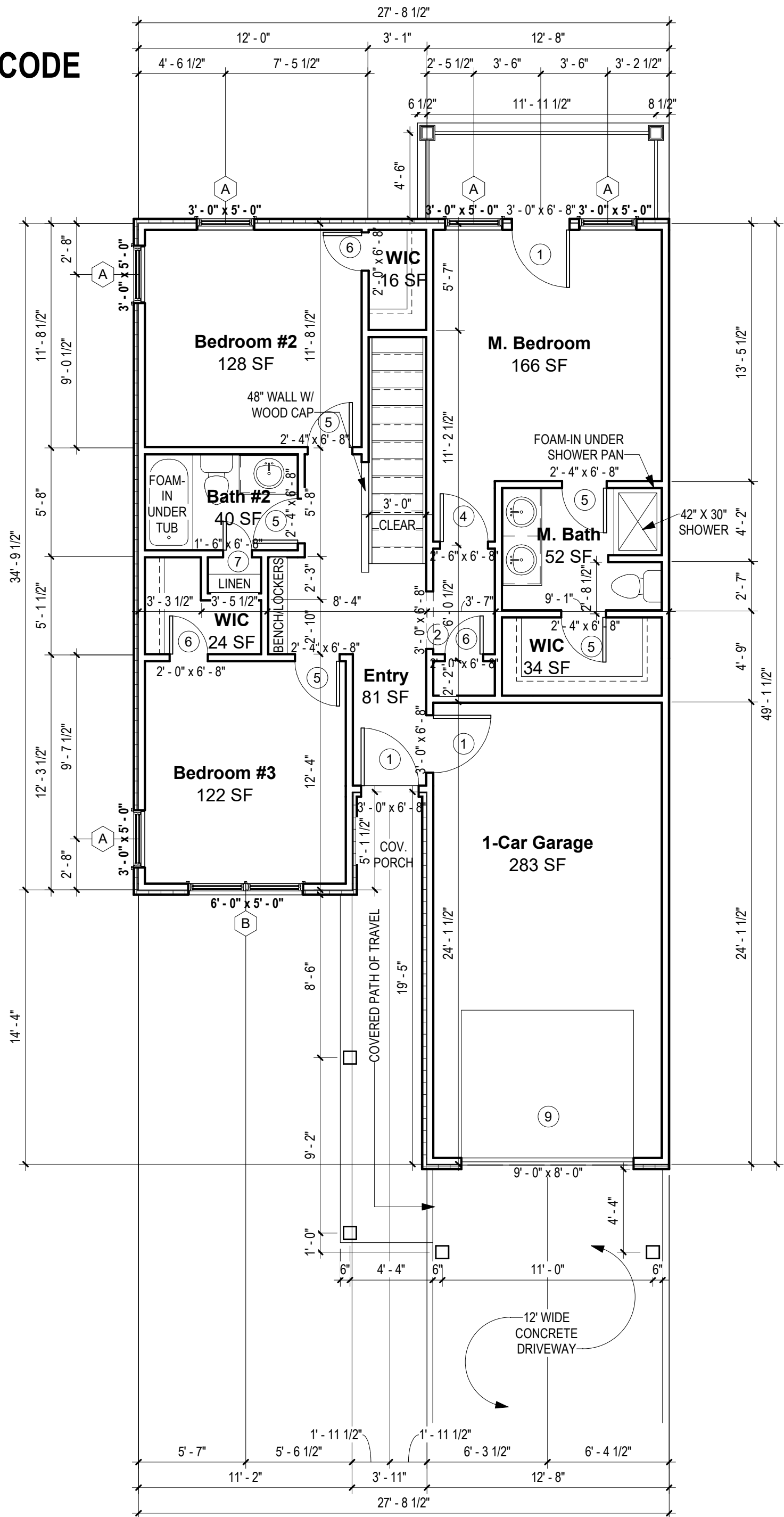
A-101.1

BUILDING #6 - 2ND FLOOR PLANS

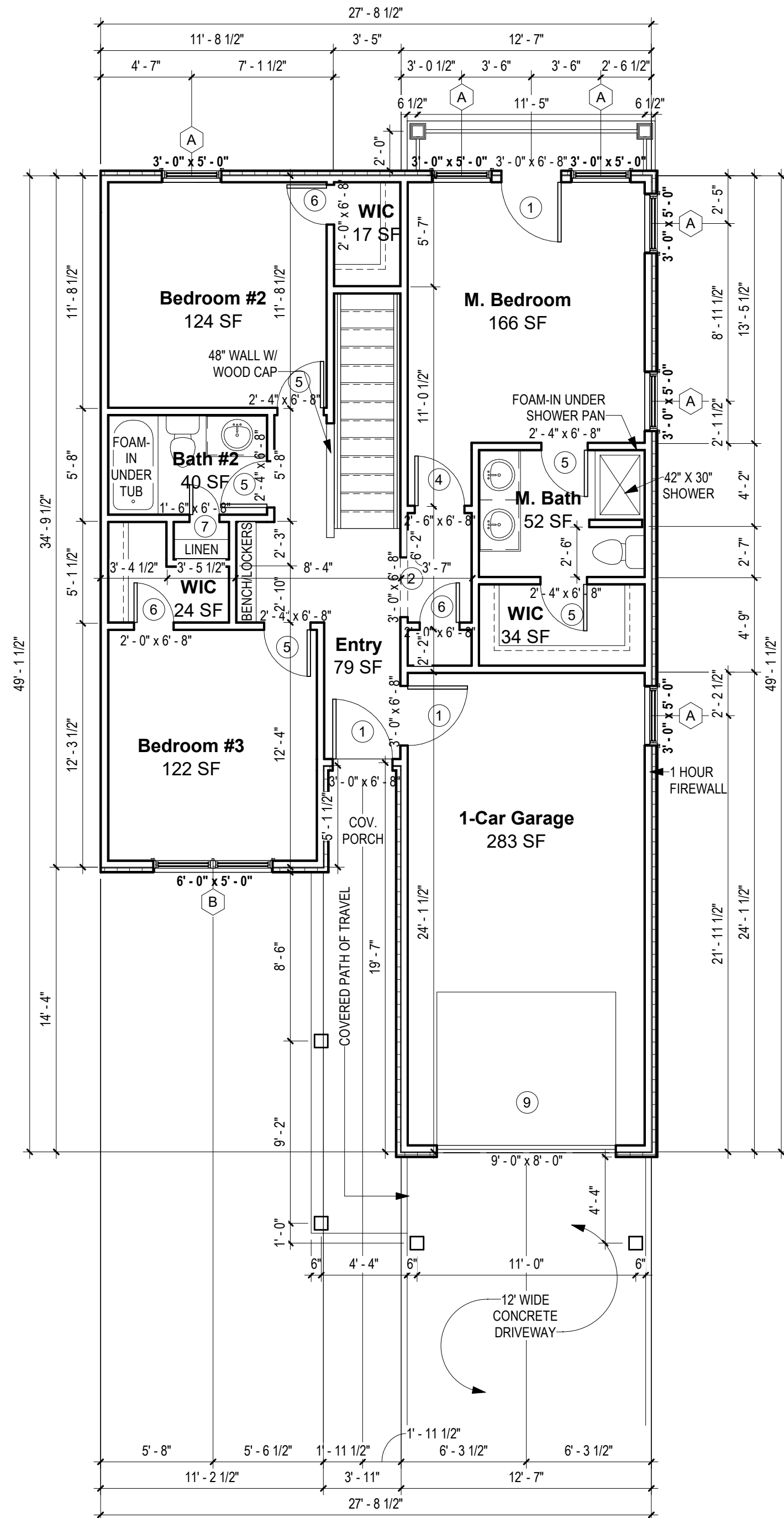
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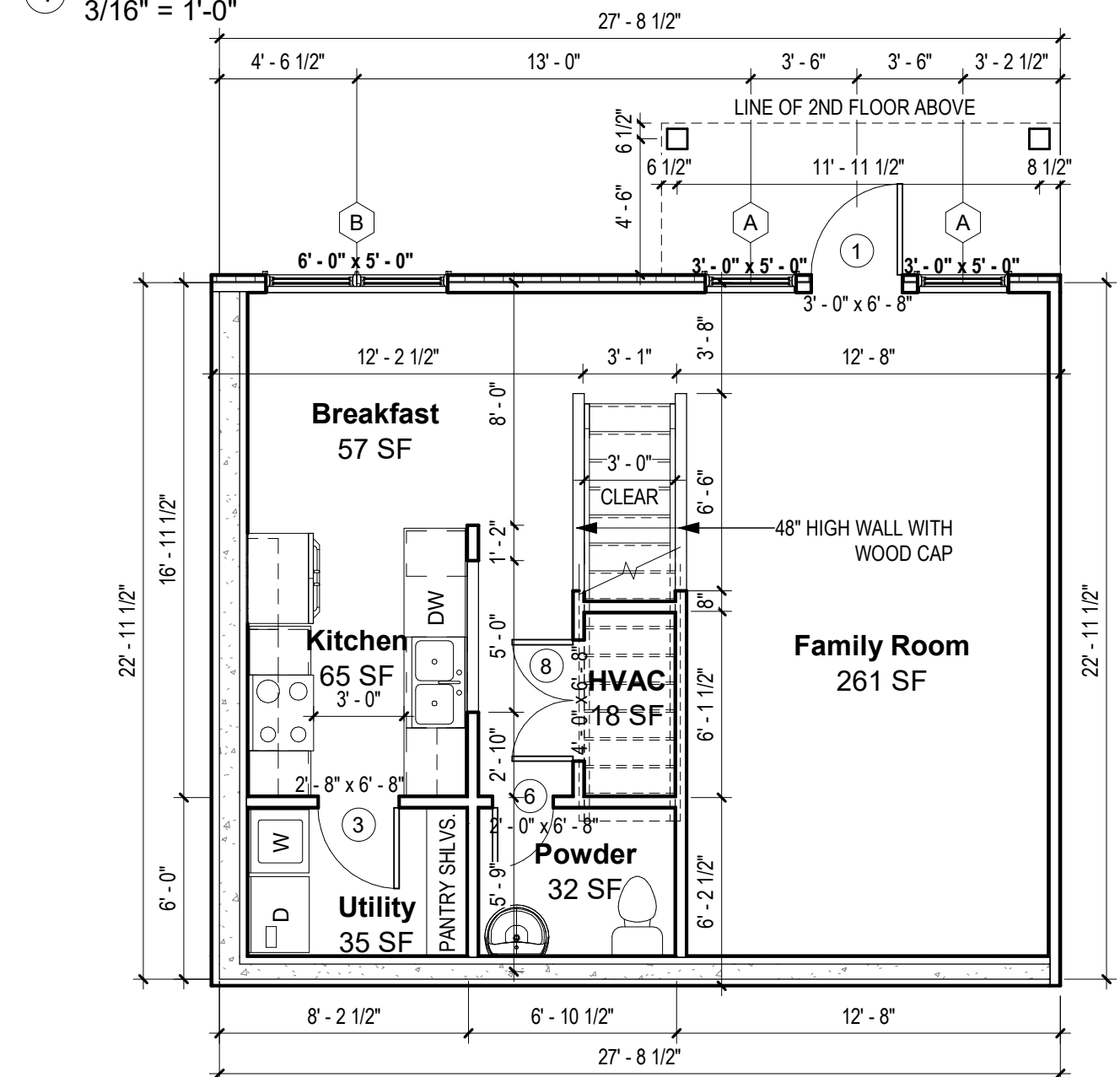
NOTES
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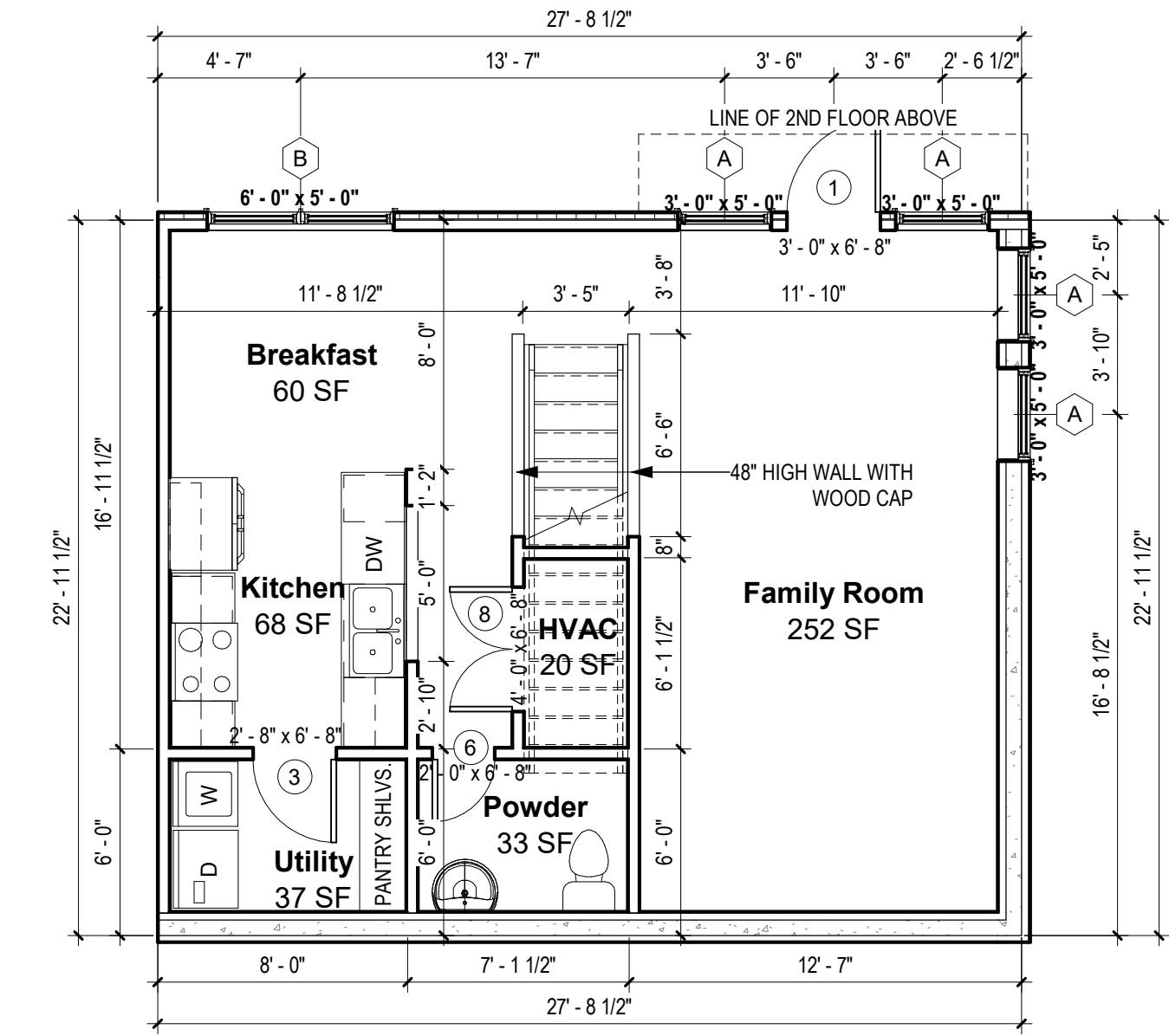
UNIT PLAN B - EXT. LEFT 2ND FLOOR - RH GARAGE
3/16" = 1'-0"



UNIT PLAN B - EXT. RIGHT 2ND FLOOR - RH GARAGE
3/16" = 1'-0"



UNIT PLAN B - EXT. LEFT 1ST FLOOR - RH GARAGE
3/16" = 1'-0"



UNIT PLAN B - EXT. RIGHT 1ST FLOOR - RH GARAGE
3/16" = 1'-0"

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES - .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE), 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
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BUILDING #6 -
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04.28.2020

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Date 04.28.2020
Drawn by MML
Checked by EAW

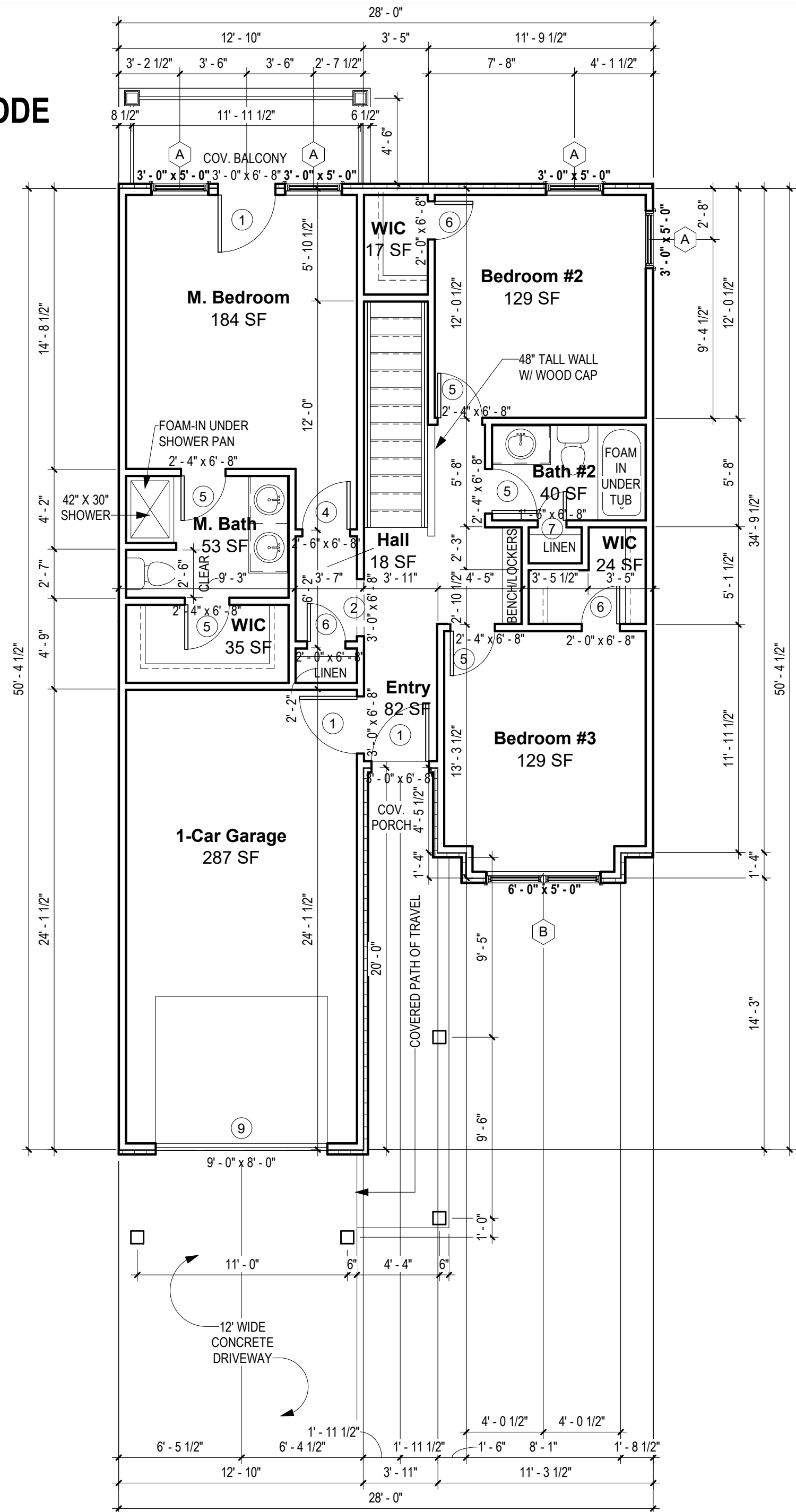
A-101.2
UNIT "B" PLANS

No.	Description	Date

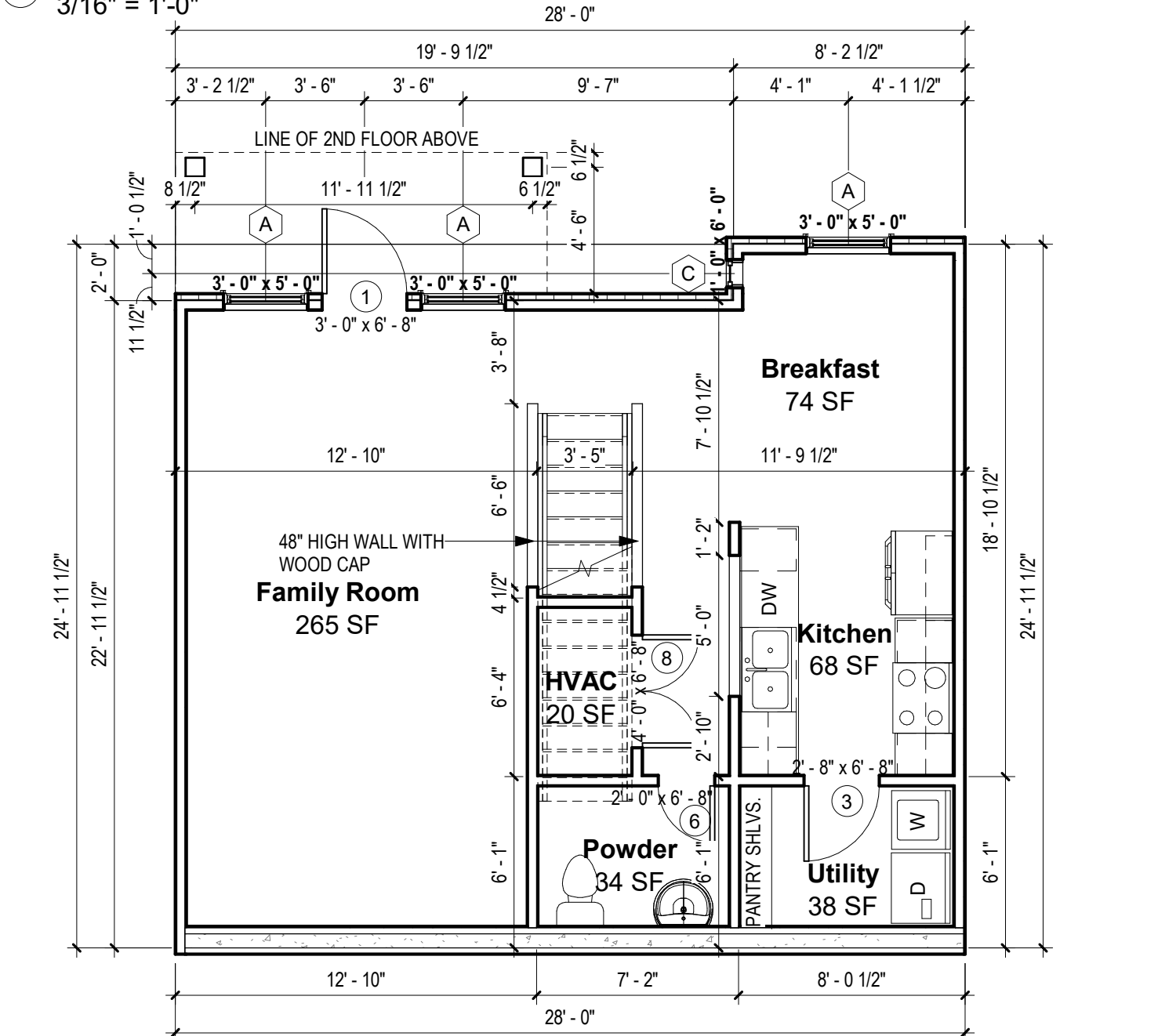
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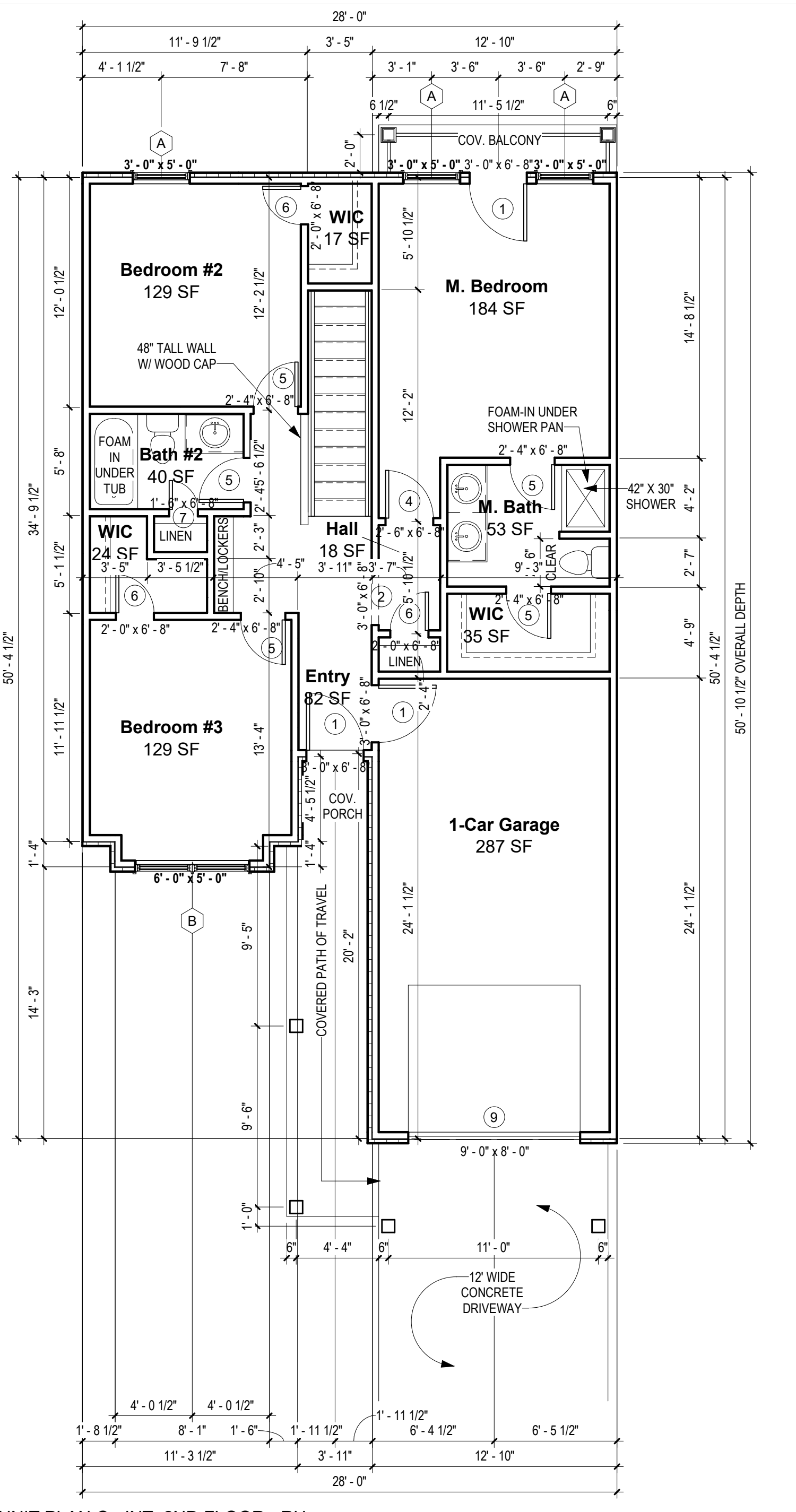
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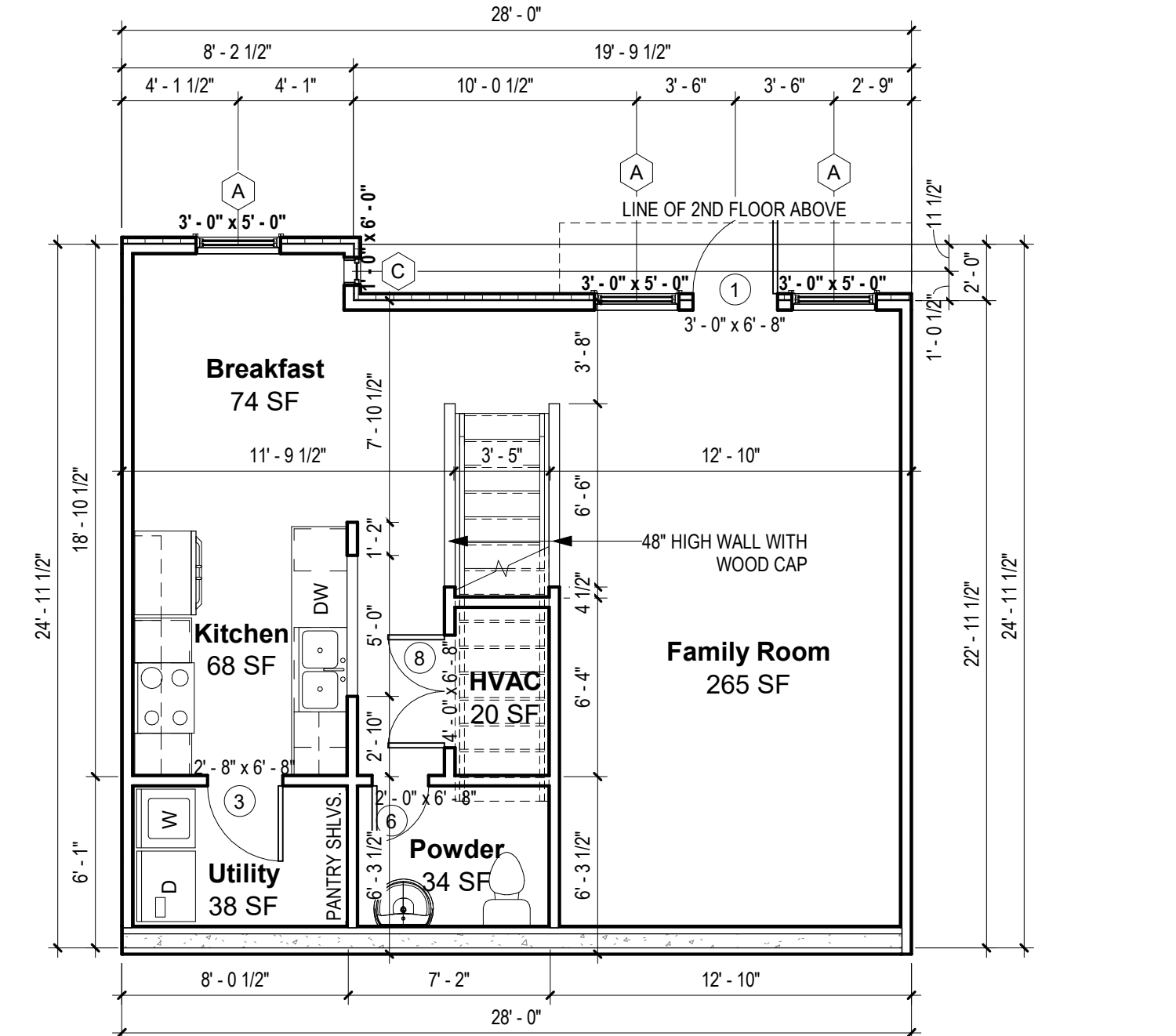
UNIT PLAN C - INT. 2ND FLOOR - LH GARAGE
3/16" = 1'-0"



UNIT PLAN C - INT. LEFT 1ST FLOOR - LH GARAGE
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BUILDING #6 -
UNITS "B" & "C"
3-BEDROOM PLANS

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04.28.2020

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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.3
UNIT "C" PLANS

No.	Description	Date

SCALE:

As indicated



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NOTES

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GENERAL NOTES:

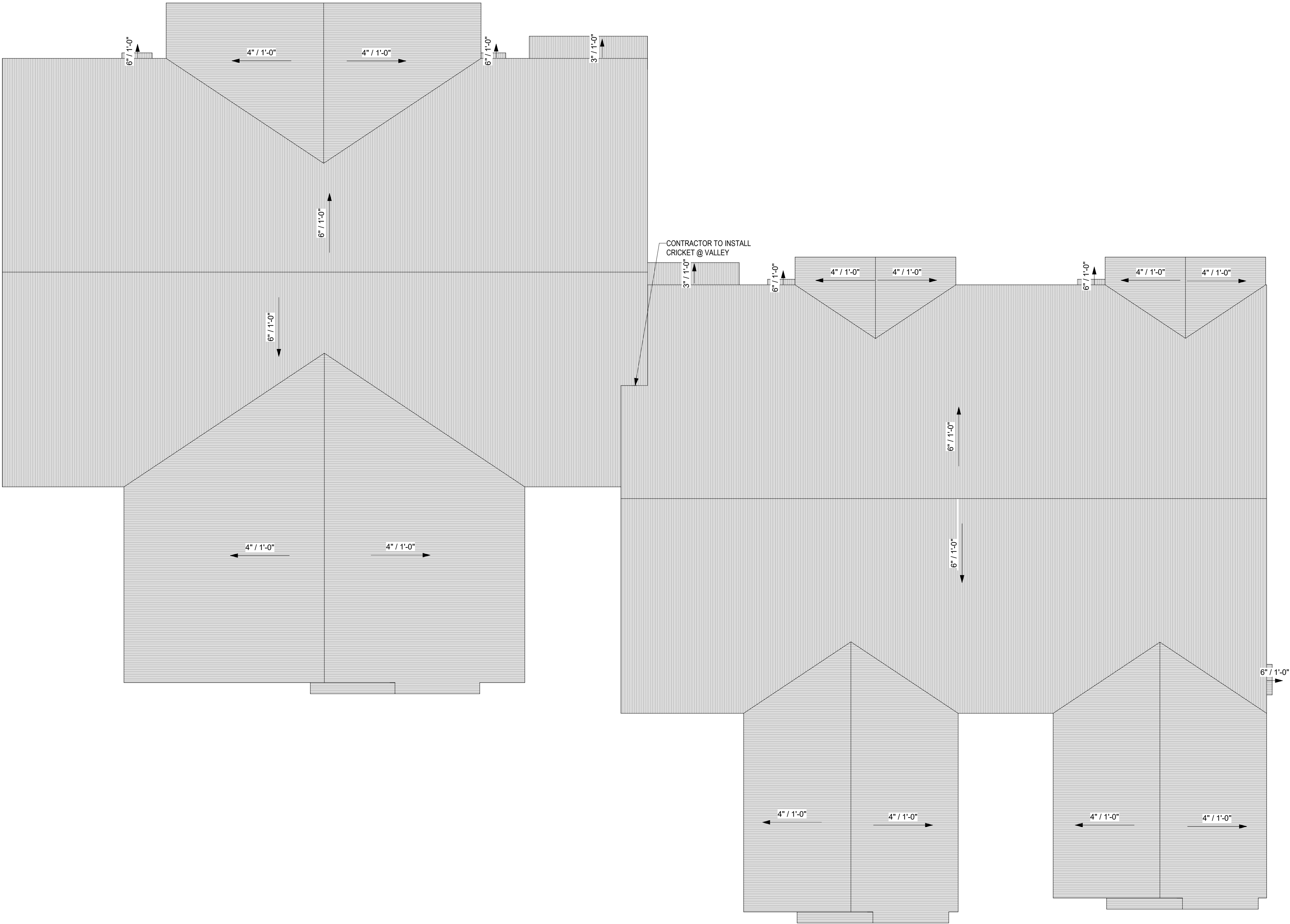
- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
- ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
- PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

- AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

- ALL ROOF PLANES WILL BE 6:12 PITCH
- PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



1 ROOF PLAN
3/16" = 1'-0"

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Town of Mount Crested
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BUILDING #6 -
UNITS "B" & "C"
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Drawn by	MML
Checked by	EAW

A-102
ROOF PLAN

No.	Description	Date

SCALE: As indicated

GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE

- ⌘A

WALL MOUNT FIXTURE, 36" WIDE

⌘B

SURFACE MOUNT FIXTURE, 11 1/4" DIA.

⌘C

SURFACE MOUNT FIXTURE, 15 1/4" DIA.

⌘D

WALL MOUNT FIXTURE, 24" WIDE

⌘E

5-LIGHT CHANDELIER

⌘F

EXTERIOR FLOODLIGHT

⌘H

GOOSENECK LIGHT

⌘J

RECESSED CAN LIGHT, PROVIDE CFL BULBS

⌘K

BATHROOM EXHAUST FAN

▲

PHONE / DATA

△

PHONE

▲

CABLE

G

52" FAN, WITH LIGHT KIT

L

52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
- *SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS*



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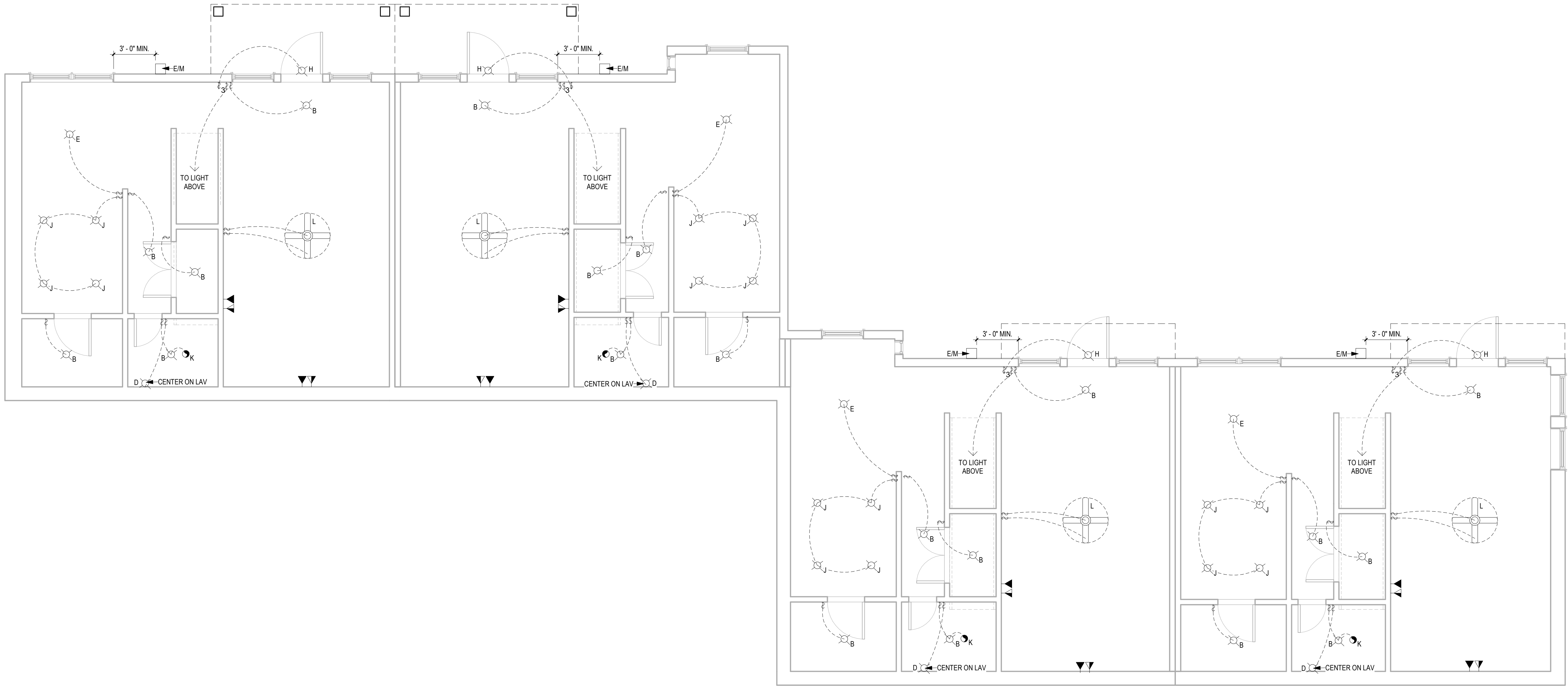
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1 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"

No.	Description	Date

A-103
BUILDING #6 -
ELECTRICAL PLAN
1ST FLOOR

SCALE:

As indicated

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BUILDING #6 -
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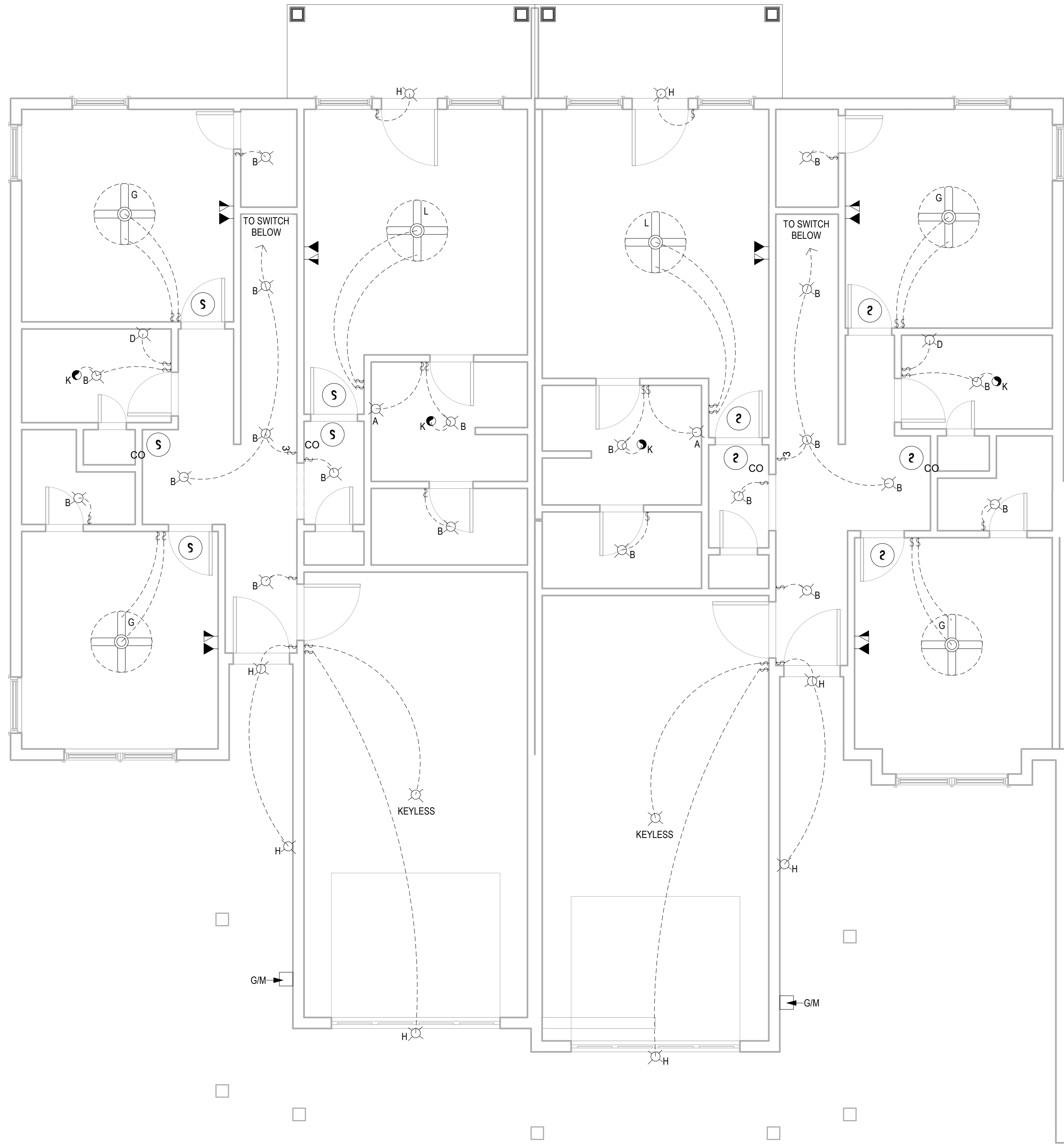
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Date 04.28.2020
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1 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"

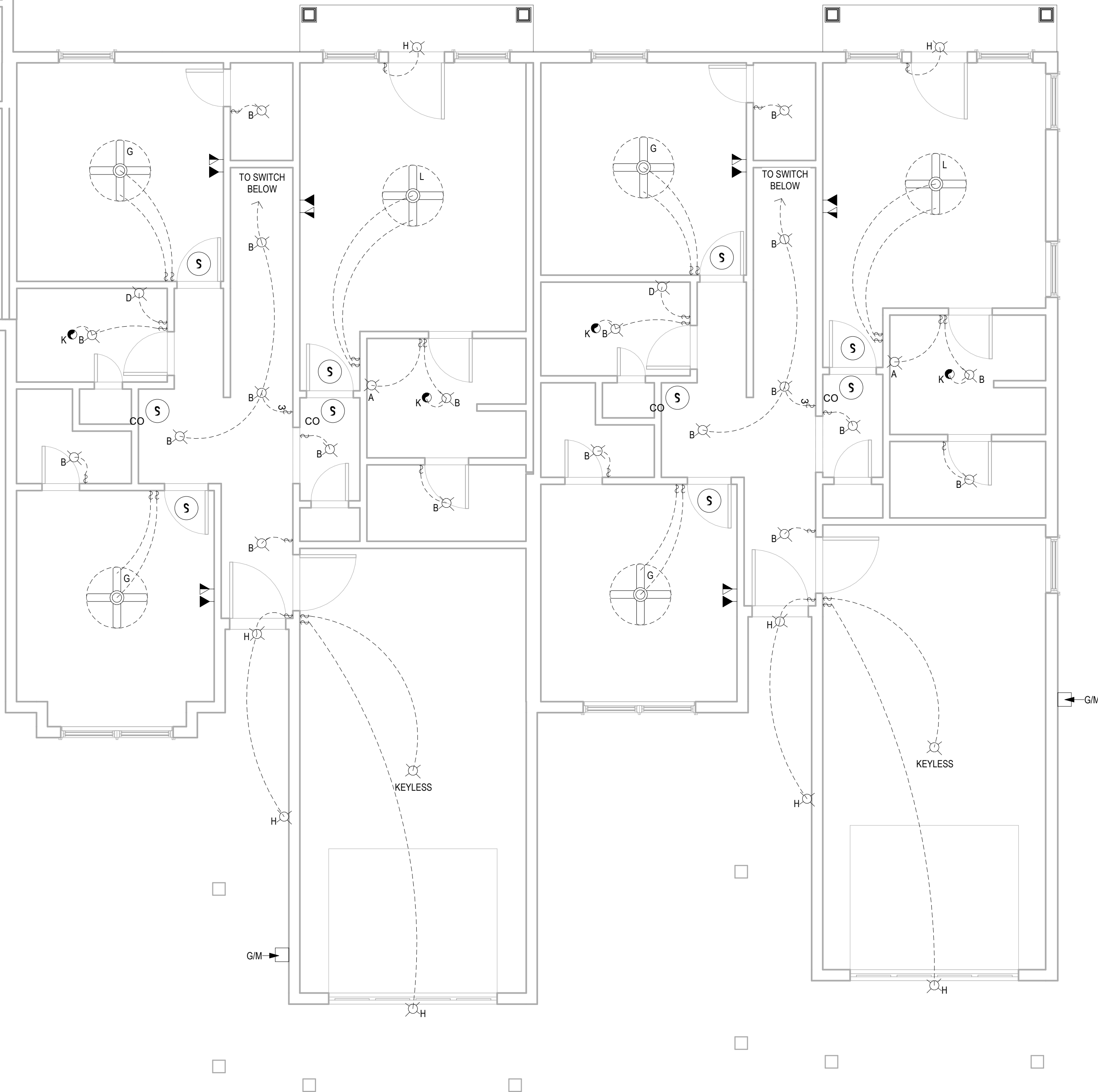
ELECTRICAL LEGEND / SCHEDULE			
⊗A	WALL MOUNT FIXTURE, 36" WIDE	↻K	BATHROOM EXHAUST FAN
⊗B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	▲	PHONE / DATA
⊗C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	△	PHONE
⊗D	WALL MOUNT FIXTURE, 24" WIDE	▲	CABLE
⊗E	5-LIGHT CHANDELIER	⊗G	52" FAN, WITH LIGHT KIT
⊗F	EXTERIOR FLOODLIGHT	⊗L	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
⊗H	GOOSENECK LIGHT		
⊗J	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			

GENERAL ELECTRICAL NOTES:

1. OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
4. ALL WORK NEW UNLESS NOTED OTHERWISE.
5. INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
6. CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
8. REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
9. COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

1. BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
3. THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
4. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
5. TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
6. PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



No.	Description	Date



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Butte, Colorado

**BUILDING #6 -
UNITS "B" & "C"
3-BEDROOM PLANS**

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A-103.1
BUILDING #6 -
ELECTRICAL PLAN
2ND FLOOR

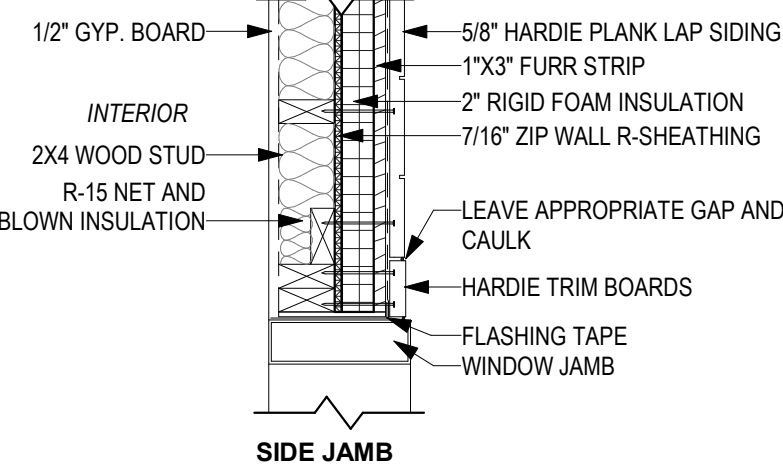
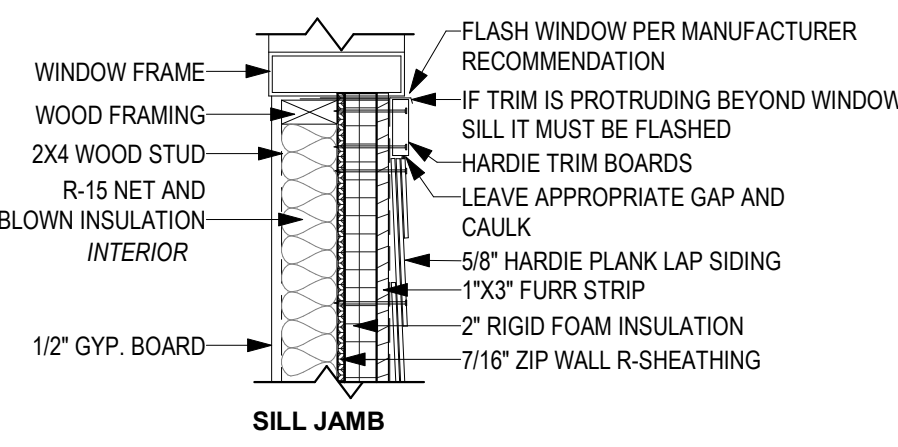
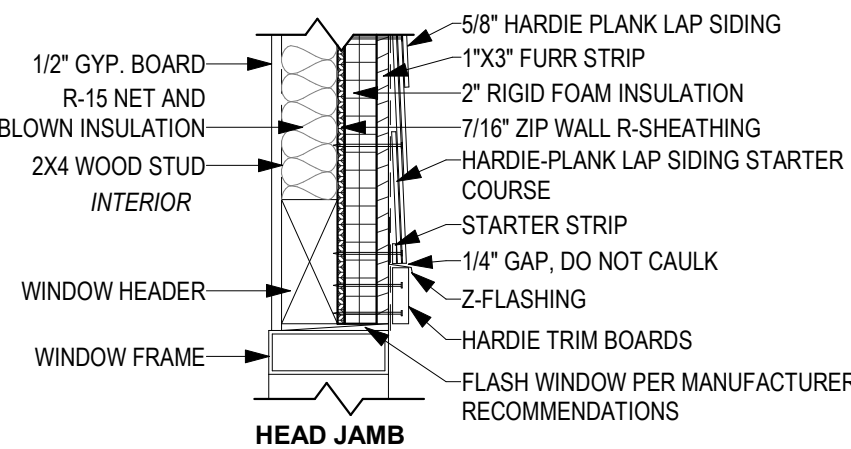
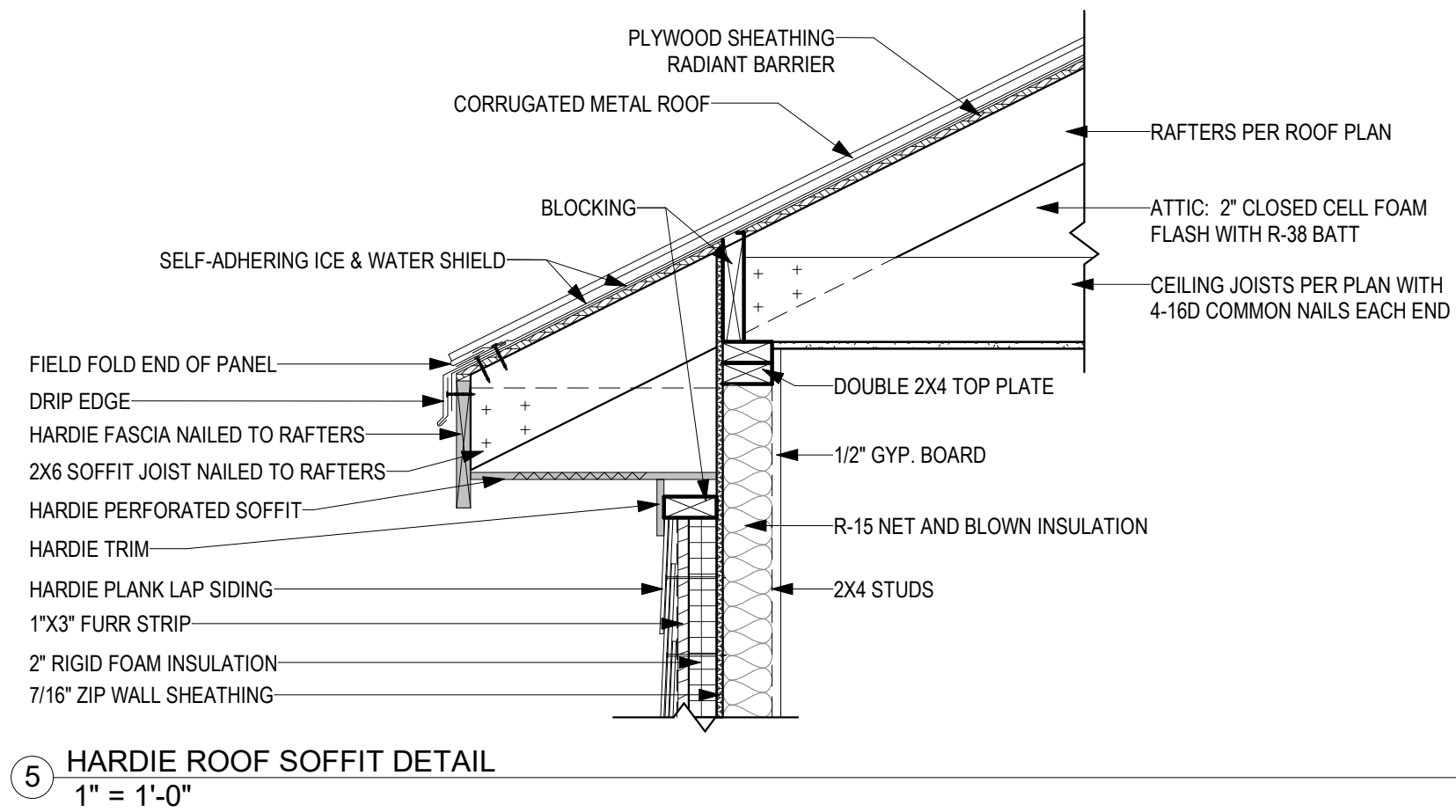
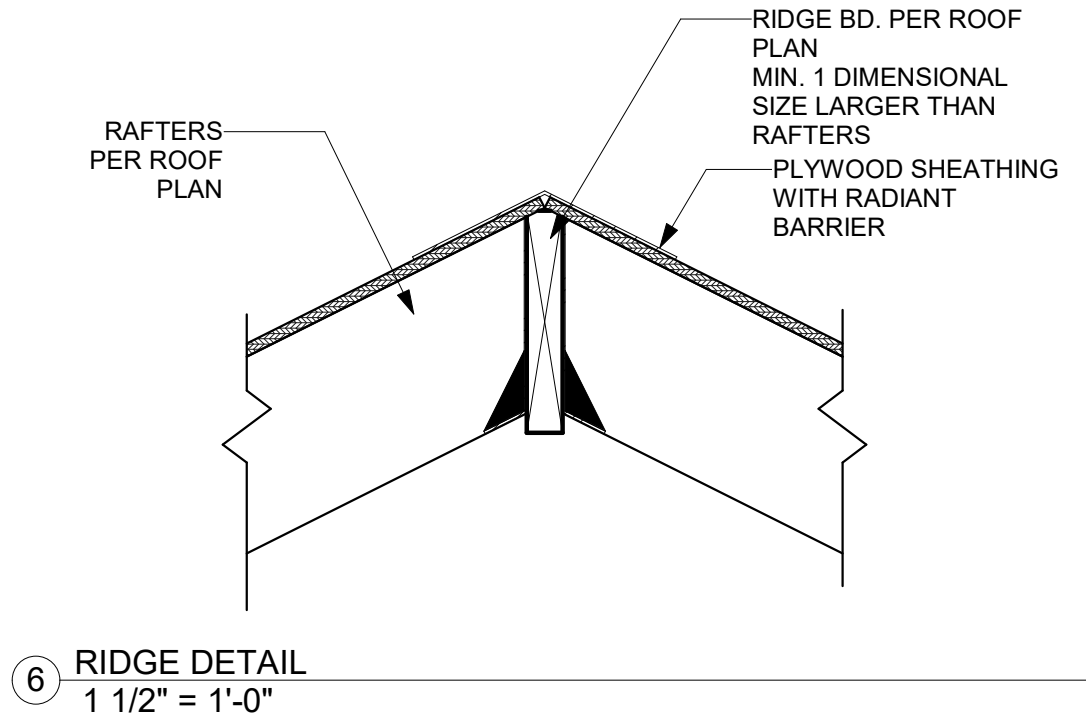
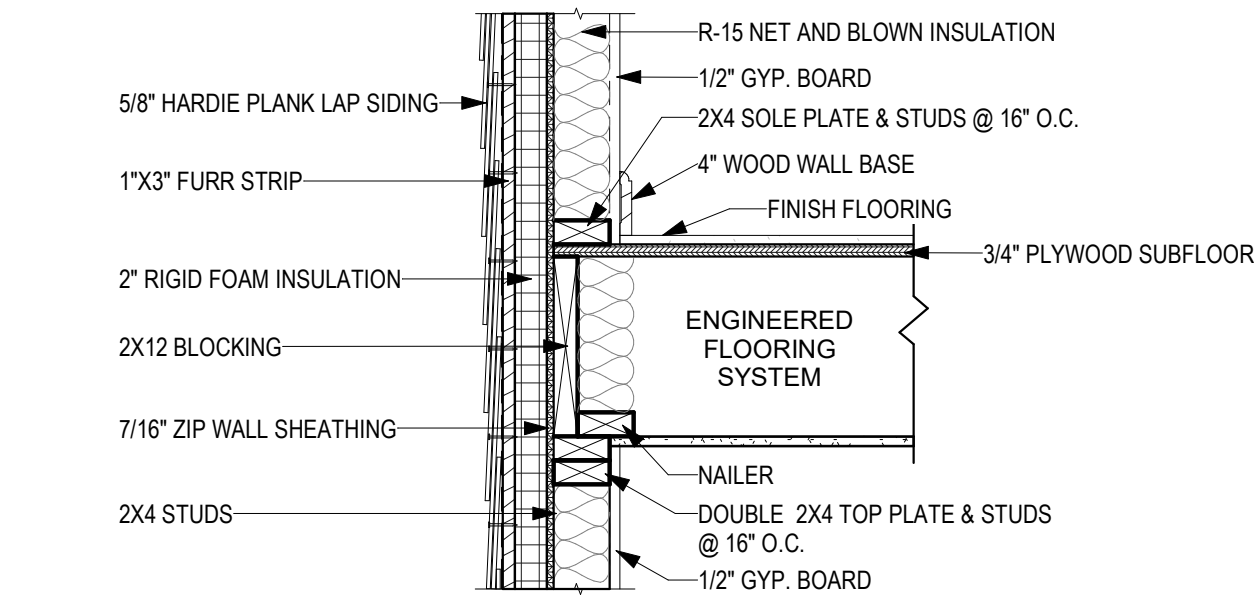
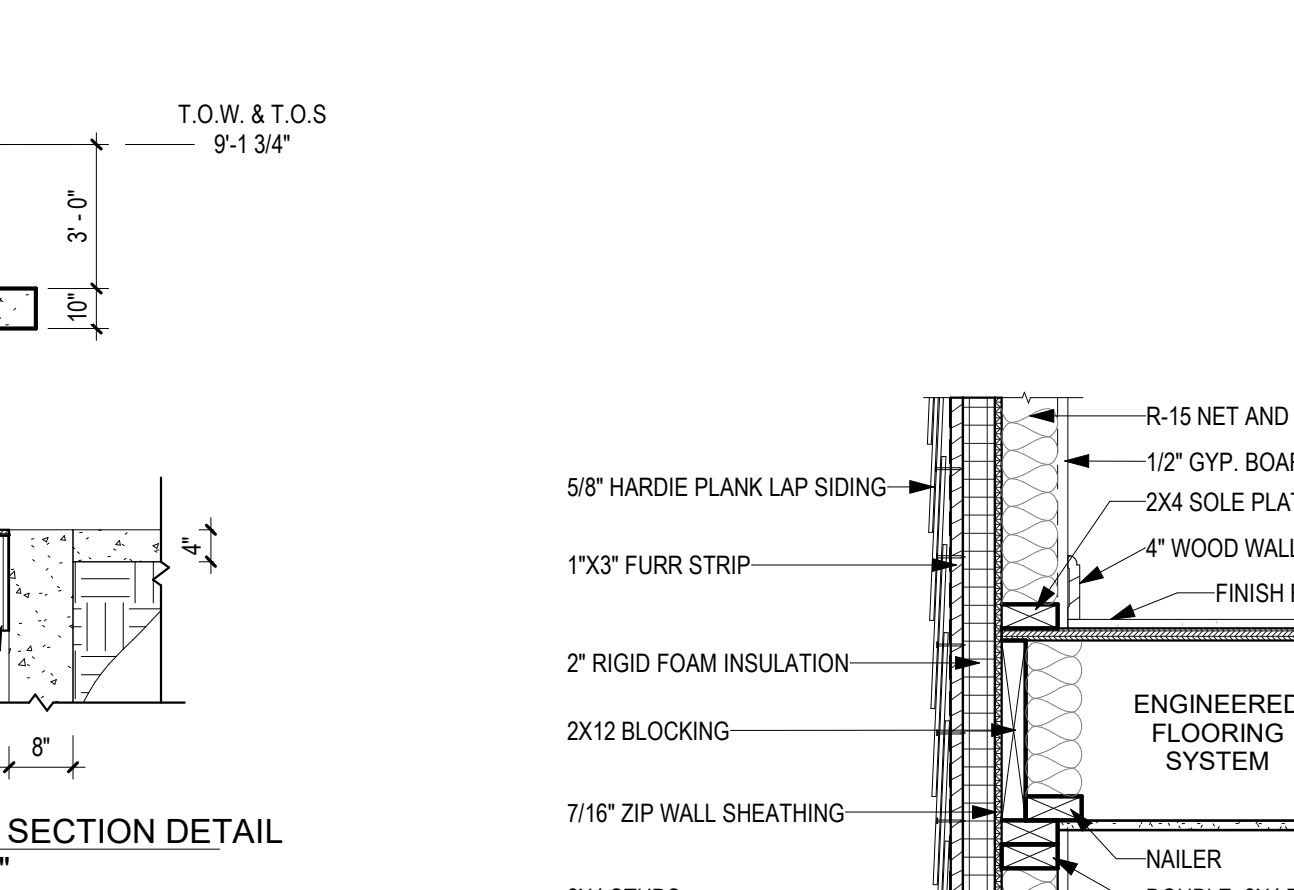
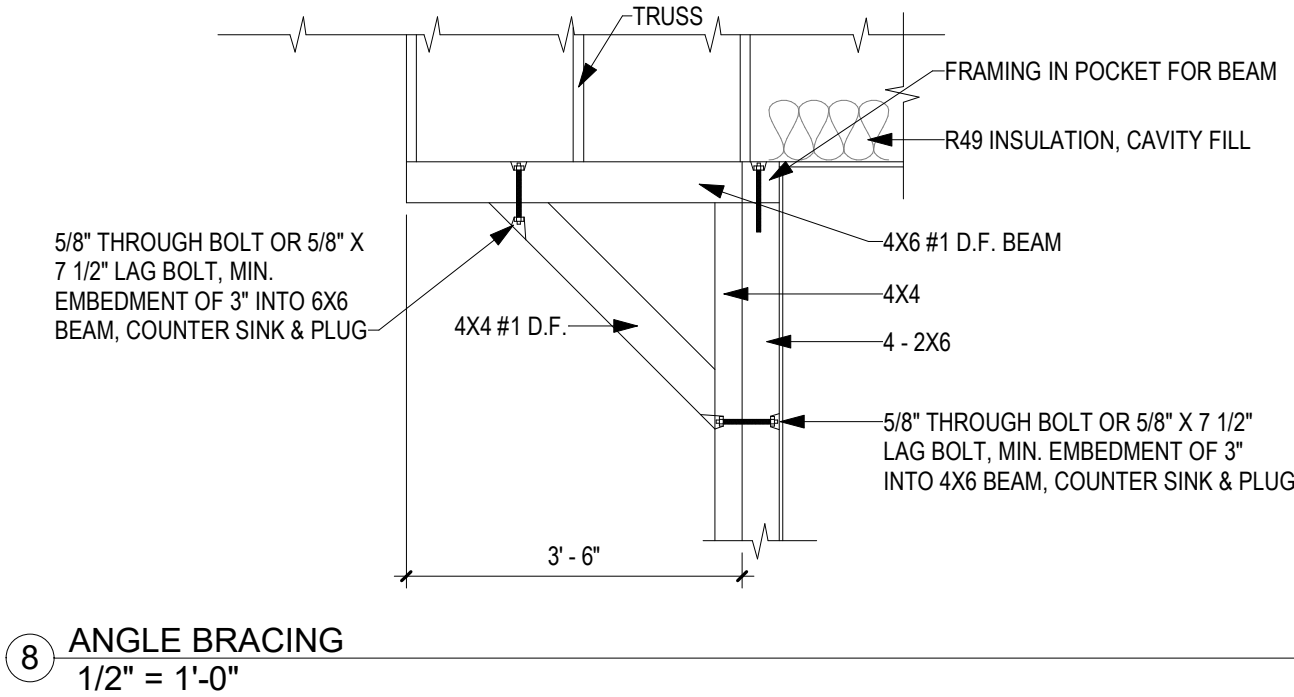
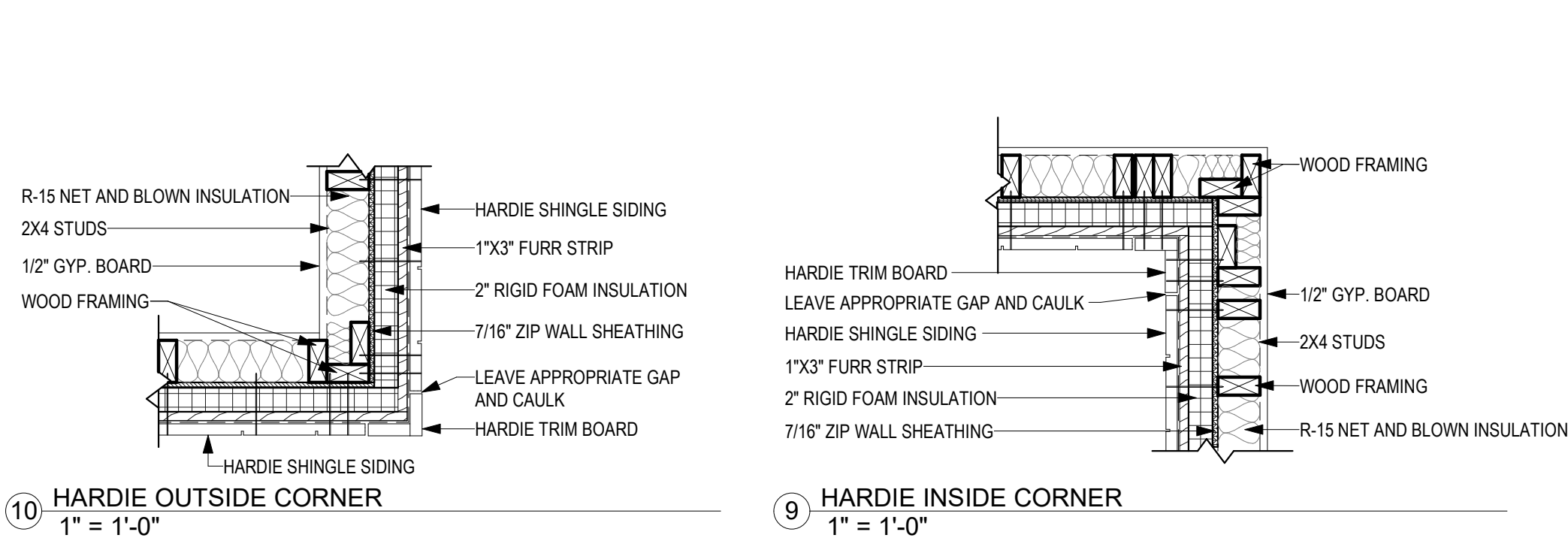
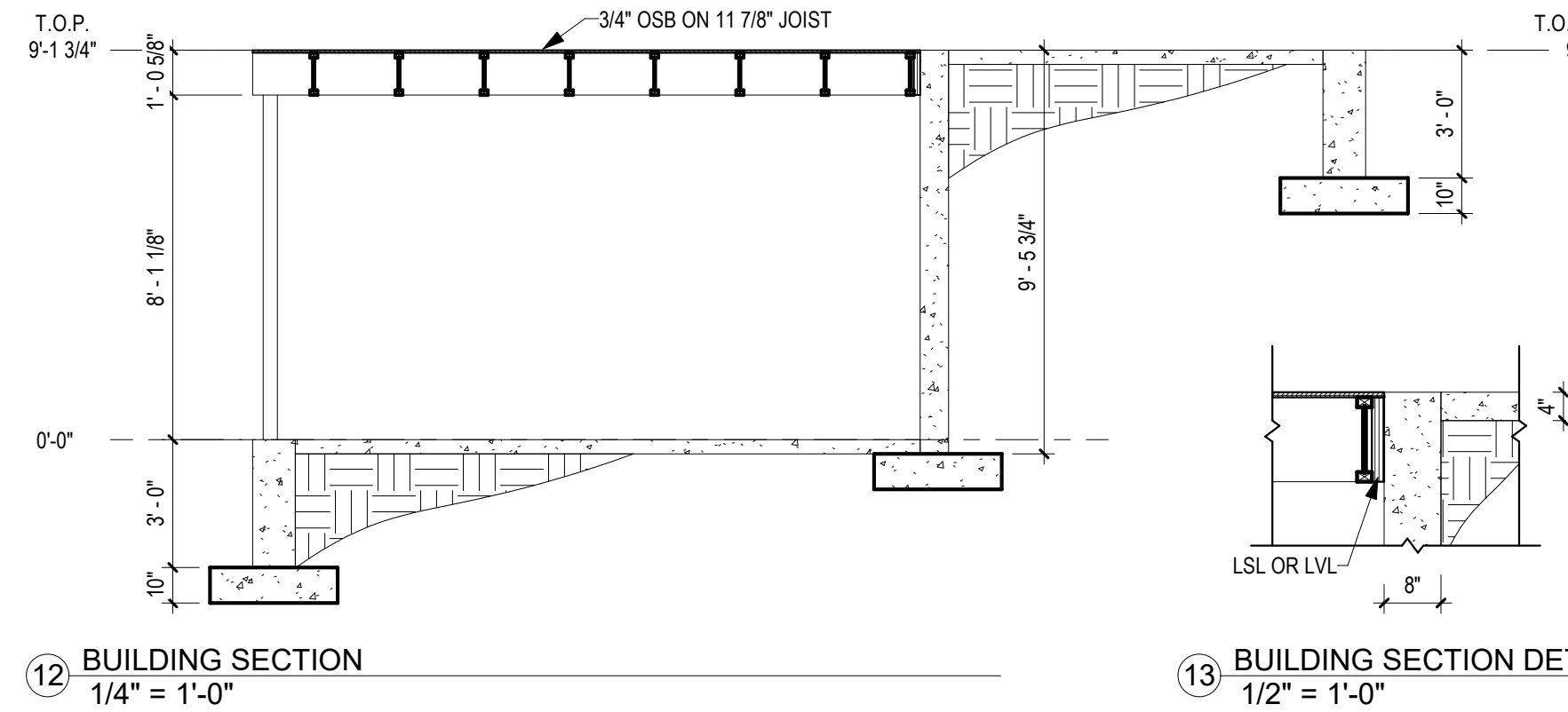
SCALE:

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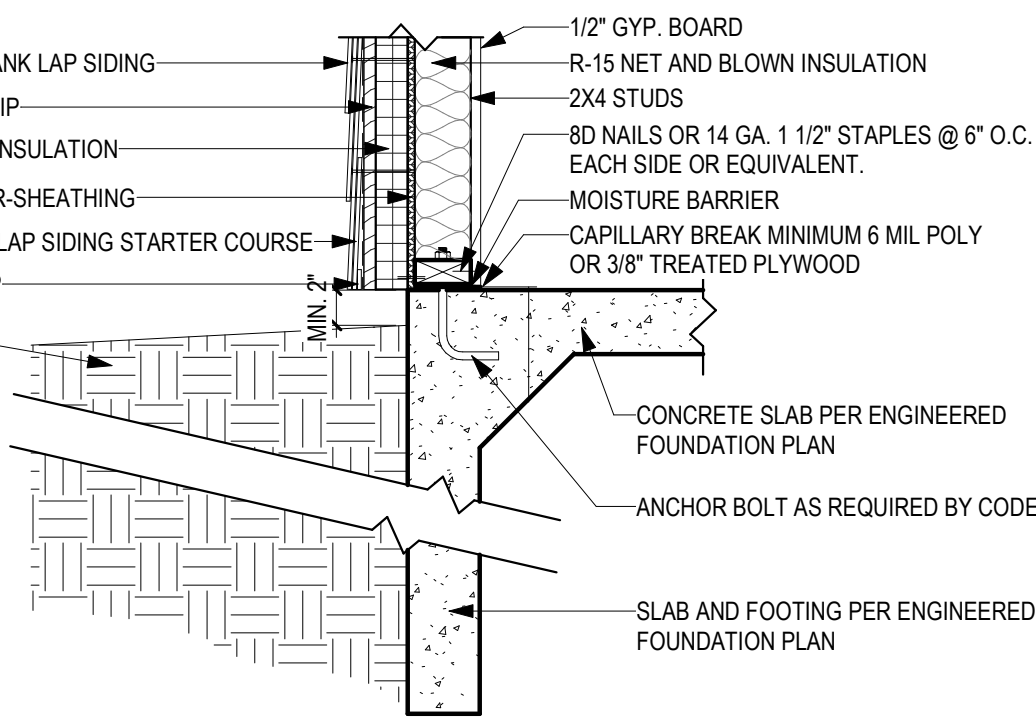
DOOR SCHEDULE			
Type Mark	Width	Height	Comments
①	3' - 0"	6' - 8"	
②	3' - 0"	6' - 8"	
③	2' - 8"	6' - 8"	
④	2' - 6"	6' - 8"	
⑤	2' - 4"	6' - 8"	
⑥	2' - 0"	6' - 8"	
⑦	1' - 6"	6' - 8"	
⑧	4' - 0"	6' - 8"	
⑨	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
A	3' - 0"	5' - 0"	
B	6' - 0"	5' - 0"	
C	1' - 0"	6' - 0"	

Count	Description
4	'CADET PEDESTAL' Basin, Center hole only, 24-1/2" x 19-3/4" x 35" (622mm x 502mm x 889mm) high, vitreous china, sculptured bowl, spacious shelf area, rear overflow, and mounting kit.
12	19" X 19" ROUND VANITY SINK
4	36" X 21" DOUBLE KITCHEN SINK
4	42 X 30 SHOWER
4	SHOWER/TUB COMBO
12	TOILET - STANDARD HT.



4 HARDIE WINDOW DETAILS
1" = 1'-0"



GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

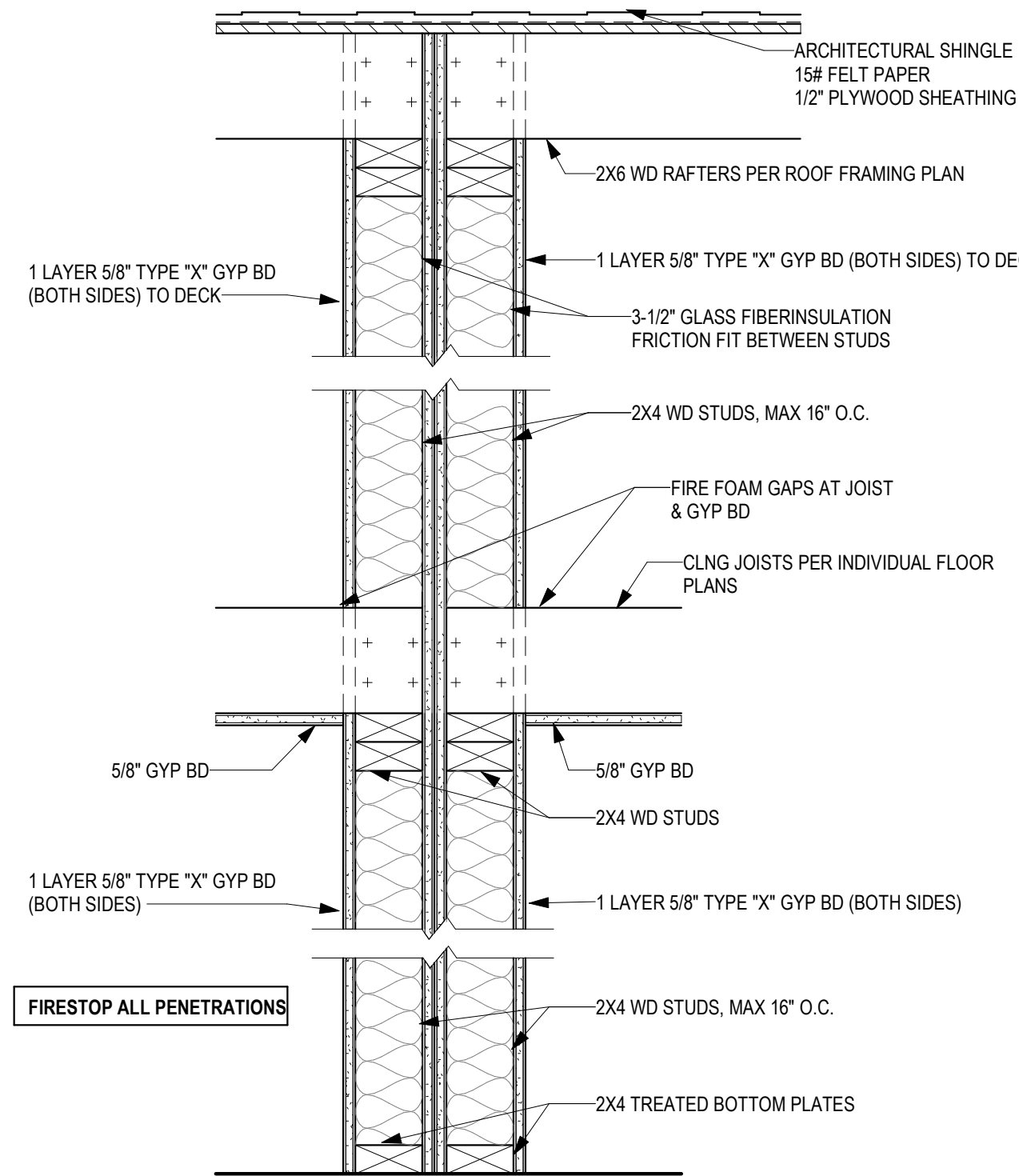
CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

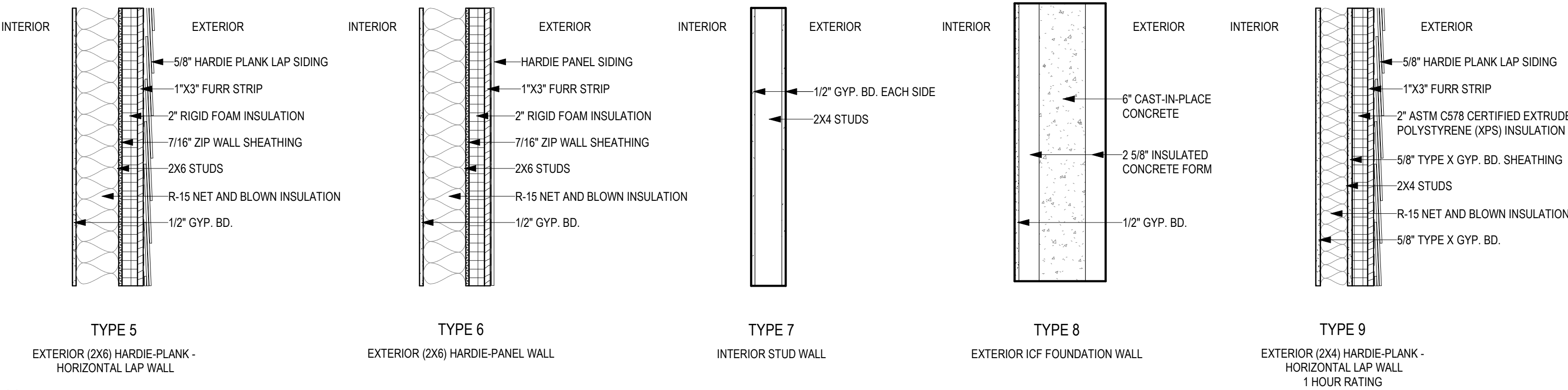
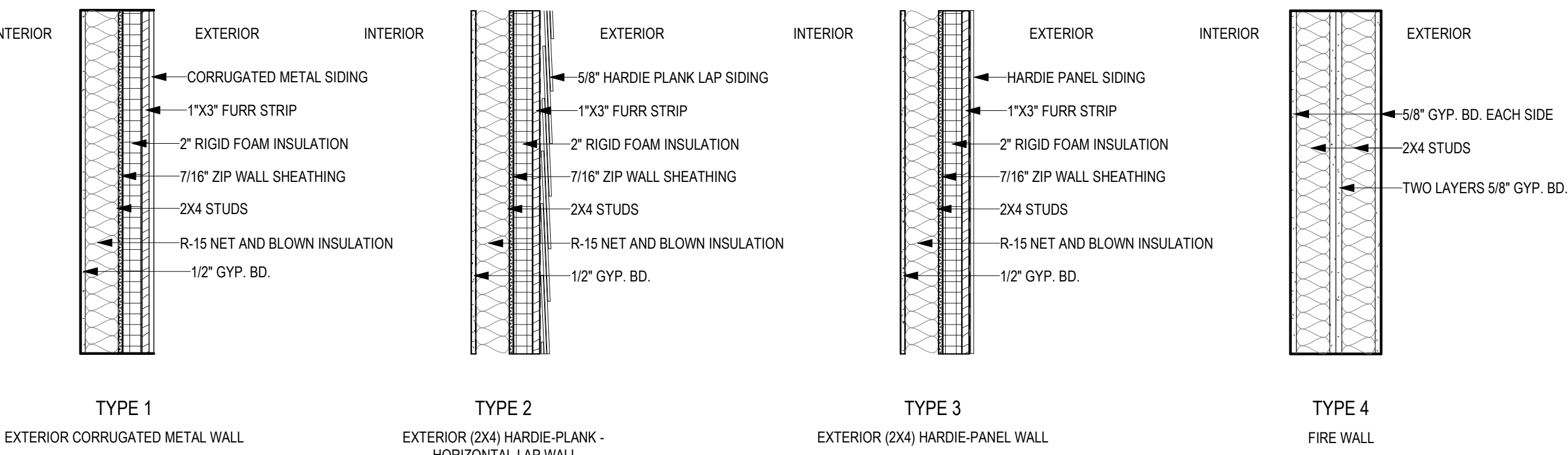
**REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR INSULATION REQUIREMENTS FOR ZONE 7



2 TYPICAL WINDOW EGRESS
1/2" = 1'-0"



**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



11 WALL TYPE LEGEND
1" = 1'-0"



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Williams Engineering

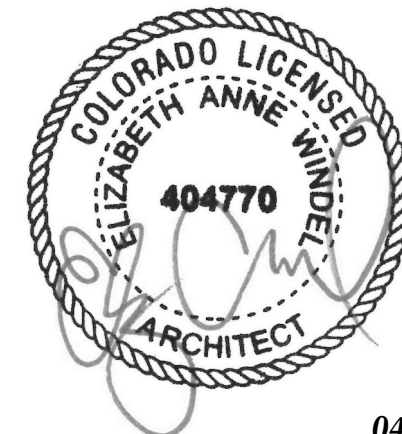
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Butte, Colorado

BUILDING #6 -
UNITS "B" & "C"
3-BEDROOM PLANS

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A-104 CONSTRUCTION DETAILS

No.	Description	Date

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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path

TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
 - c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
 - e. There are no SHGC requirements in the Marine Zone.
 - f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 - g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

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BUILDING #6 -
UNITS "B" & "C"
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A-104.1
PRESCRIPTIVE
TABLE



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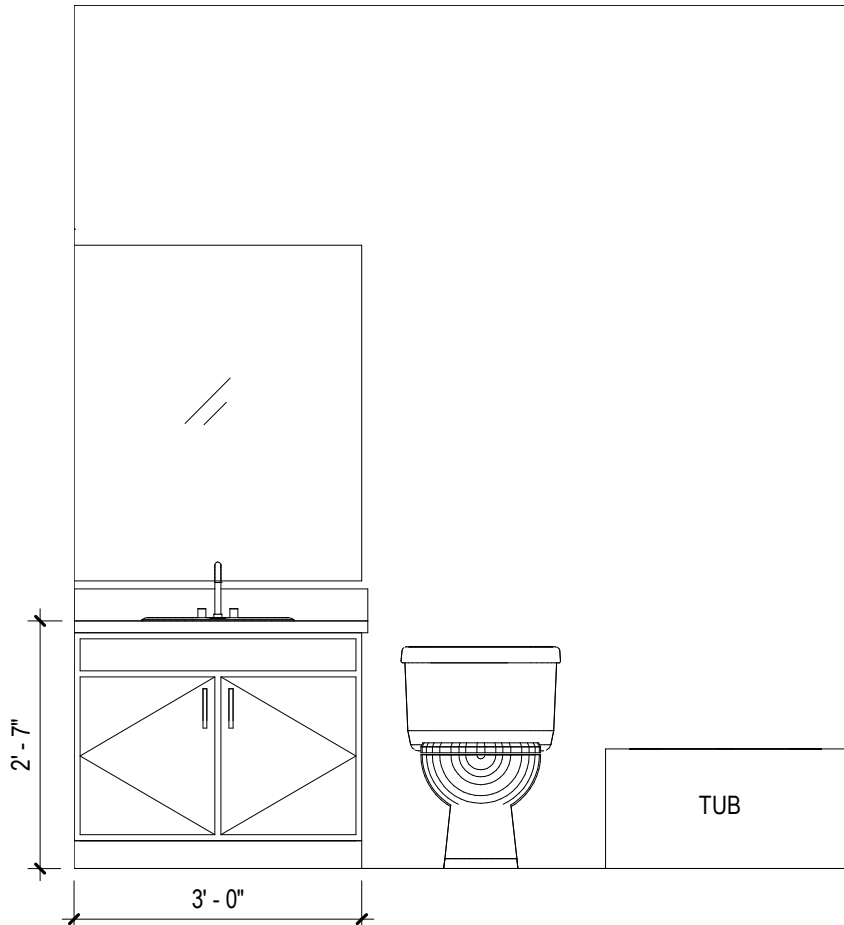
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A-105 CABINET LAYOUT & ELEVATIONS

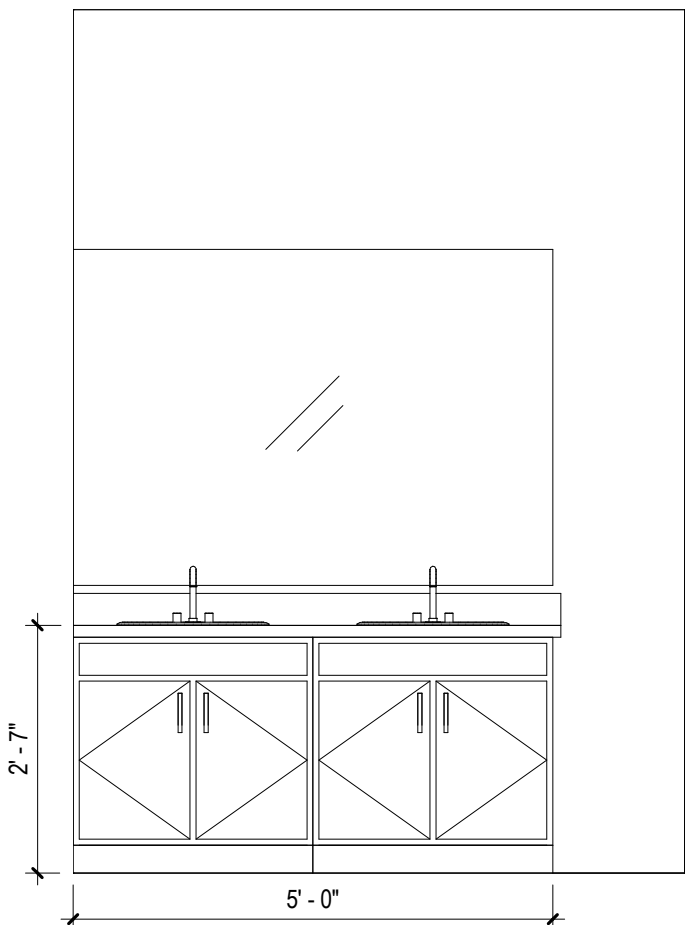
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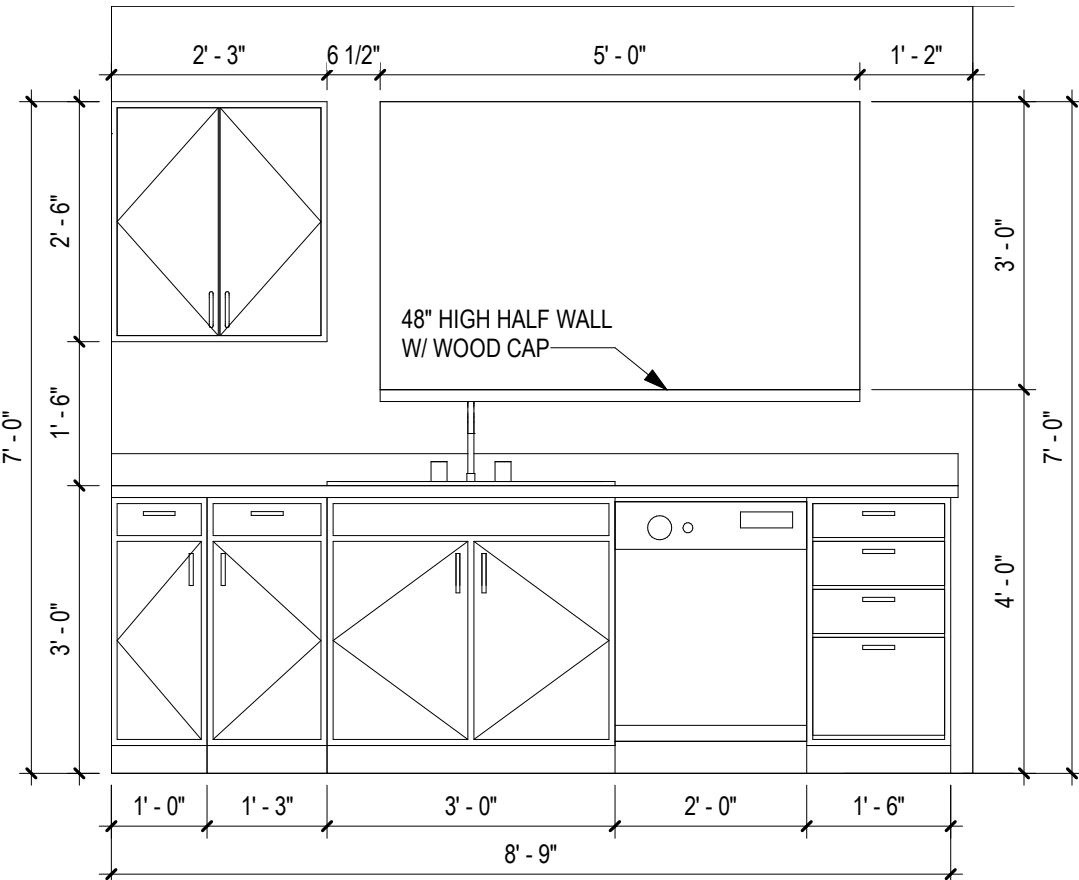
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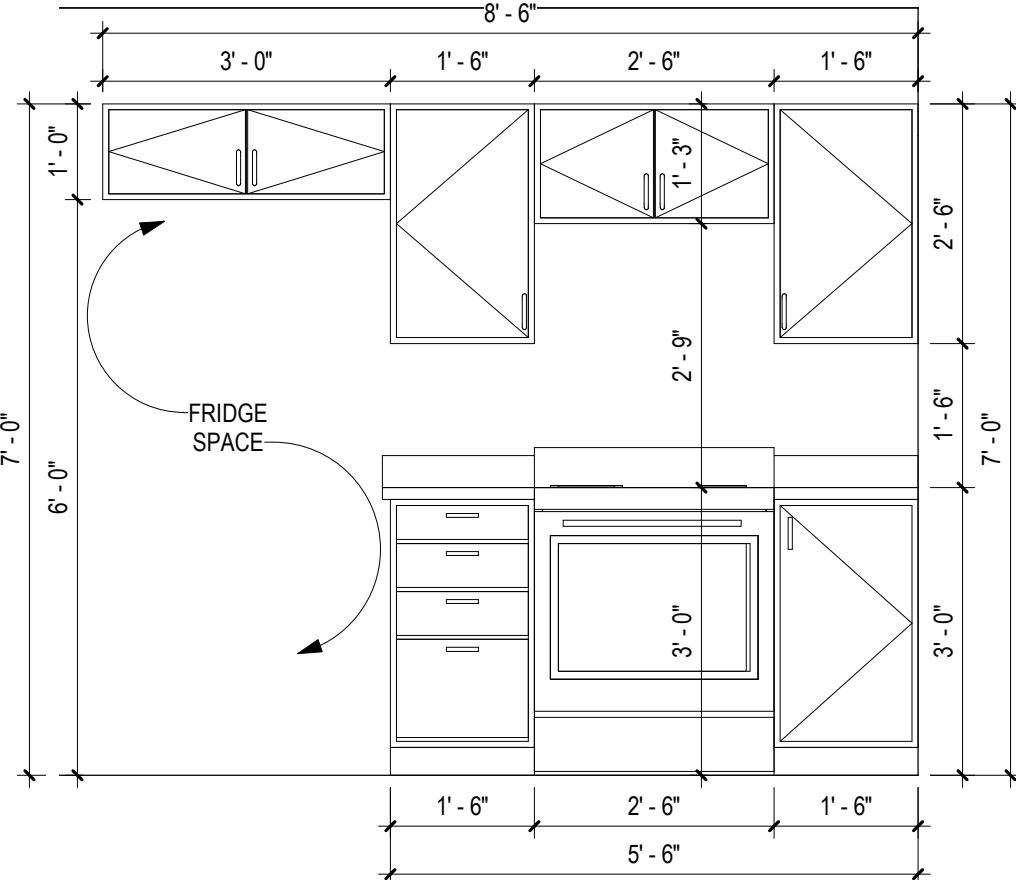
10 UNIT "C" ELEV. @ BATH #2
1/2" = 1'-0"



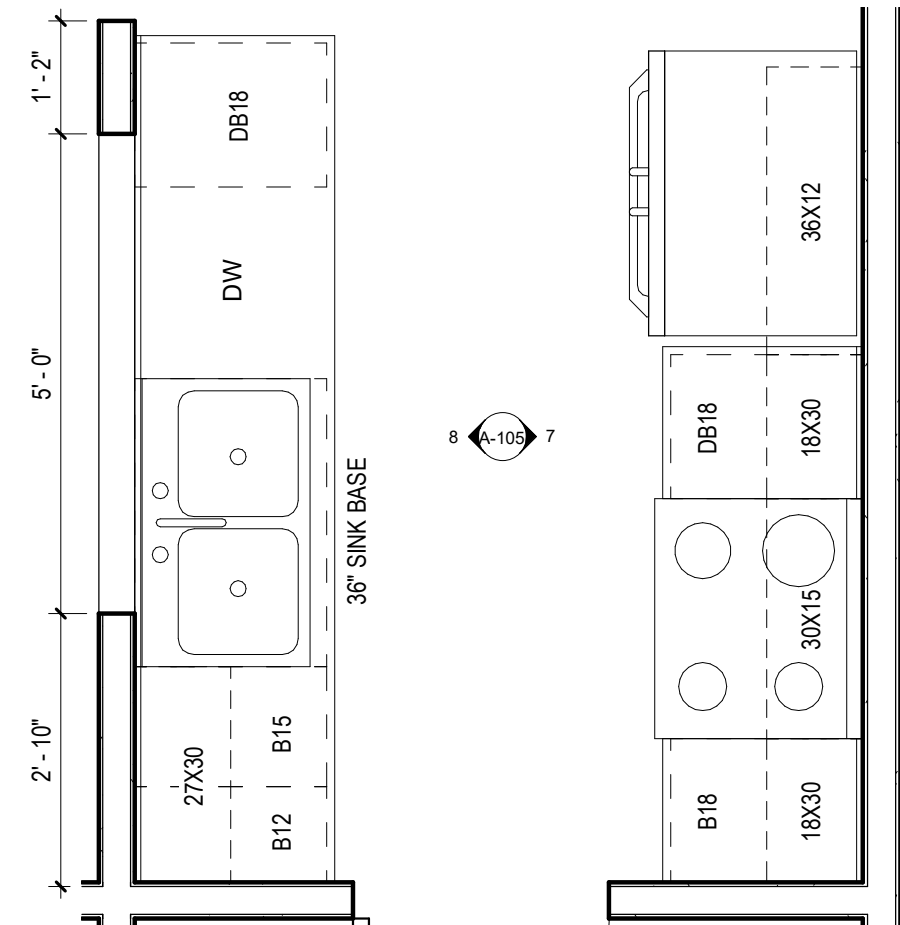
9 UNIT "C" ELEV. @ M. BATH
1/2" = 1'-0"



8 UNIT "C" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"



7 UNIT "C" KITCHEN ELEV. - VIEW 1
1/2" = 1'-0"



6 UNIT PLAN "C" - ENLARGED KITCHEN
1/2" = 1'-0"

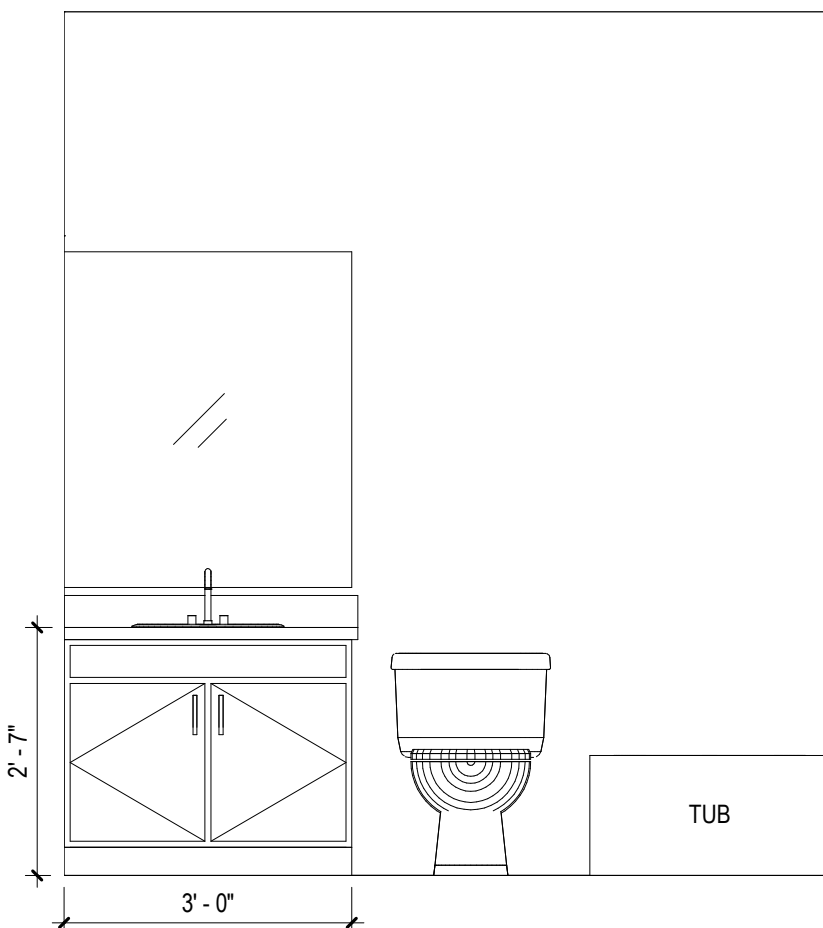
KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH
COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

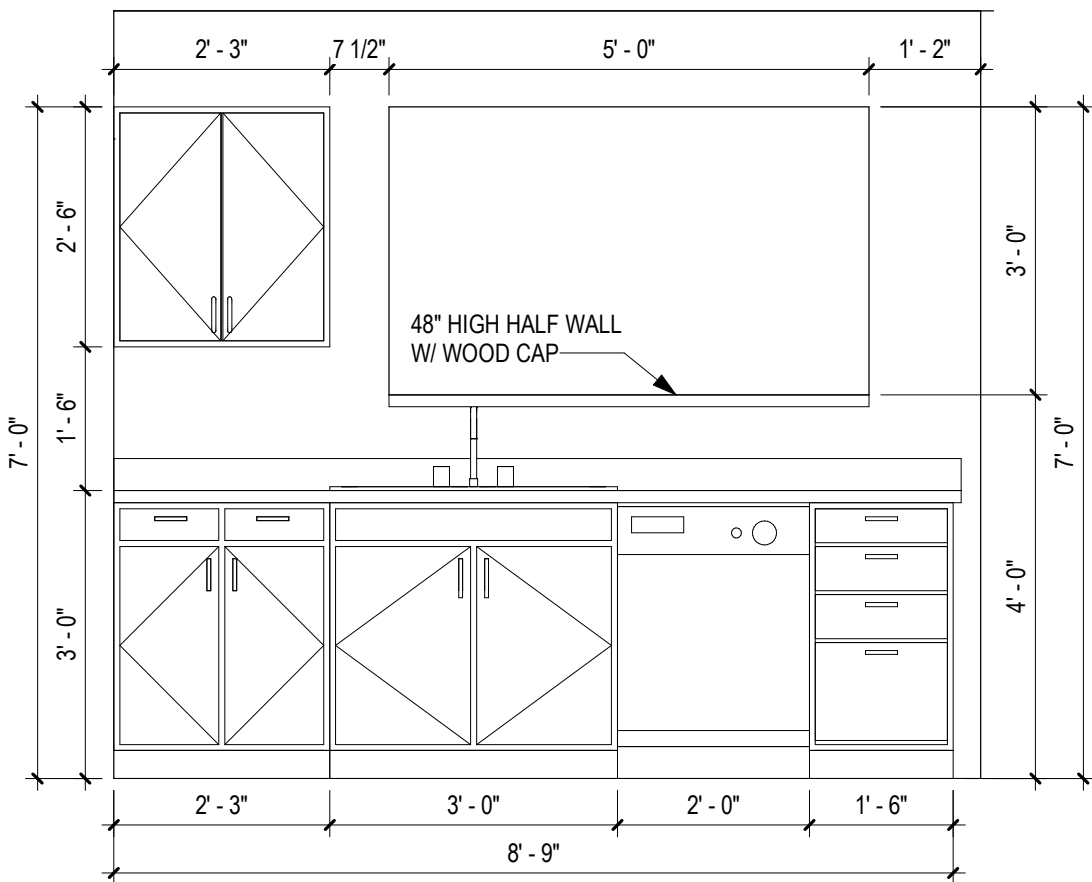
BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH
COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

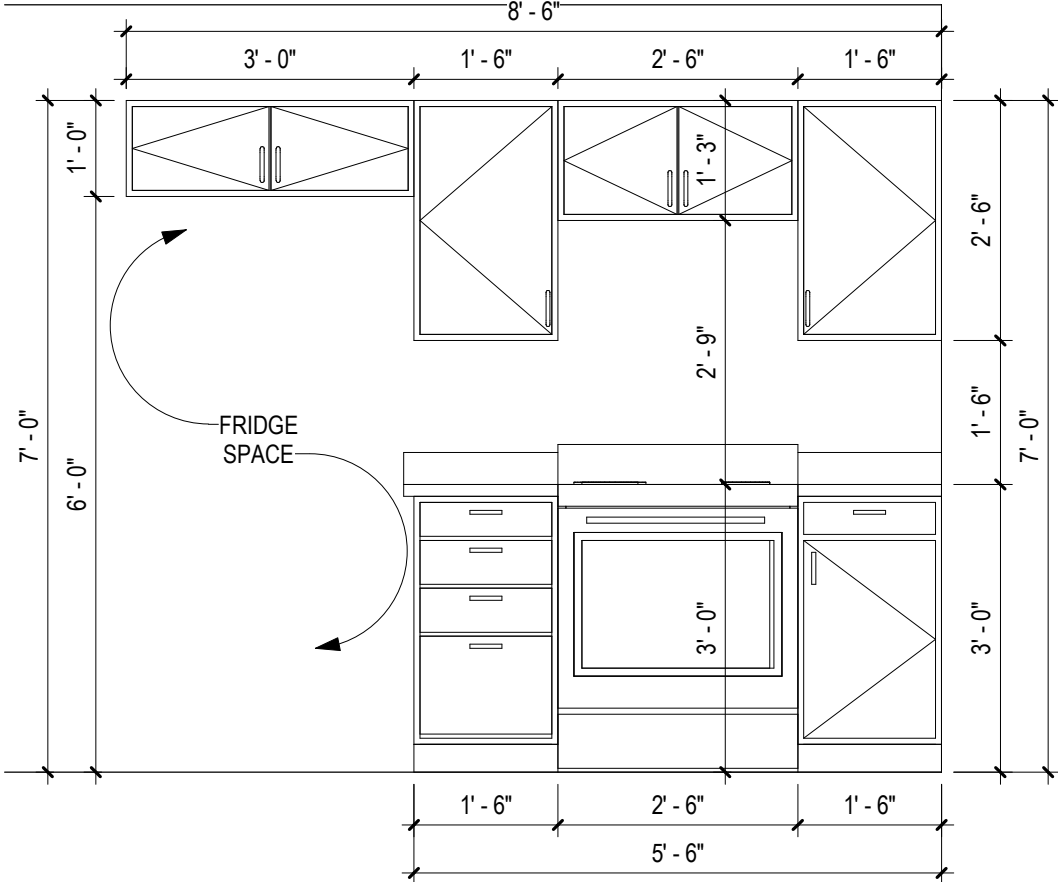
NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN



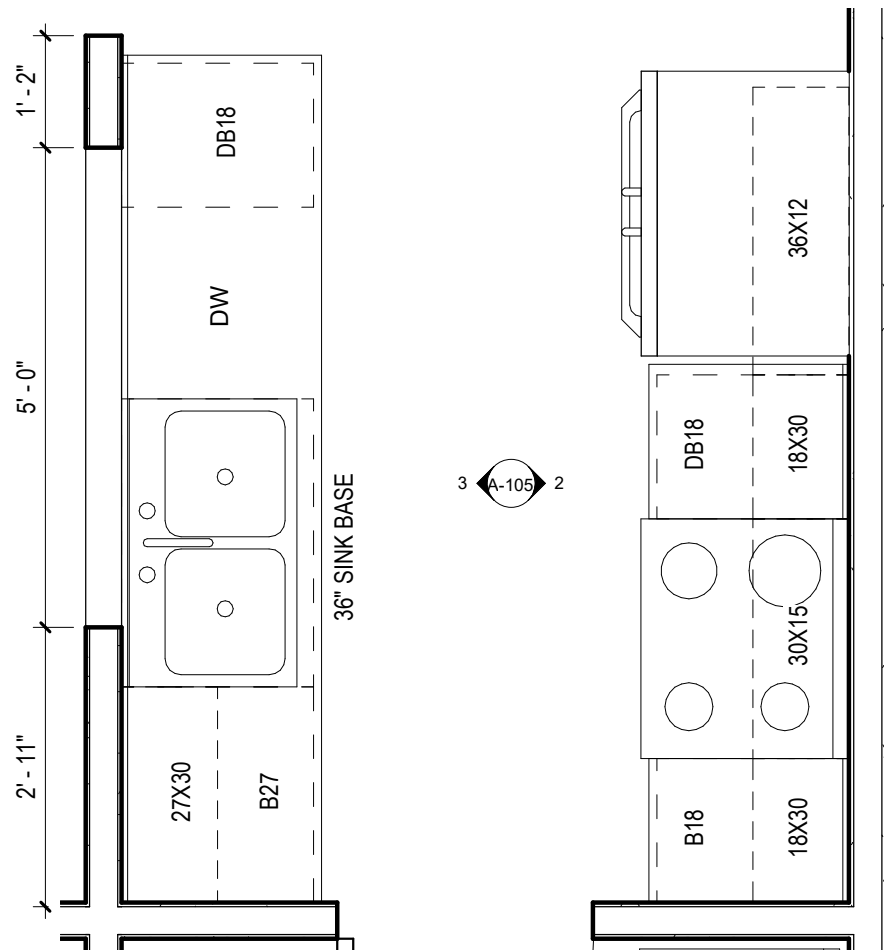
5 UNIT "B" ELEV. @ BATH #2
1/2" = 1'-0"



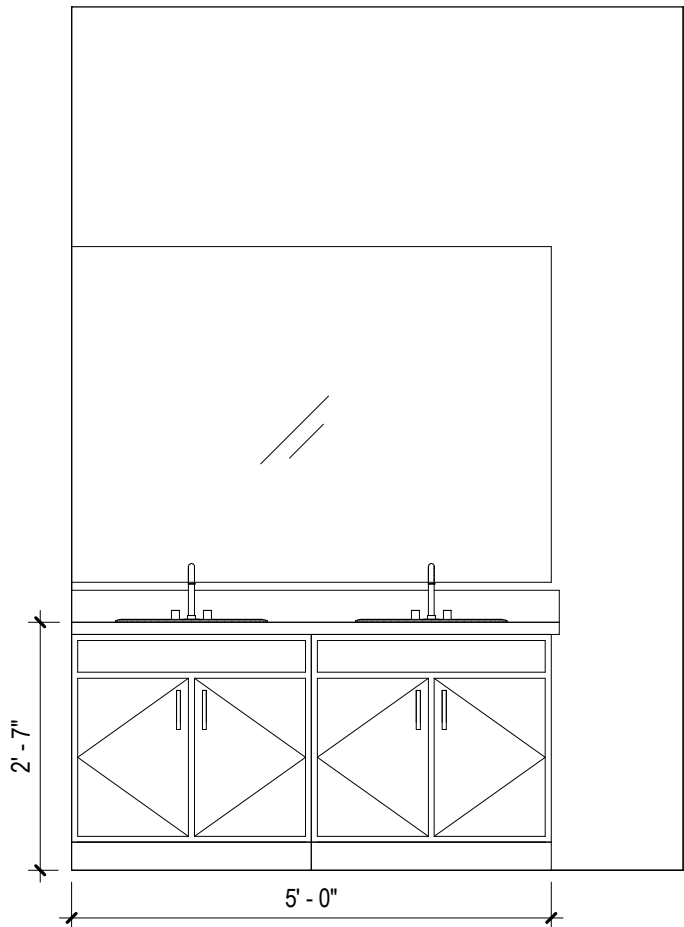
3 UNIT "B" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"



2 UNIT "B" KITCHEN ELEV. - VIEW 1
1/2" = 1'-0"

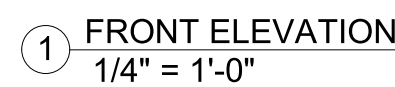
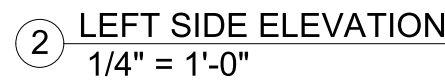


1 UNIT PLAN "B" - ENLARGED KITCHEN
1/2" = 1'-0"



4 UNIT "B" ELEV. @ M. BATH
1/2" = 1'-0"

****REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING**

4/24/2020 2:40:07 PM



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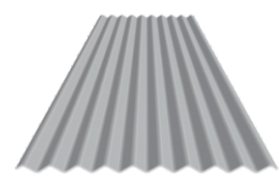
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Date 04.28.2020
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**A-202
EXTERIOR
ELEVATIONS**


SCALE: 1/4" = 1'-0"


MATERIALS


- 

A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height
- 

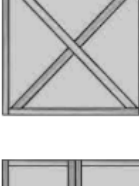
B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 9"x3" panels
- 

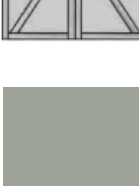
C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure
- 

D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional
- 

E EXTERIOR SCONCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"
- 


F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White
- 


G EXTERIOR DOOR
Manufacturer: Thermo-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36" x 80"
- 

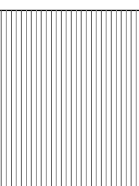
H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108
- 

I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139
- 

PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Arcadia Haze
Color ID: SW 9132
- 

PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025
- 

PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532
- 

PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250
- 

PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



1 RIGHT SIDE ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

No.	Description	Date

LOTS 15-18



OA	OVERALL	S (CONT.)	
OC	ON CENTER	SUSP	SUSPENDED()
OD	OUTSIDE DIAMETER	SY	SQUARE YARD
OFF	OFFICE	SYM	SYMMETRICAL
OPNG	OPENING	T	
OPP	OPPOSITE	T	TREAD
P		T&B	TOP AND BOTTOM
P	PAGE	T&G	TONGUE AND GROOVE
PA	PUBLIC ADDRESS	TB	TACKBOARD
PAR	PARALLEL	TEL	TELEPHONE
PARTN	PARTITION	TERM	TERMINATE
PCP	PORTLAND CEMENT PLASTER	TERR	TERRAZZO (TERRACE)
POR	PERPENDICULAR	TOT	TOP OF CURB
PLM	PLASTIC LAMINATE	TOM	TOP OF MASONRY
PL	PROPERTY LINE	TPD	TOILET PAPER DISPENSER
PLAS	PLASTER	TRANS	TRANSFORMER
PLBG	PLUMBING	TS	TUBE STEEL
PLYWD	PLYWOOD	TYP	TYPICAL
PNL	PANEL	U	
PNLG	PANELING	U	URINAL
PR	POURED GYPSUM	UNO	UNLESS NOTED OTHERWISE
PREFAB	PREFABRICATED	US	UTILITY SHELF
PT	PAINT	V	
PTD	PAINTED	VENT	VENTILATE
PTR	PAPER TOWEL	VER	VERIFY
RECP	RECEPTACLE	VTR	VENT THRU ROOF
		VCT	VINYL COMPOSITE TILE
R		W	
R	RADIUS	W	WEST
RA	RETURN AIR	WC	WATER CLOSET
RCP	REFLECTED CEILING PLAN	WD	WOOD
RD	ROOF DRAIN	WDW	WINDOW
RECP	RECEPTACLE	WF	WIDE FLANGE
REF	REFRIGERATOR	WH	WALL HYDRANT
REIN	REINFORCING	WT	T SECTION
REV	REVERSE()	WWF	WELDED WIRE FABRIC
REQD	REQUIRED	WI	WITH
RFG	ROOFING	W/O	WITHOUT
RPH	ROLLED PAPER HOLDER		
S			
S	SOUTH		
SCHED	SCHEDULE		
SCR	SHOWER CURTAIN ROD		
SD	SOAP DISPENSER		
SECT	SECTION		
SH	SHOWER HEAD		
SHT	SHEET		
SHWR	SHOWER		
SIM	SIMILAR		
SMLS	SEAMLESS		
SND	SANITARY NAPKIN DISPENSER		
SP CTG	SPECIAL COATING		
SPEC	SPECIFICATION		
SPKR	SPEAKER		
SQ	SQUARE		
SS	SEAMLESS STEEL		
STD	STANDARD		
STL	STEEL		
STOR	STORAGE		
STRUCT	STRUCTURAL		

	EARTH/ PREPARED SUBGRADE
	GRAVEL, STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND, GROUT, MORTAR
	IRON, STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO

[illegible]



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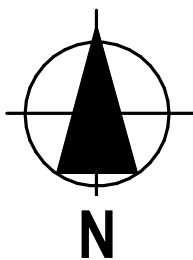
LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

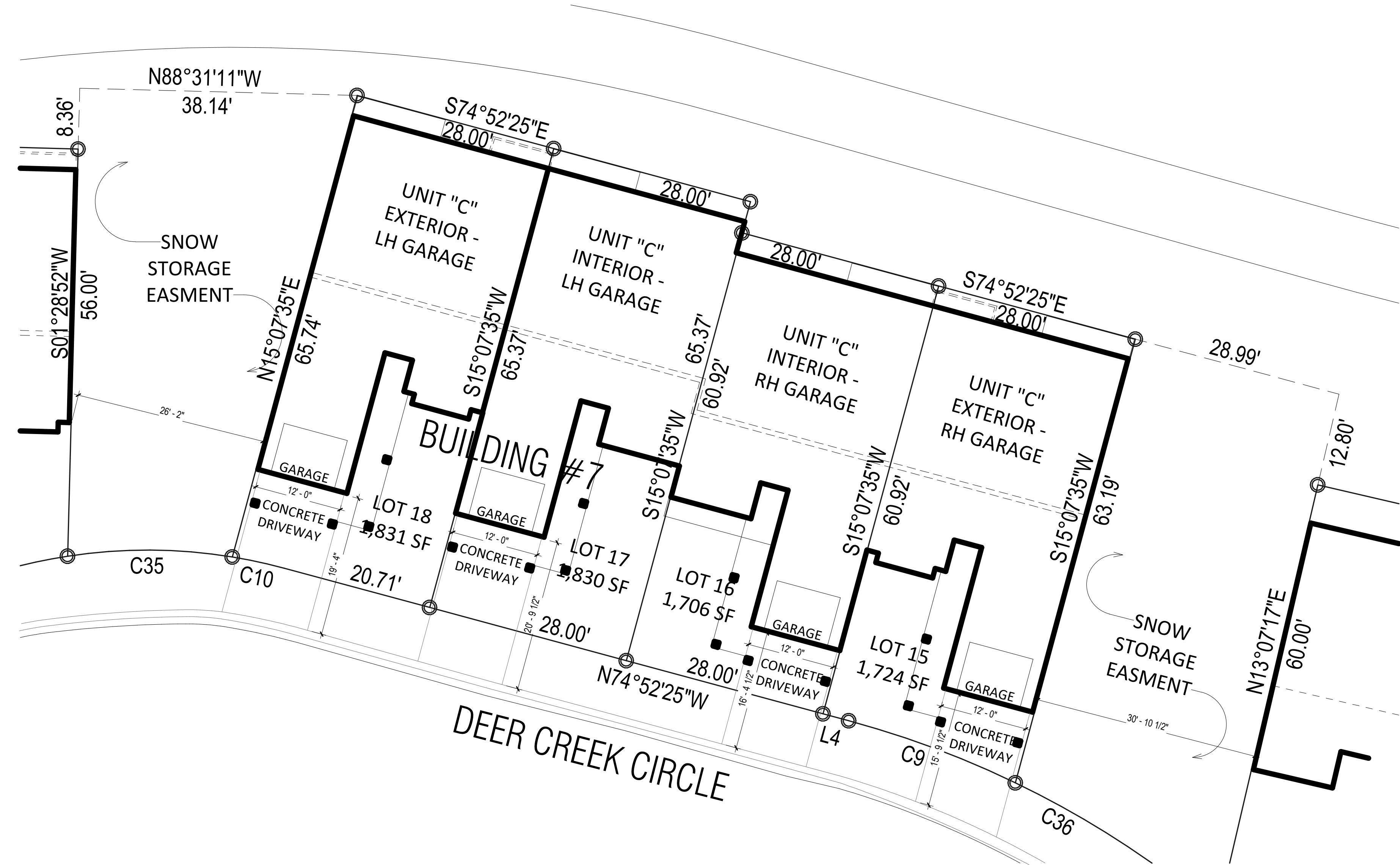
CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"



No.	Description	Date



1 PLOT PLAN
1" = 10'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE:

As indicated

NOTES
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES - 32-29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SODAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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No.	Description	Date



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www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
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The Prospect Homestead
Subdivision
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Butte, Colorado
BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS

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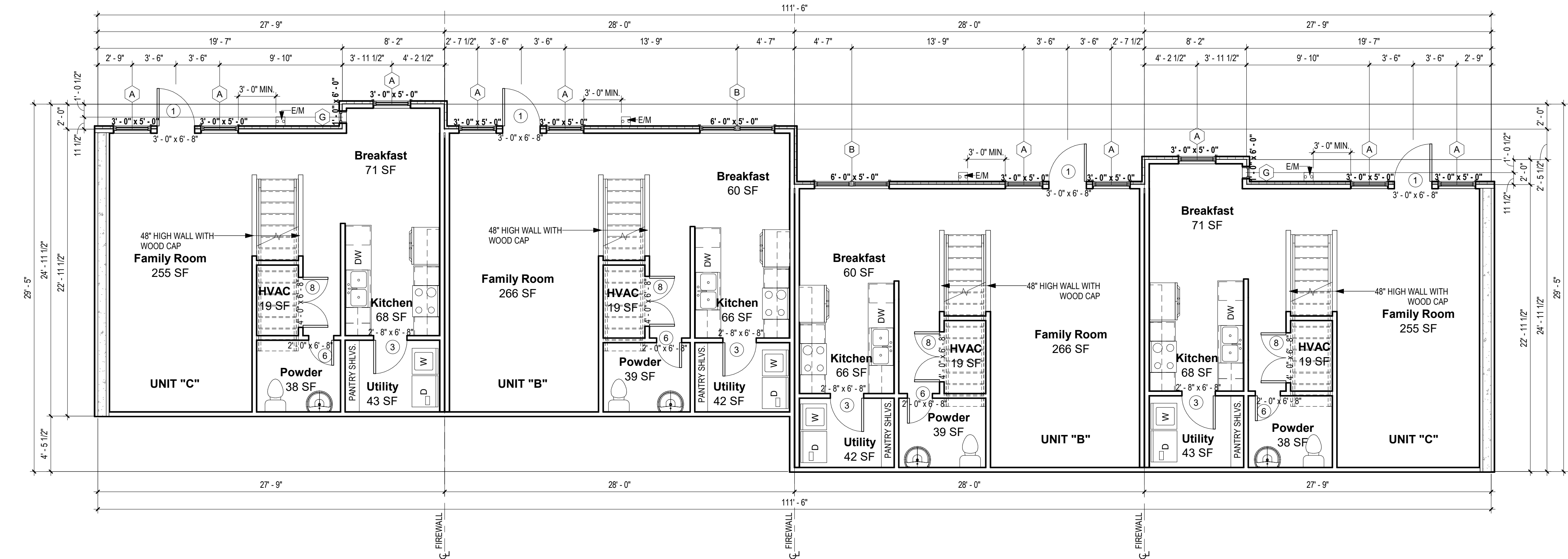
04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by EAW
Checked by EAW

A-101
BUILDING #7 - 1ST
FLOOR PLANS

SCALE: As indicated



1 BUILDING #7 - 1ST FLOOR PLAN
3/16" = 1'-0"

NOTES

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BUILDING #7 -
UNITS "B" & "C"
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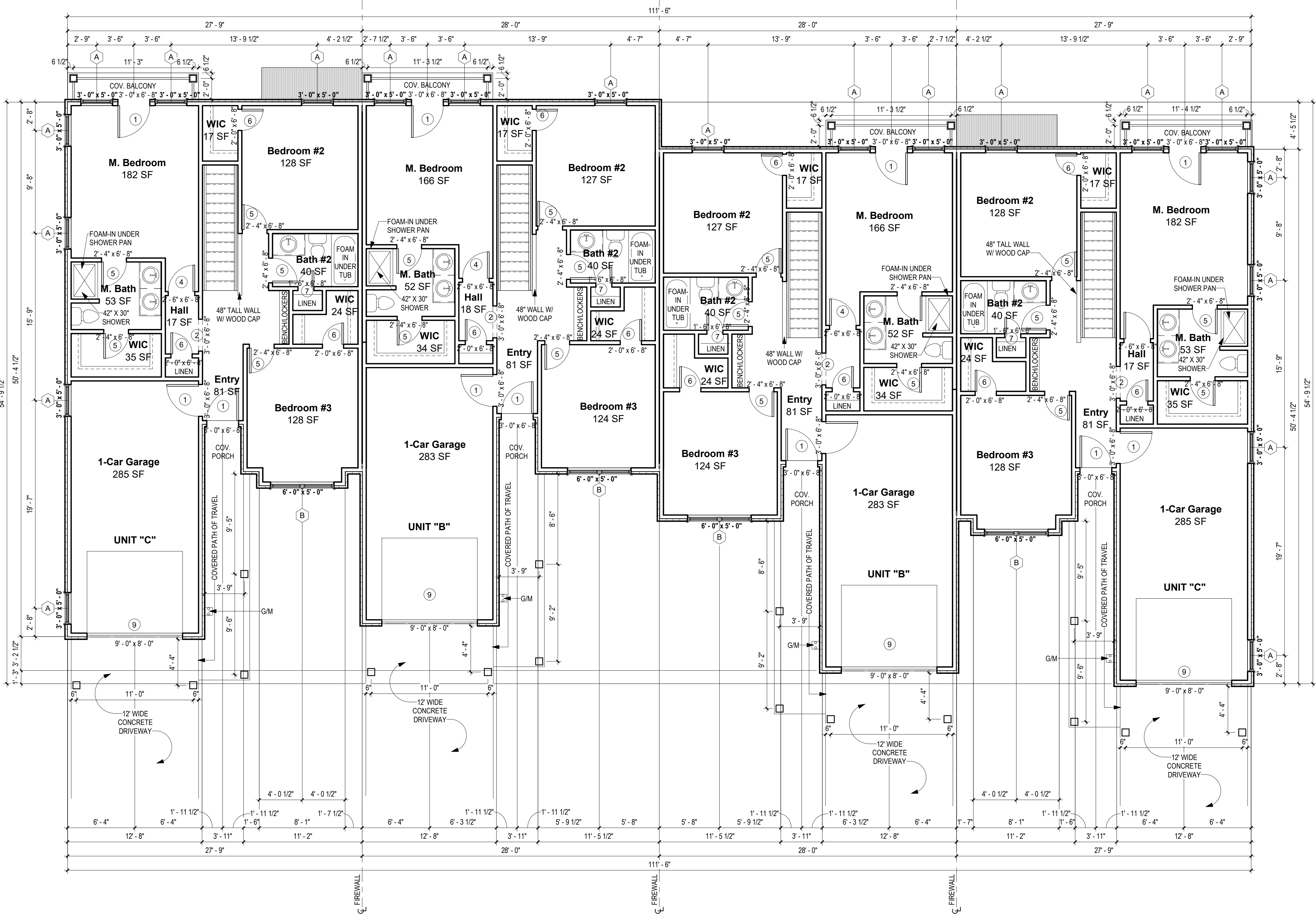
100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.1
BUILDING #7 - 2ND
FLOOR PLAN

SCALE:

As indicated



1 BUILDING #7 - 2ND FLOOR PLAN
3/16" = 1'-0"

NOTES

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- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER. TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE. INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
- 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- 1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- 2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- 3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- 5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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207 Caddo St.
Ardmore, OK 73401

580.798.0373 (PH)

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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS

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04.28.2020

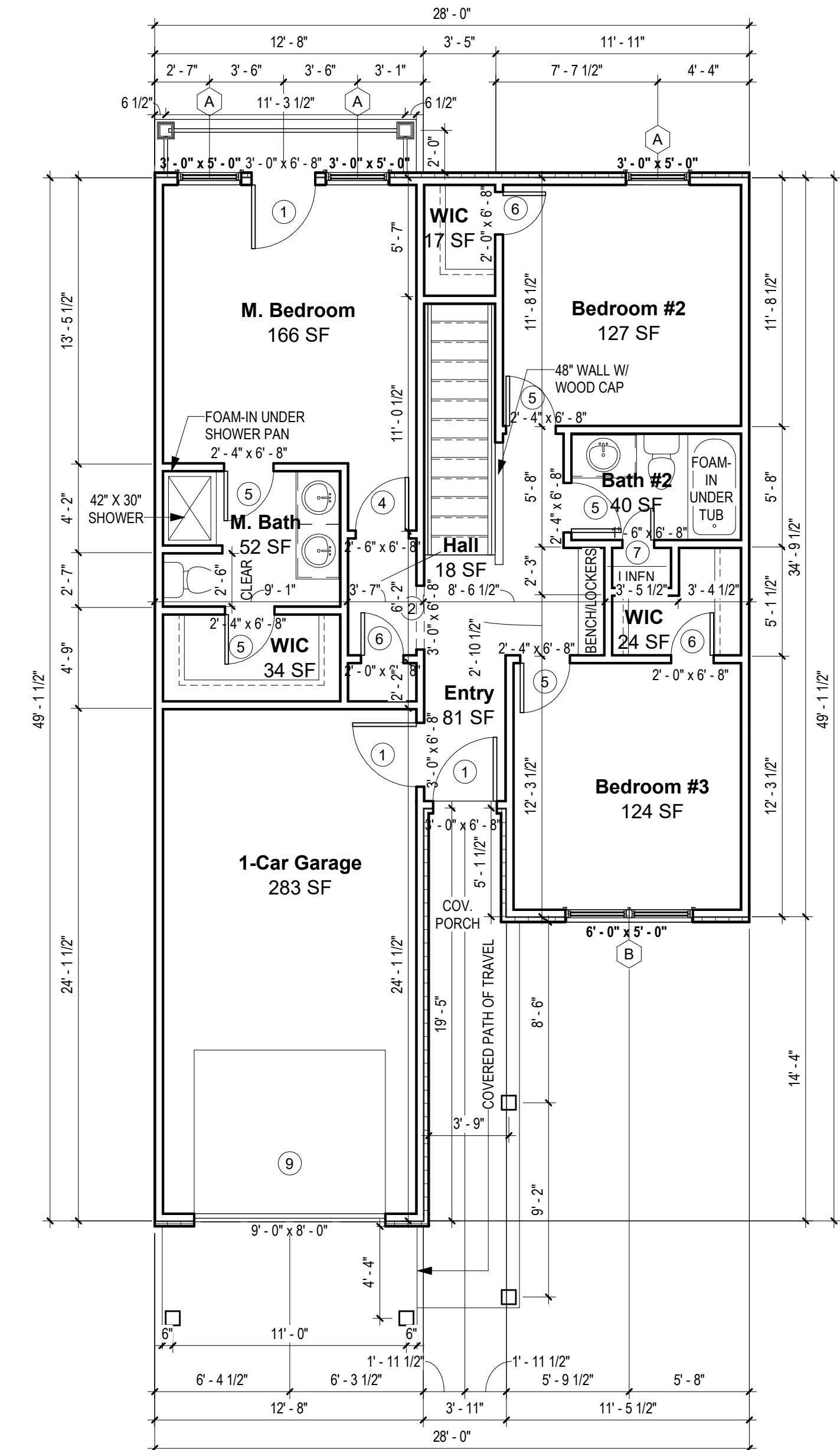
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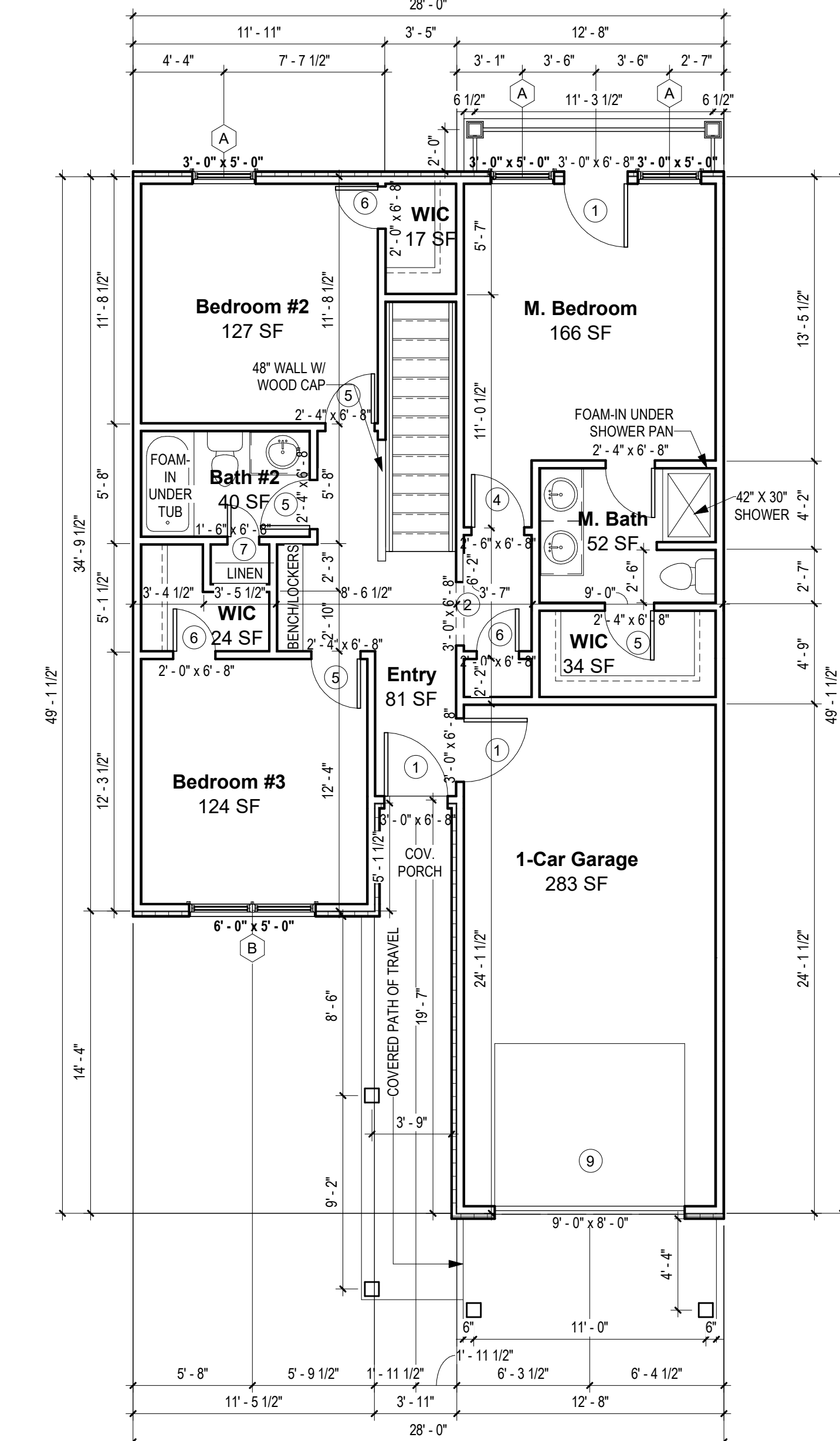
A-101.2
UNIT "B" PLANS

SCALE:

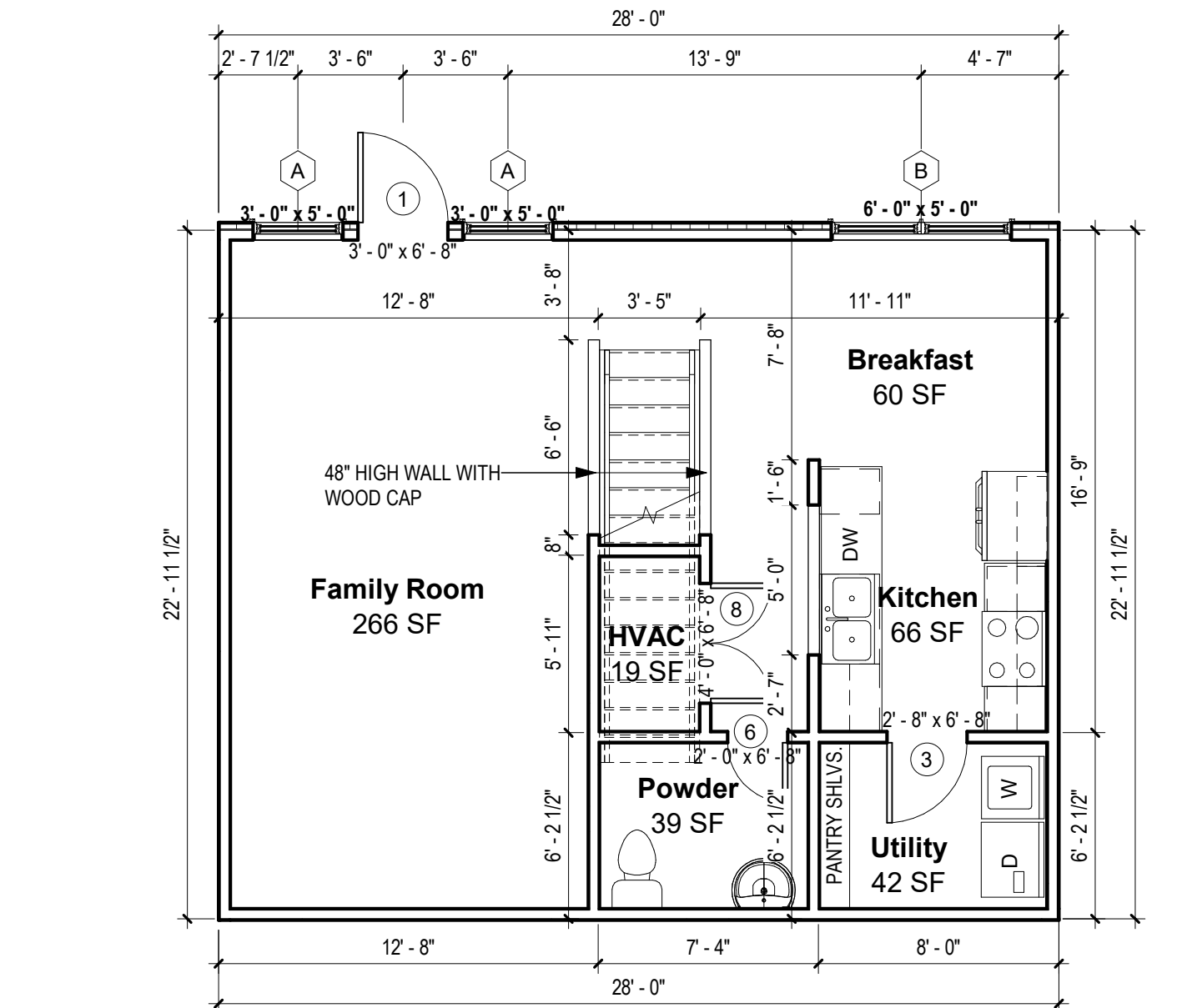
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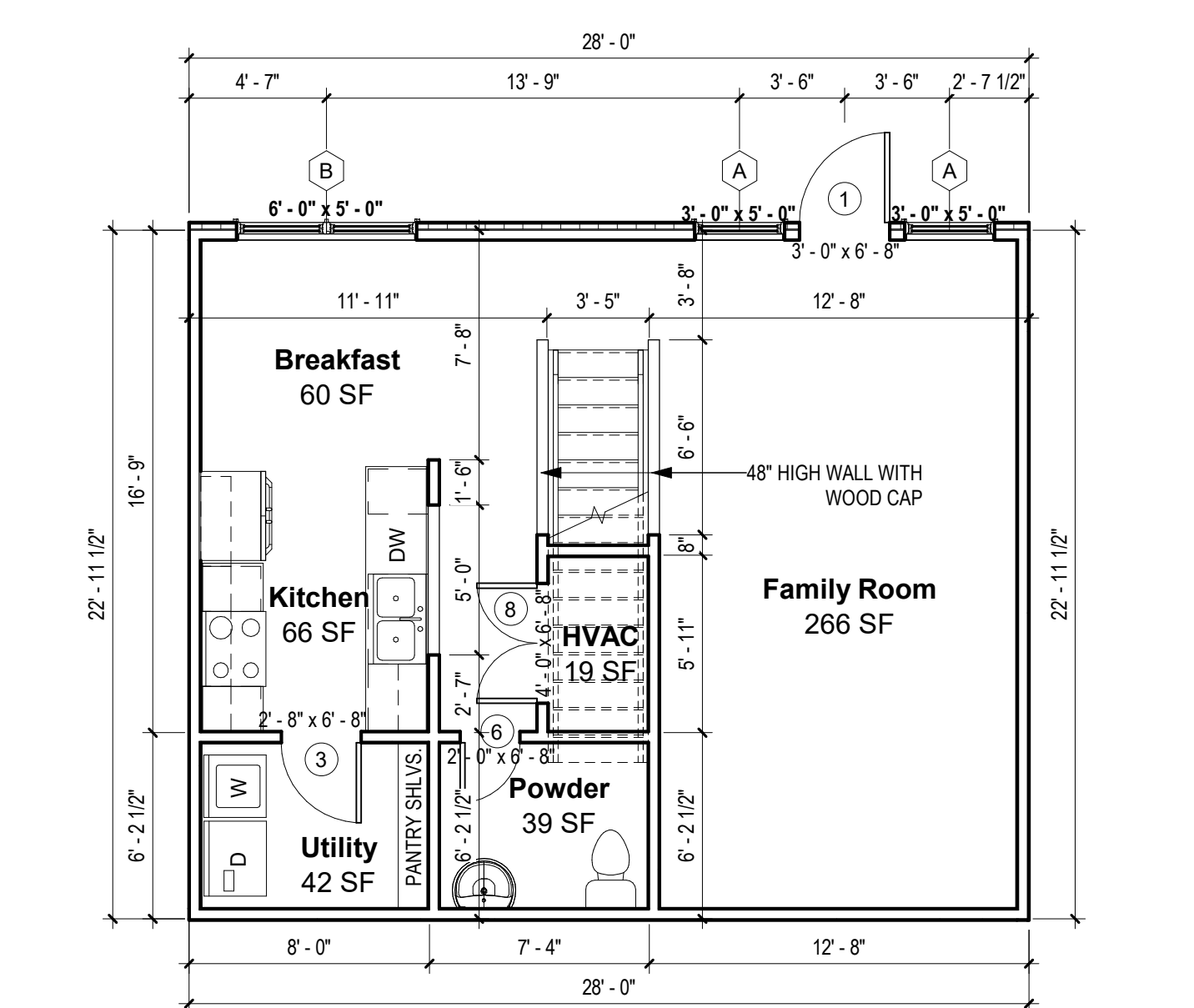
UNIT PLAN B - INT. 2ND FLOOR - LH
GARAGE
3/16" = 1'-0"



UNIT PLAN B - INT. 2ND FLOOR - RH
GARAGE
3/16" = 1'-0"



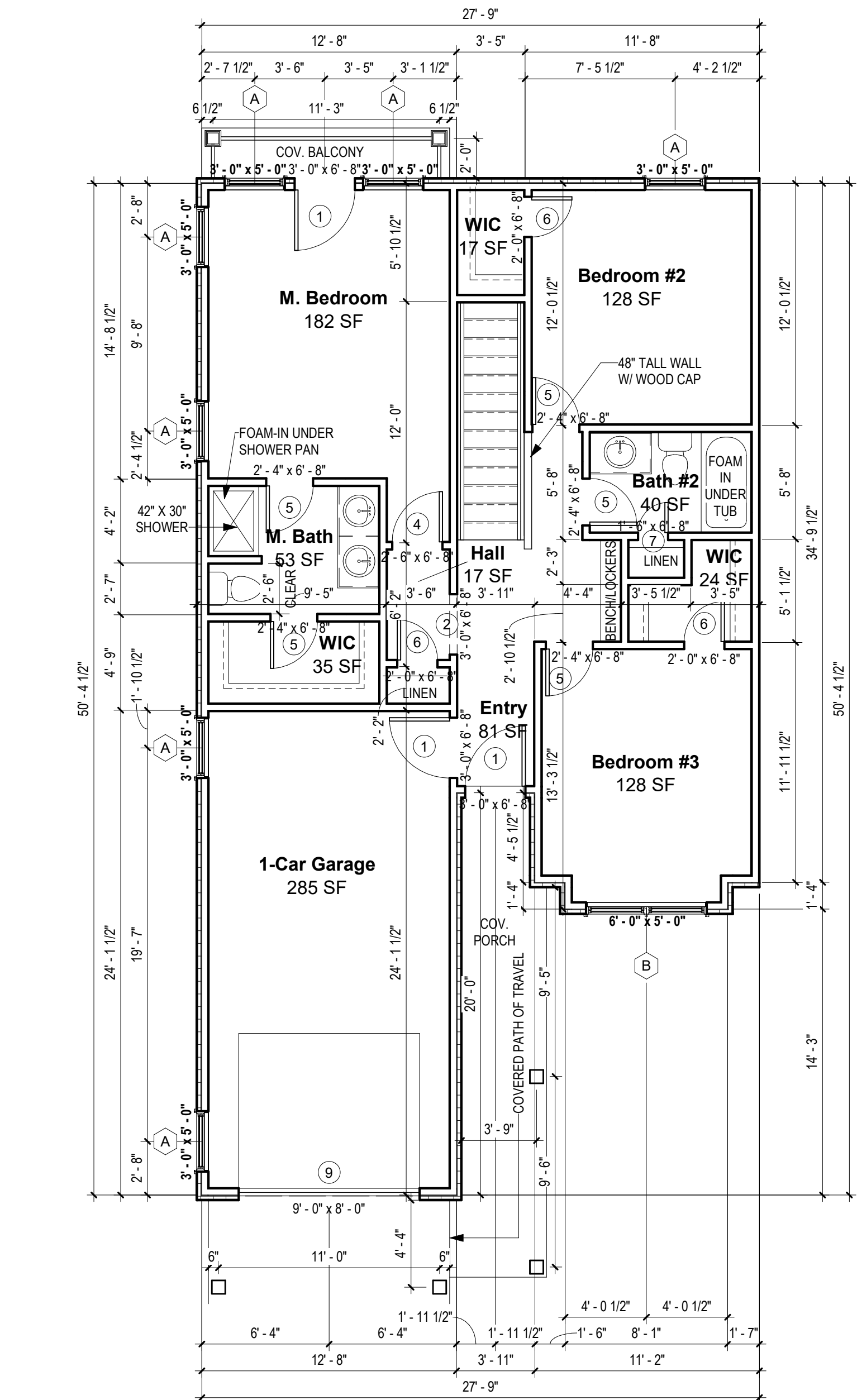
UNIT PLAN B - INT. 1ST FLOOR - LH
GARAGE
3/16" = 1'-0"



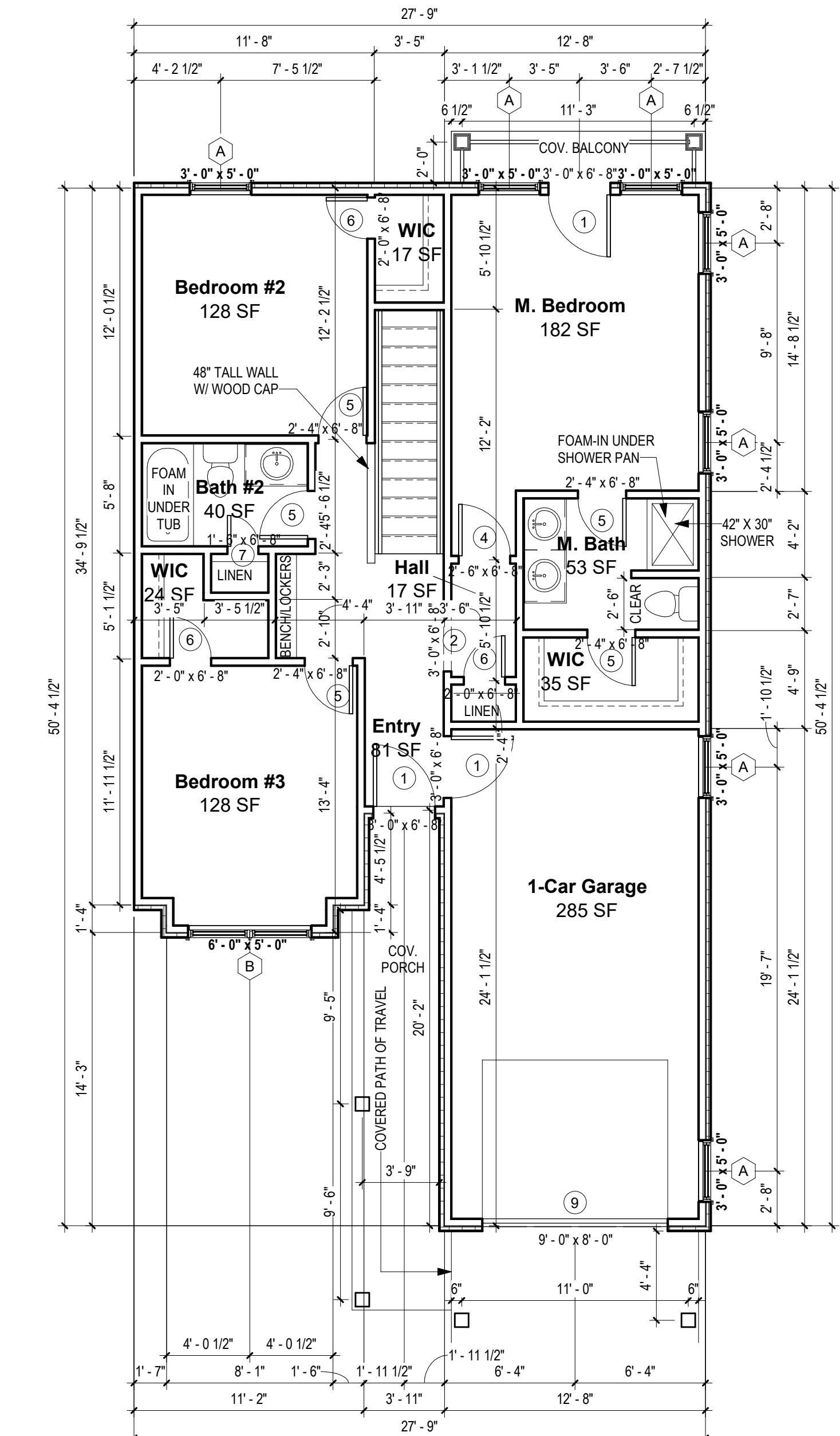
UNIT PLAN B - INT. 1ST FLOOR - RH
GARAGE
3/16" = 1'-0"

NOTES

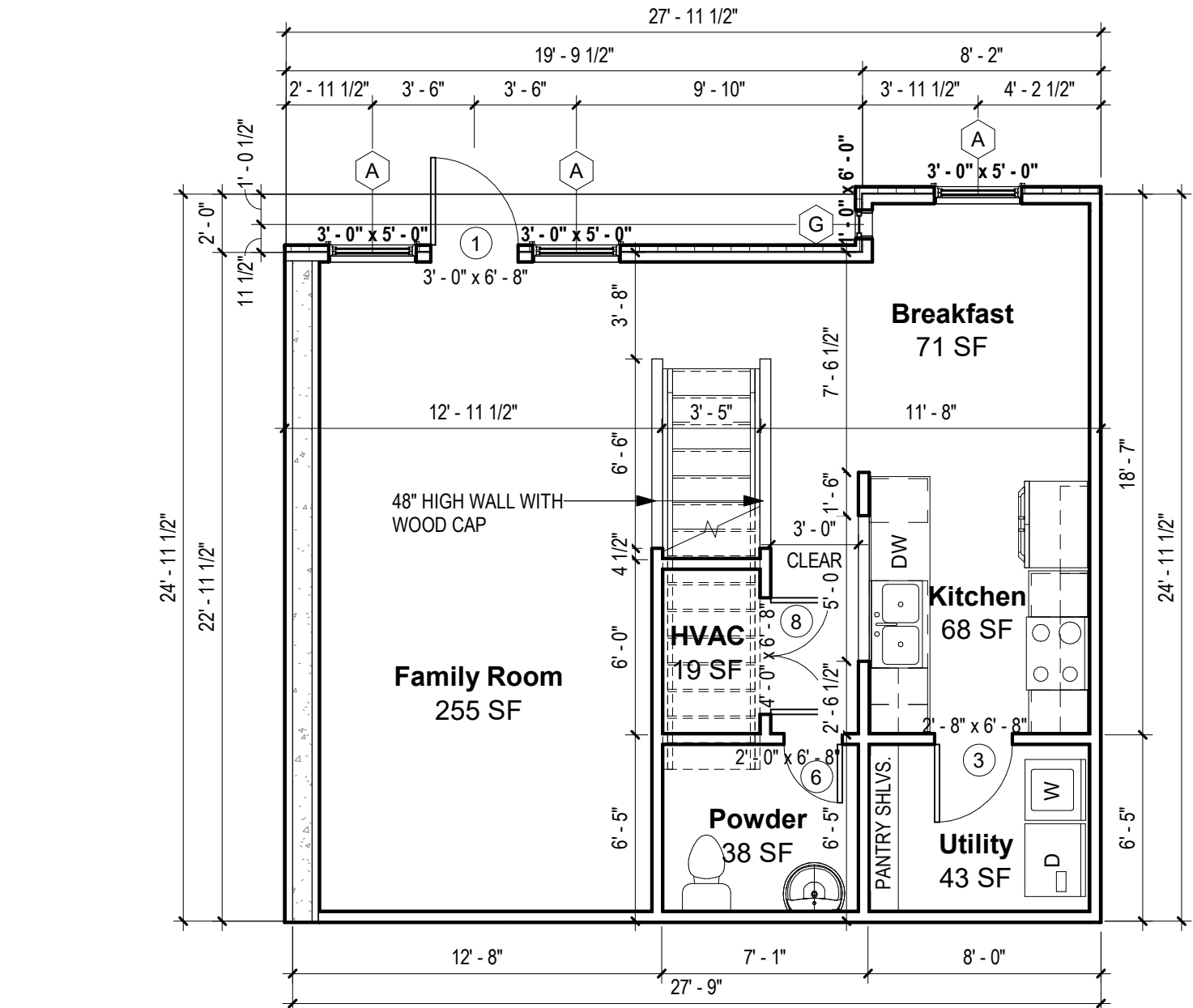
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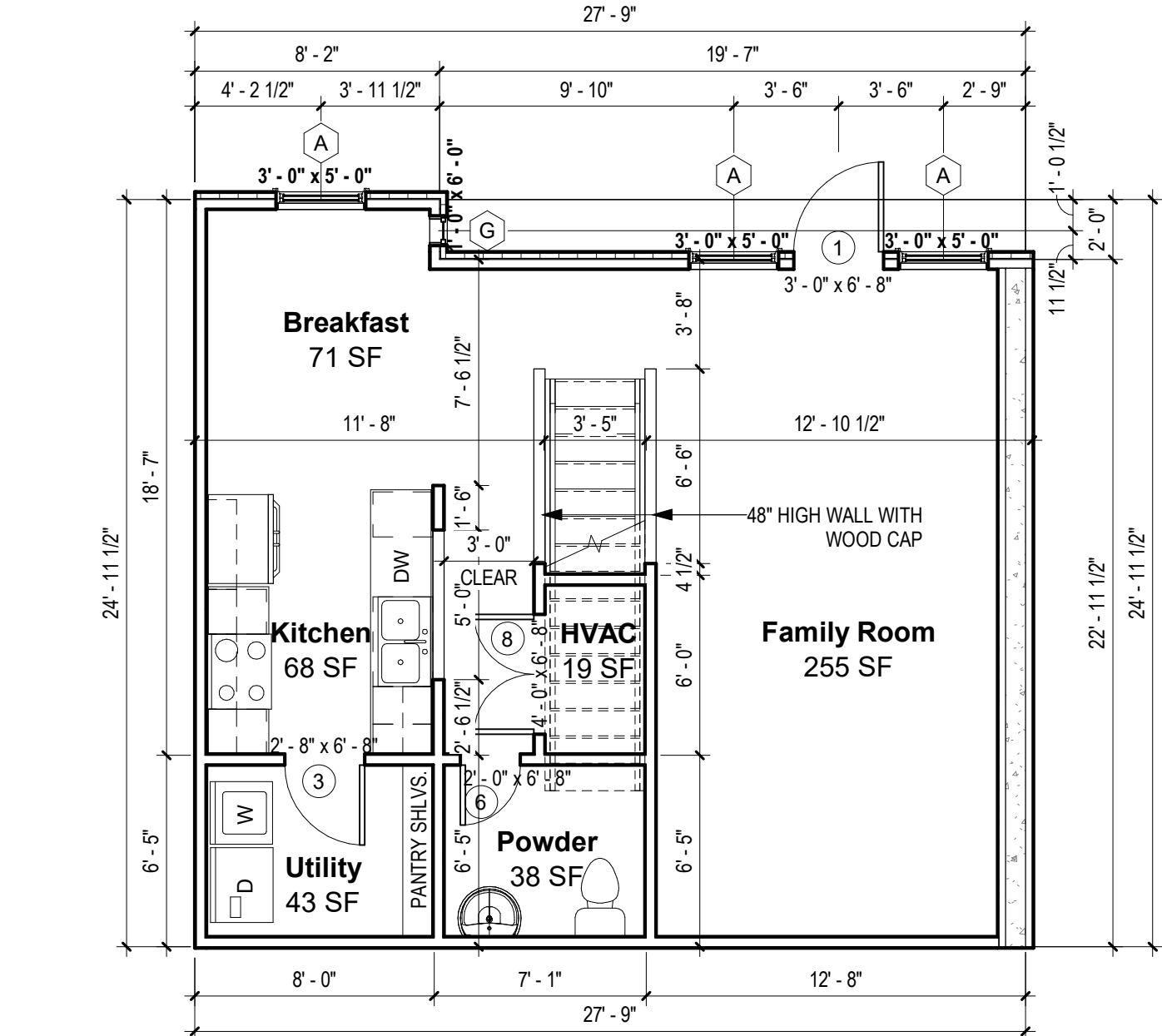
UNIT PLAN C - EXT. 2ND FLOOR - LH GARAGE
④ 3/16" = 1'-0"



UNIT PLAN C - EXT. 2ND FLOOR - RH GARAGE
② 3/16" = 1'-0"



UNIT PLAN C - EXT. 1ST FLOOR - LH GARAGE
③ 3/16" = 1'-0"



UNIT PLAN C - EXT. 1ST FLOOR - RH GARAGE
① 3/16" = 1'-0"

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - .32-.29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE), 20-MIN. RATED
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No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

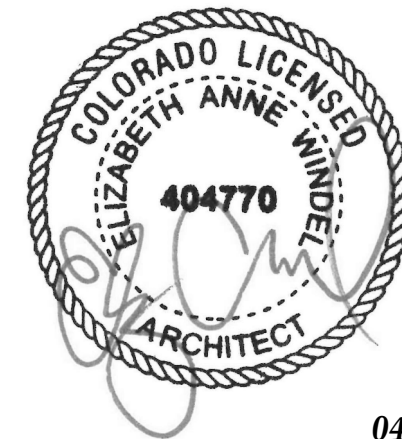
Williams Engineering

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(PH) 970.641.2499

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION
DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.3
UNIT "C" PLANS

SCALE:

As indicated



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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-102
ROOF PLAN

SCALE: As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

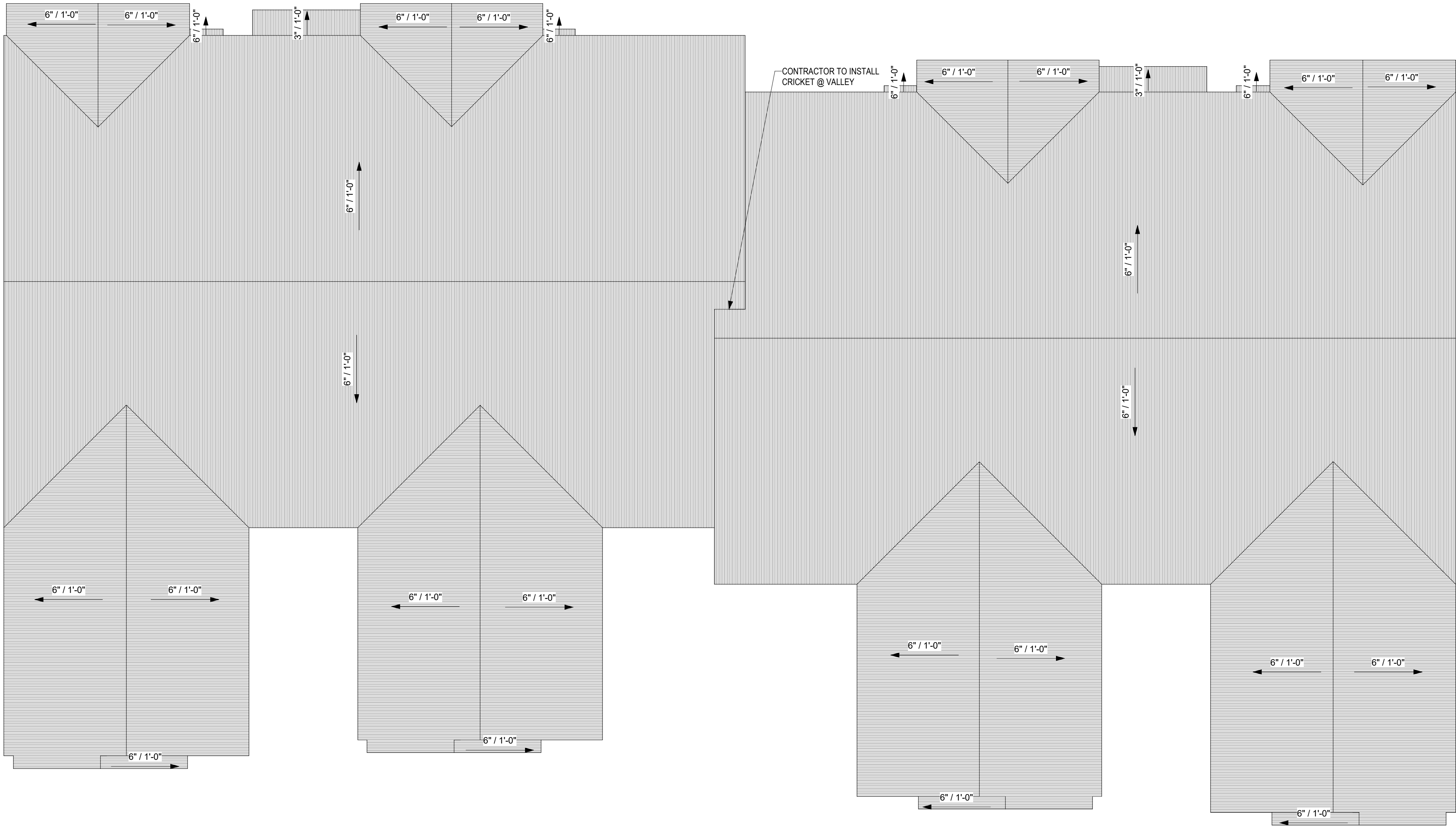
- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
- ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
- PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

- AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

- ALL ROOF PLANES WILL BE 6:12 PITCH
- PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



1 ROOF PLAN
3/16" = 1'-0"










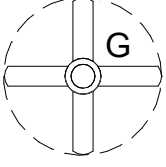


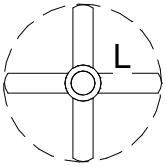

No.	Description	Date

GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

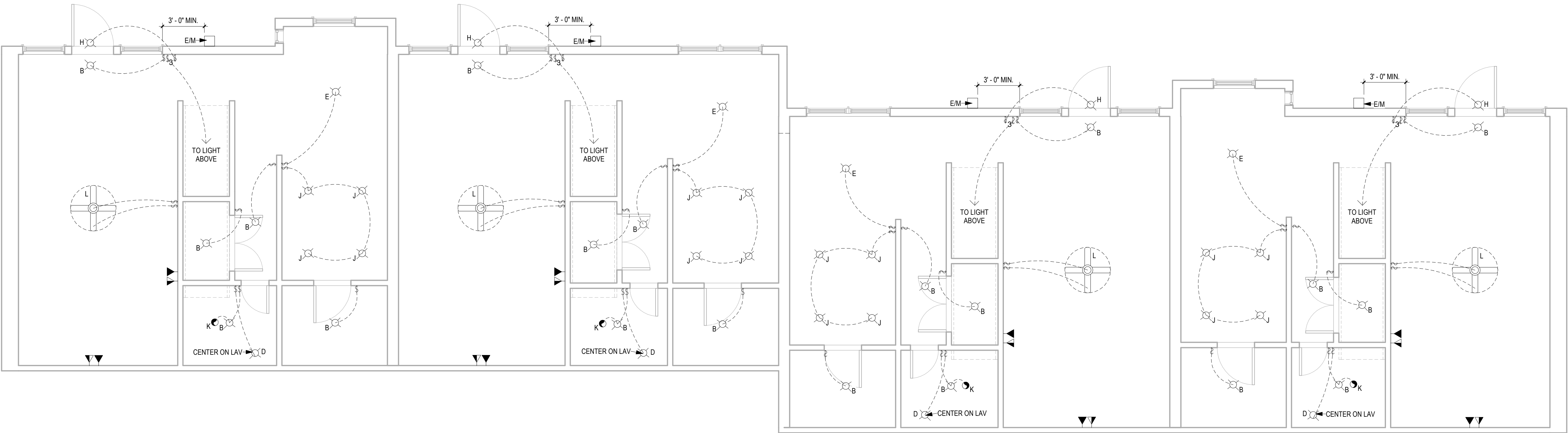
ELECTRICAL LEGEND / SCHEDULE			
	A	WALL MOUNT FIXTURE, 36" WIDE	 K BATHROOM EXHAUST FAN
	B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	 PHONE / DATA
	C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	 PHONE
	D	WALL MOUNT FIXTURE, 24" WIDE	 CABLE
	E	5-LIGHT CHANDELIER	 G 52" FAN, WITH LIGHT KIT
	F	EXTERIOR FLOODLIGHT	
	H	GOOSENECK LIGHT - FULL CUT-OFF	 L 52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	J	RECESSED CAN LIGHT, PROVIDE CFL BULBS	
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



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1 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"

No.	Description	Date

A-103
BUILDING #7 -
ELECTRICAL PLAN
1ST FLOOR

SCALE: As indicated

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #7 -
UNITS "B" & "C"
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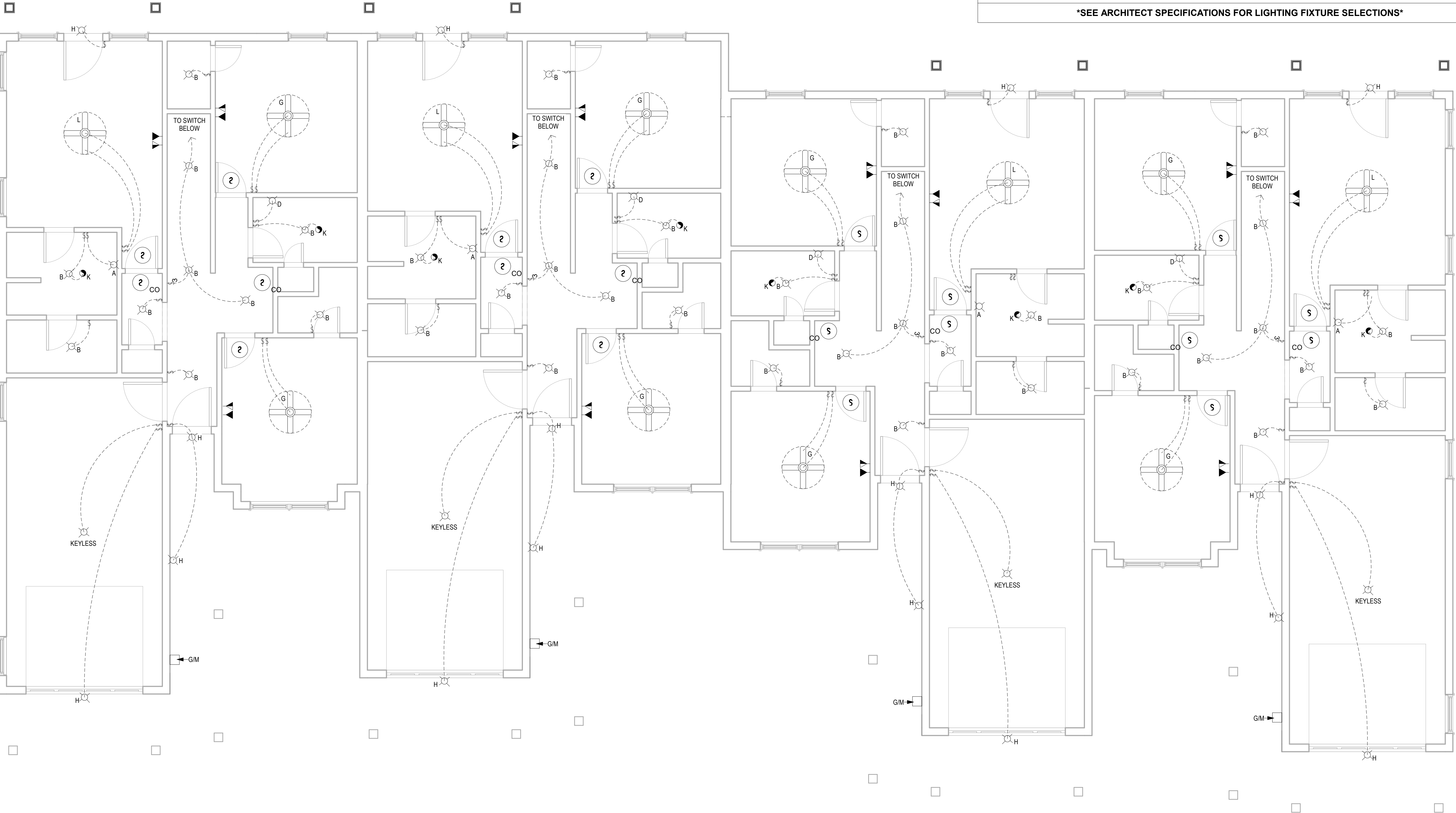
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- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE			
	WALL MOUNT FIXTURE, 36" WIDE		BATHROOM EXHAUST FAN
	SURFACE MOUNT FIXTURE, 11 1/4" DIA.		PHONE / DATA
	SURFACE MOUNT FIXTURE, 15 1/4" DIA.		PHONE
	WALL MOUNT FIXTURE, 24" WIDE		CABLE
	5-LIGHT CHANDELIER		52" FAN, WITH LIGHT KIT
	EXTERIOR FLOODLIGHT		52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	GOOSENECK LIGHT - FULL CUT-OFF		
	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



1 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"

No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS**

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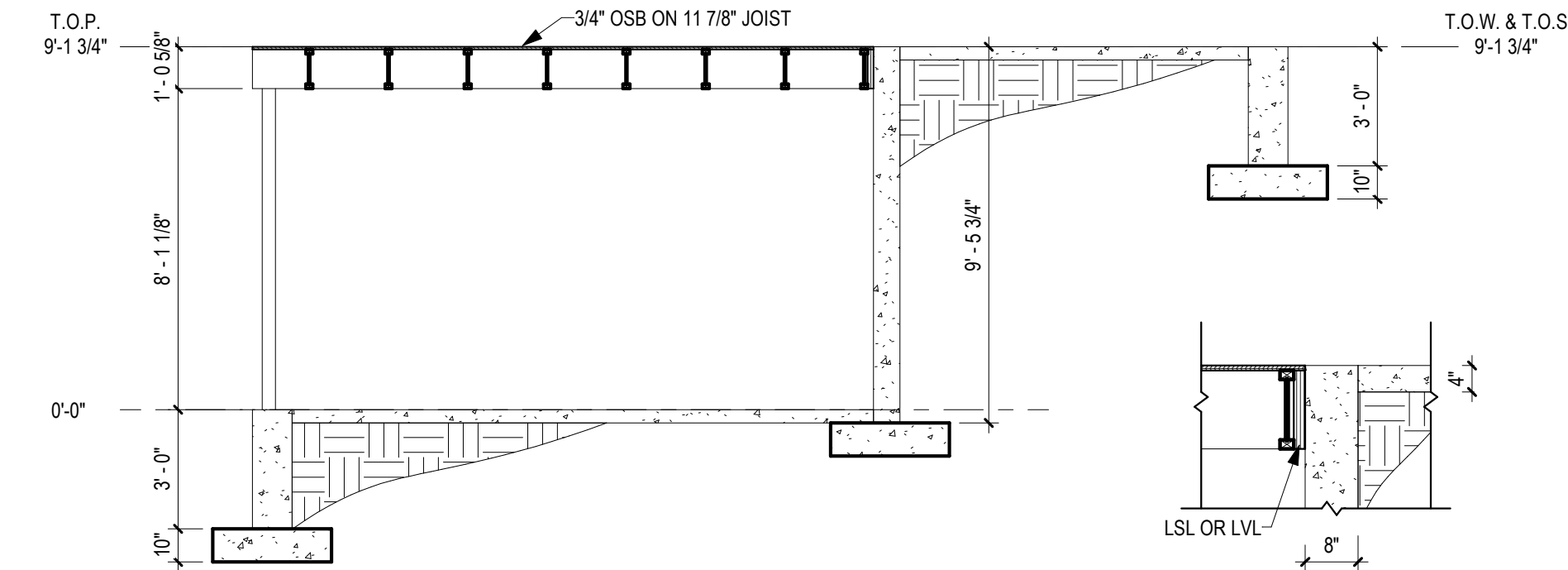
A-103.1
BUILDING #7 -
ELECTRICAL PLAN
2ND FLOOR

SCALE: As indicated

DOOR SCHEDULE			
Type Mark	Width	Height	Comments
①	3' - 0"	6' - 8"	
②	3' - 0"	6' - 8"	
③	2' - 8"	6' - 8"	
④	2' - 6"	6' - 8"	
⑤	2' - 4"	6' - 8"	
⑦	1' - 6"	6' - 8"	
⑧	4' - 0"	6' - 8"	
⑨	9' - 0"	8' - 0"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
A	3' - 0"	5' - 0"	
B	6' - 0"	5' - 0"	
G	1' - 0"	6' - 0"	

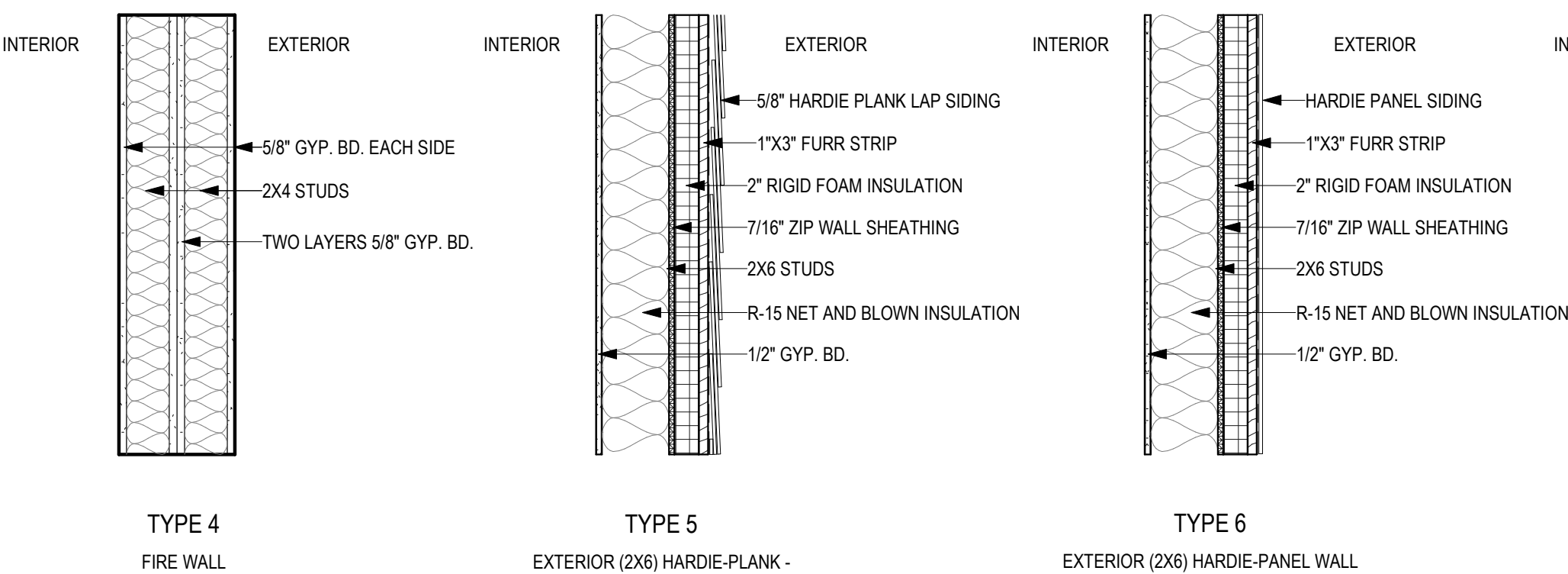
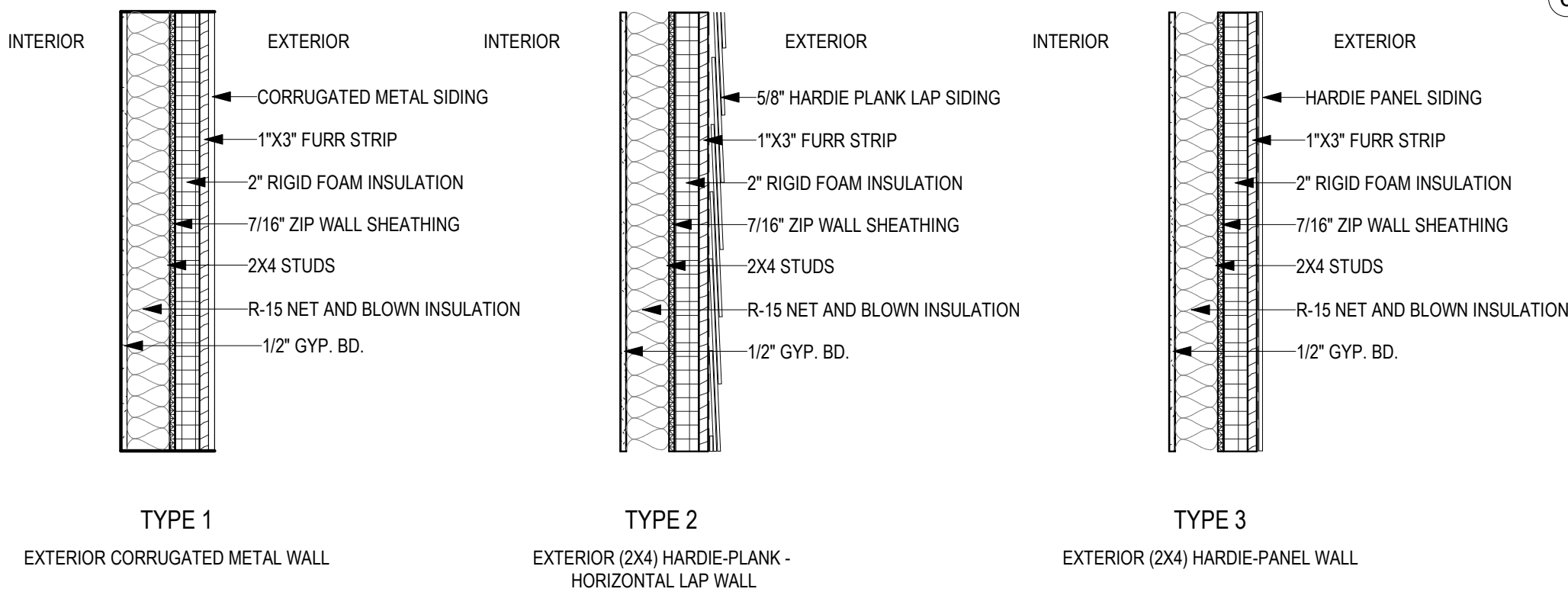
PLUMBING FIXTURE SCHEDULE	
Count	Description
4	'CADET PEDESTAL' Basin, Center hole only, 24-1/2" x 19-3/4" x 35" (622mm x 502mm x 889mm) high, vitreous china, sculptured bowl, spacious shelf area, rear overflow, and mounting kit.
12	19" X 19" ROUND VANITY SINK
4	36" X 21" DOUBLE KITCHEN SINK
4	42 X 30 SHOWER
4	SHOWER/TUB COMBO
12	TOILET - STANDARD HT.



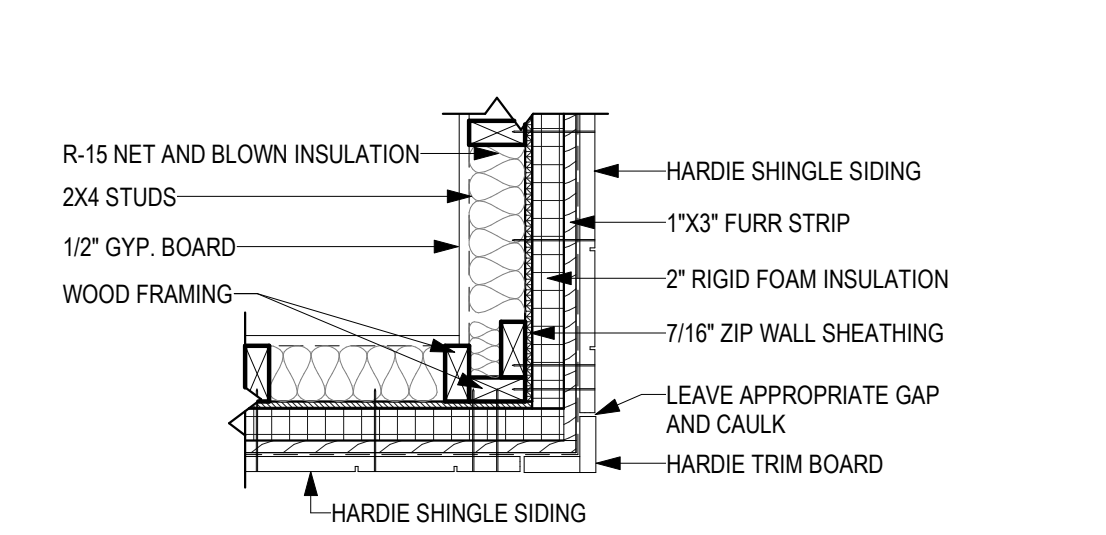
⑫ BUILDING SECTION
1/4" = 1'-0"

⑬ BUILDING SECTION DETAIL
1/2" = 1'-0"

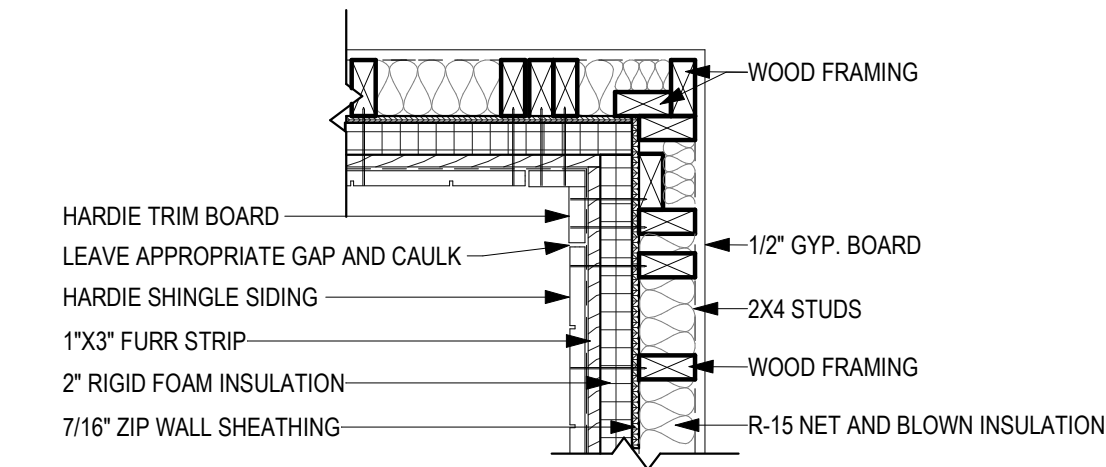
**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



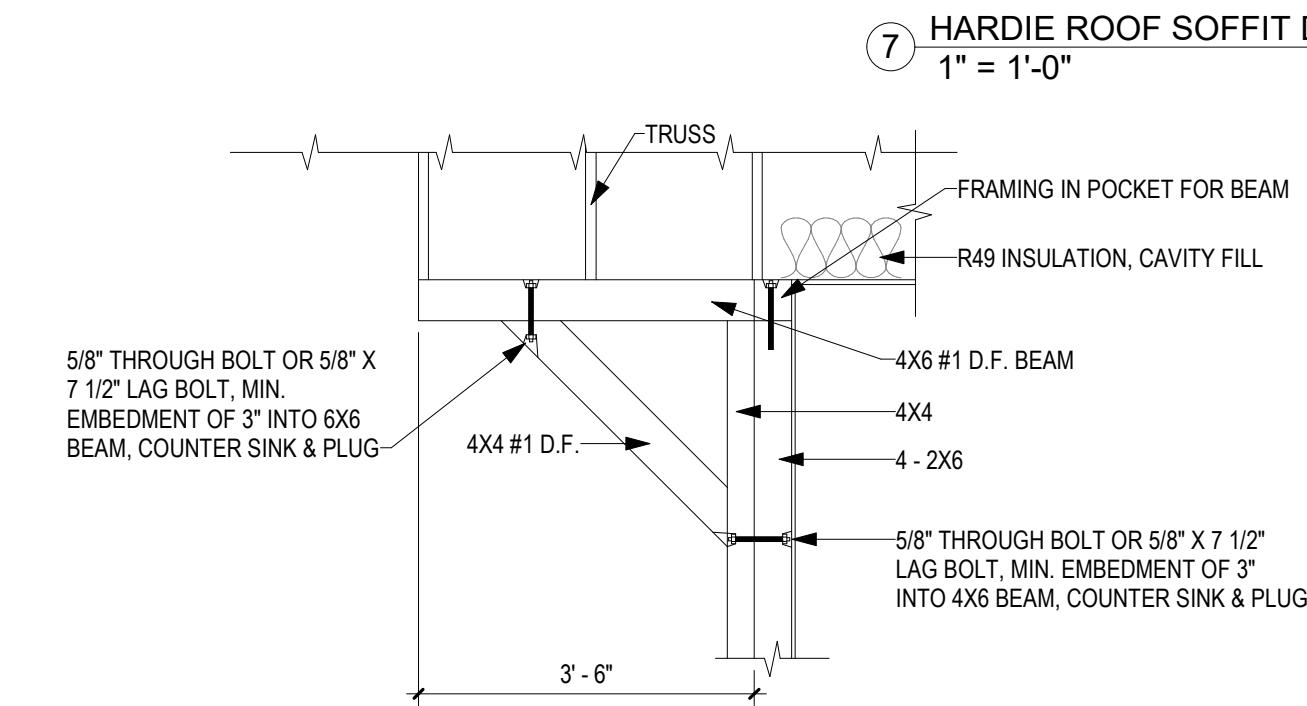
⑪ WALL TYPE LEGEND
1" = 1'-0"



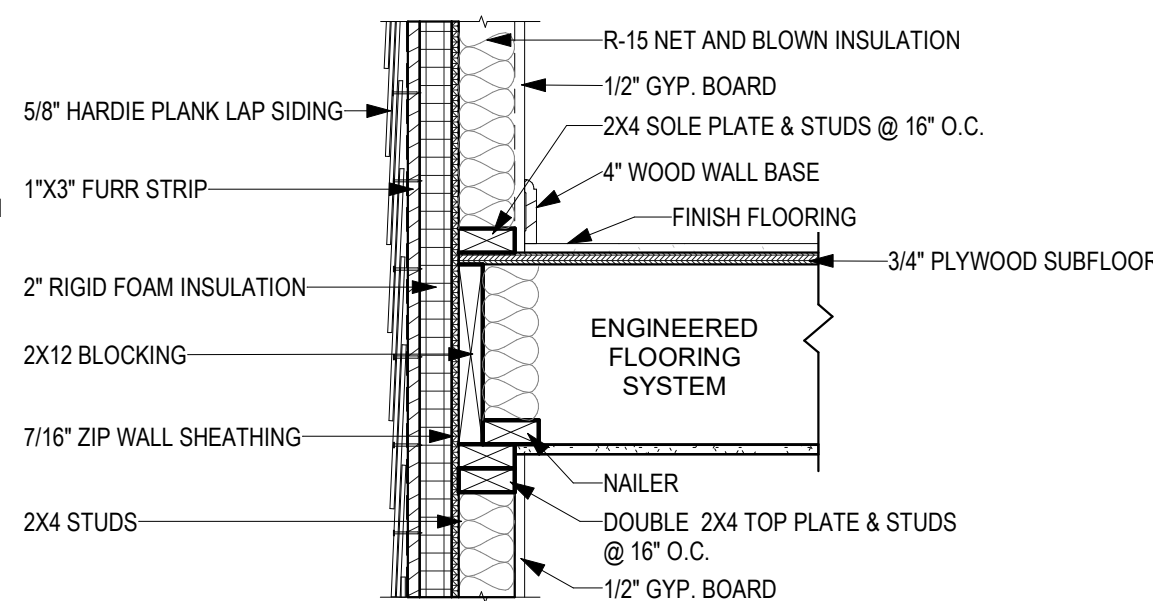
⑩ HARDIE OUTSIDE CORNER
1" = 1'-0"



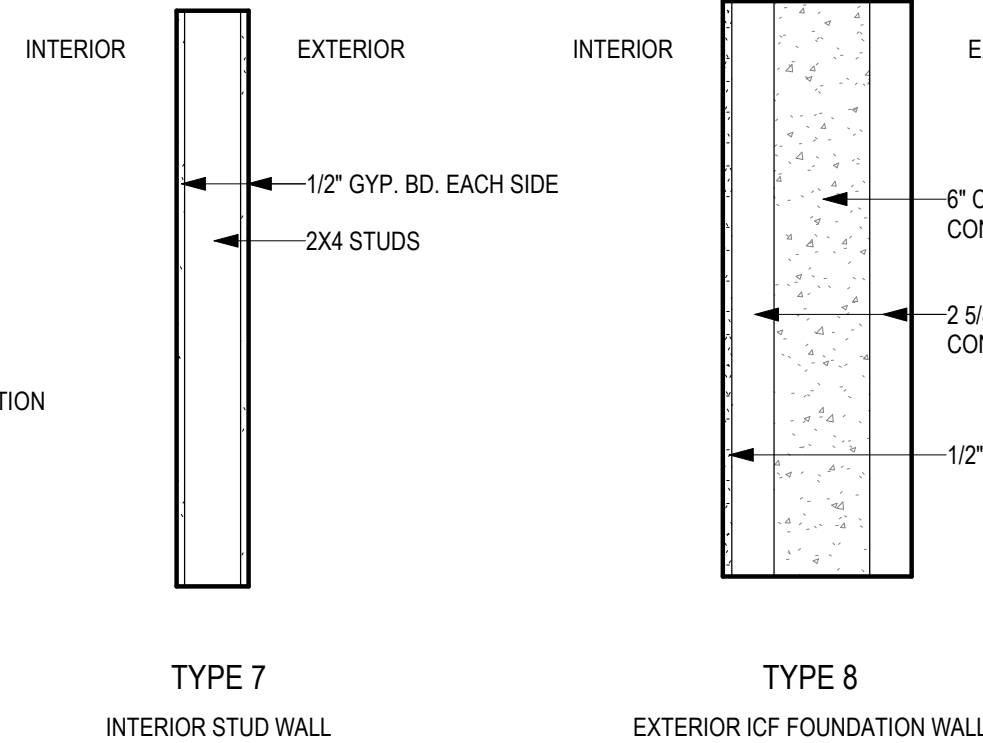
⑨ HARDIE INSIDE CORNER
1" = 1'-0"



⑥ ANGLE BRACING
NOT TO SCALE

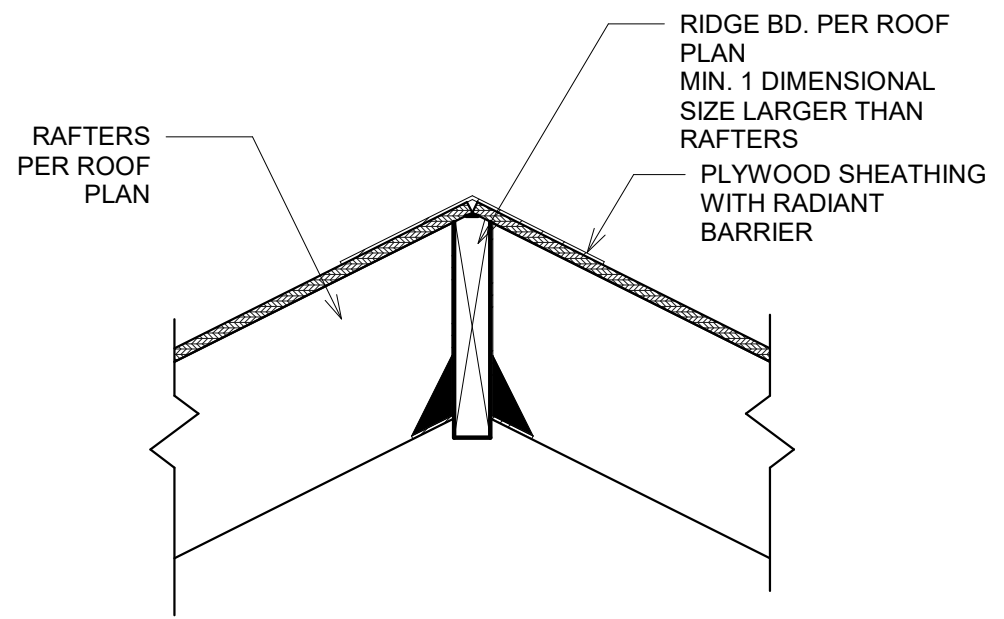


⑤ HARDIE WALL SECTION @ 2ND FLOOR
1" = 1'-0"

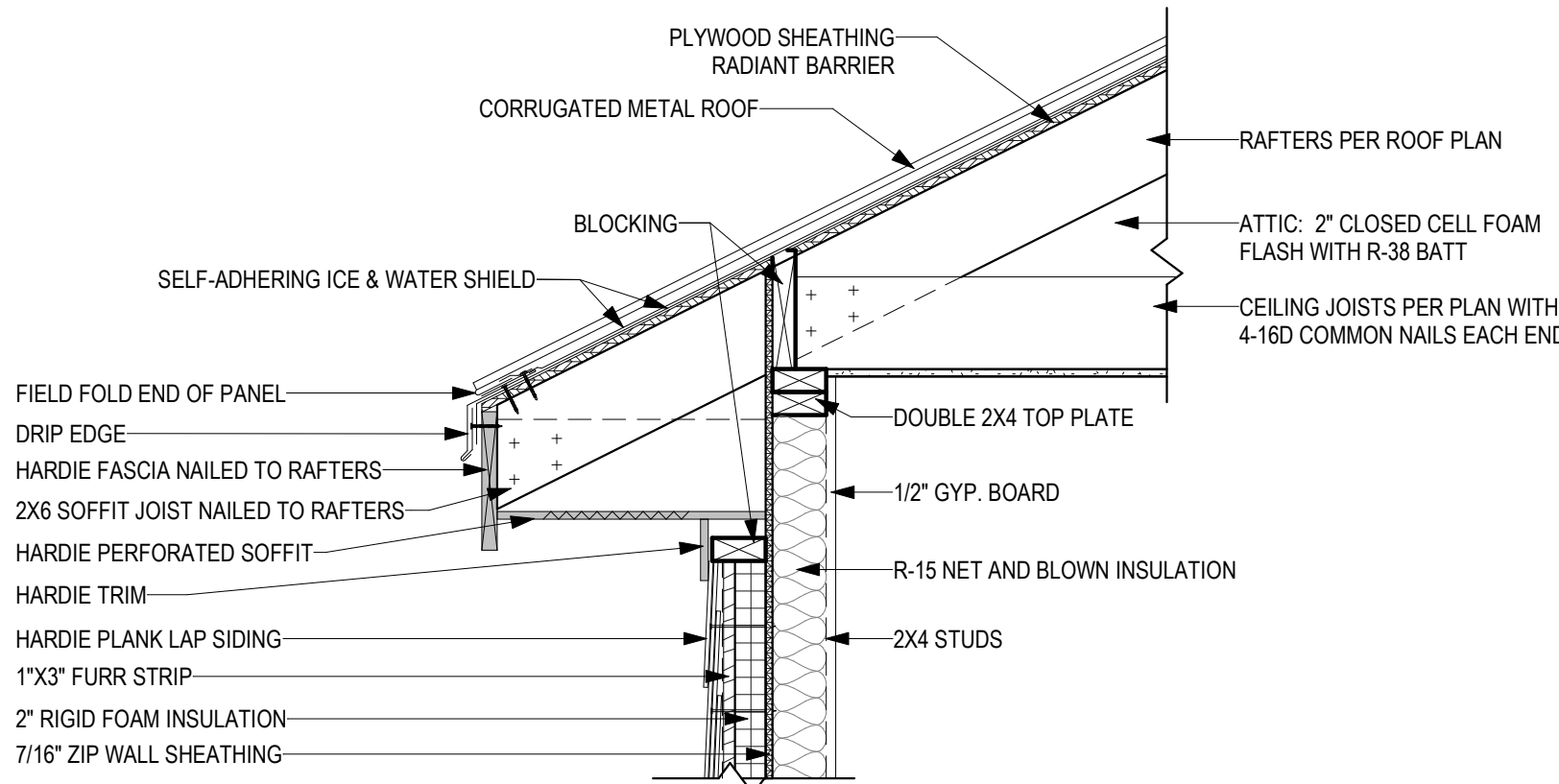


③ HARDIE GRADE CLEARANCE
1" = 1'-0"

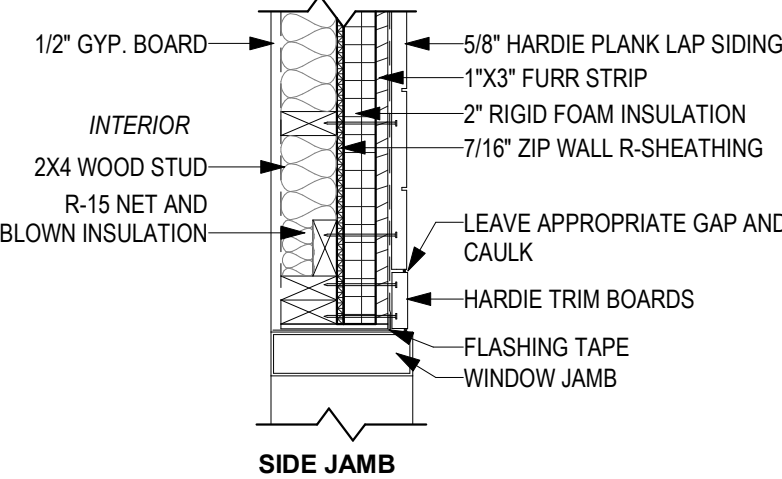
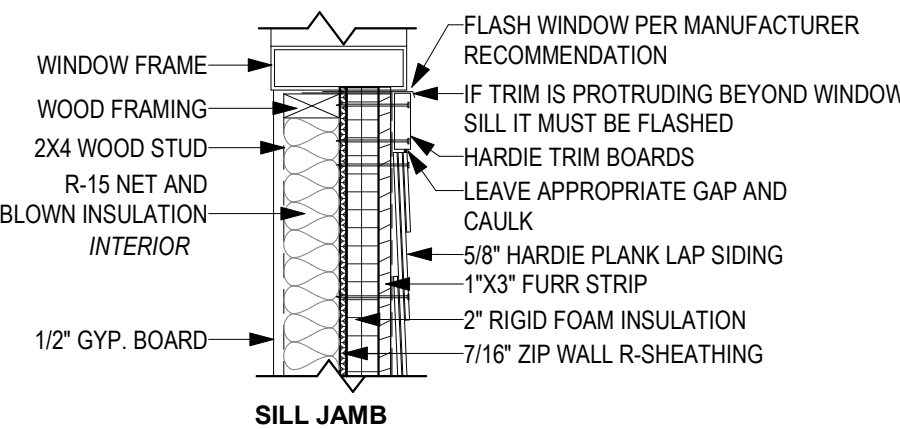
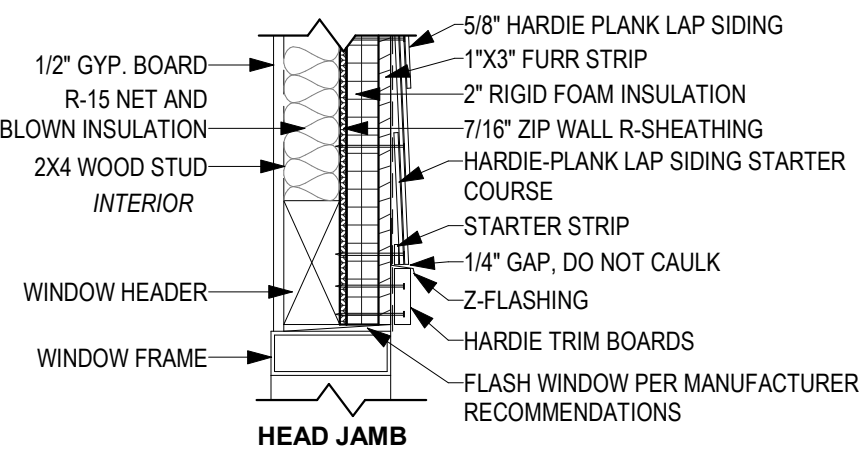
**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



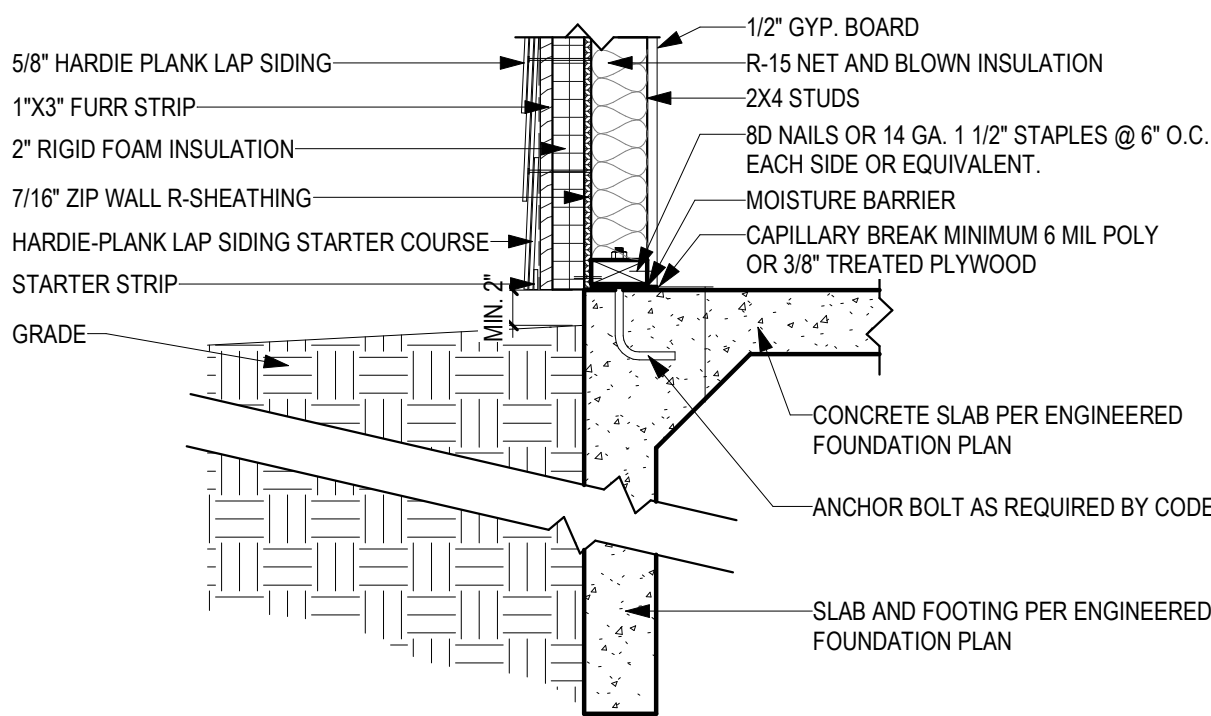
⑧ RIDGE DETAIL
1 1/2" = 1'-0"



⑦ HARDIE ROOF SOFFIT DETAIL
1" = 1'-0"



④ HARDIE WINDOW DETAILS
1" = 1'-0"



③ HARDIE GRADE CLEARANCE
1" = 1'-0"

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

GENERAL NOTES:

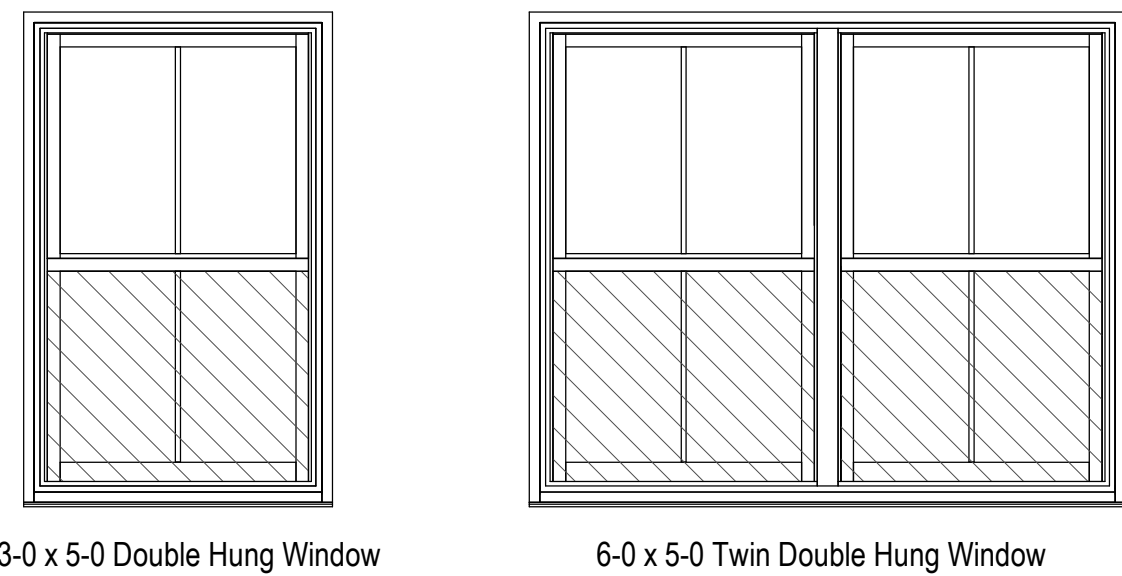
1. APPROACH SHALL MEET CITY SPECIFICATIONS.
2. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

SITE PREPARATION NOTES:

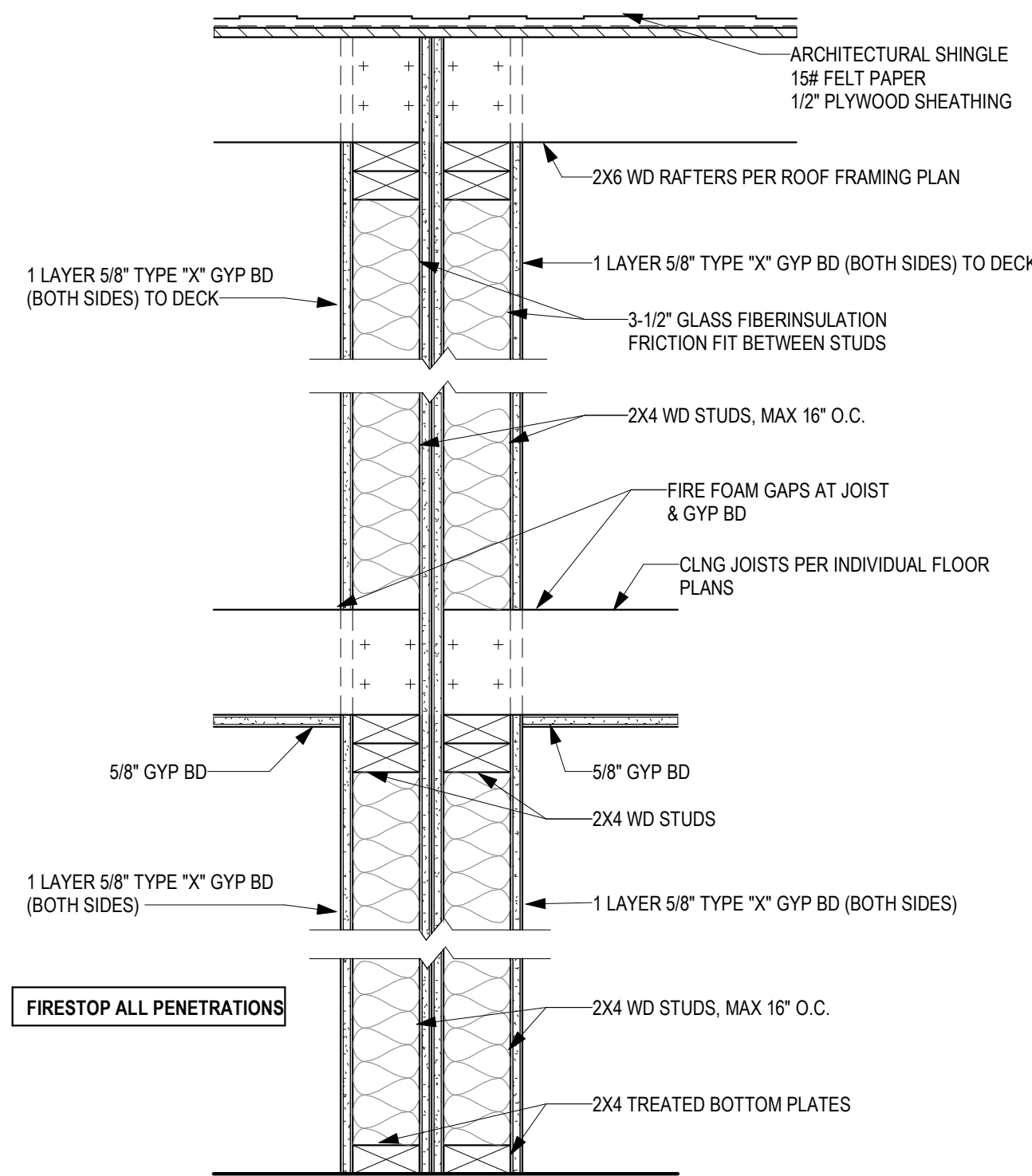
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
2. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

1. SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
2. CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES
3. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.



② TYPICAL WINDOW EGRESS
1/2" = 1'-0"



① FIRE SEPARATION WALL
1 1/2" = 1'-0"

No.	Description	Date



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04.28.2020

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A-104
CONSTRUCTION
DETAILS

SCALE:

As indicated



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2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
 - c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
 - e. There are no SHGC requirements in the Marine Zone.
 - f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 - g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

A-104.1
PRESCRIPTIVE
TABLE

SCALE:

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BUILDING #7 -
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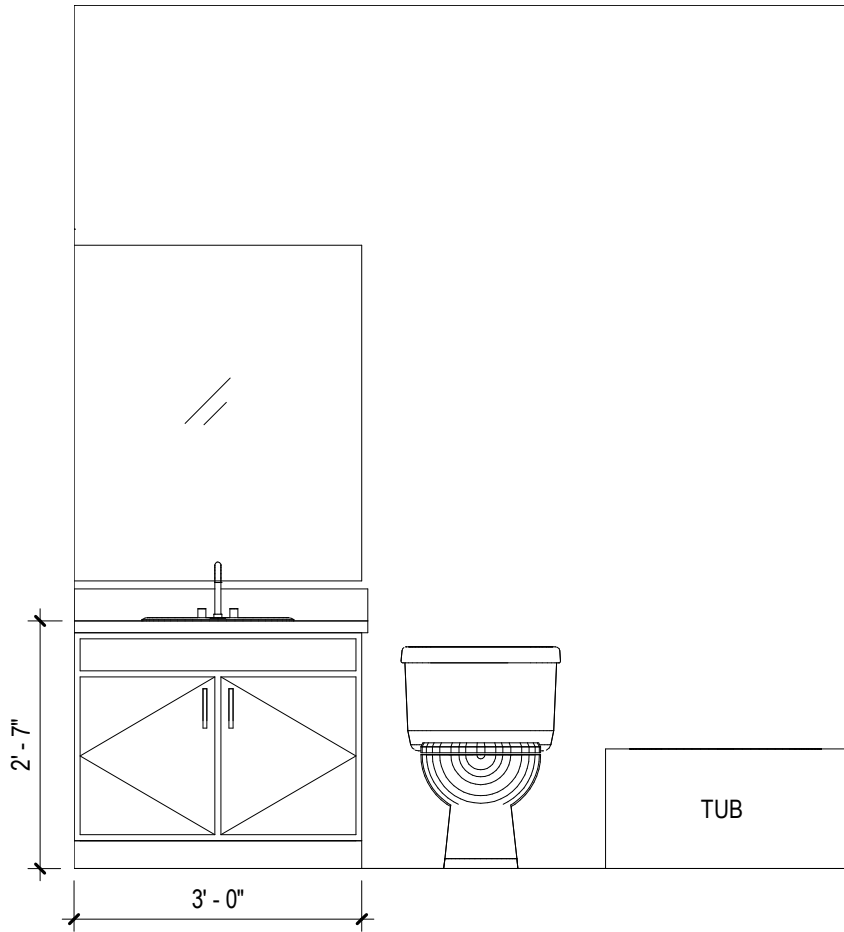
Project number 2017-5
Date 04.28.2020
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A-105
CABINET LAYOUT &
ELEVATIONS

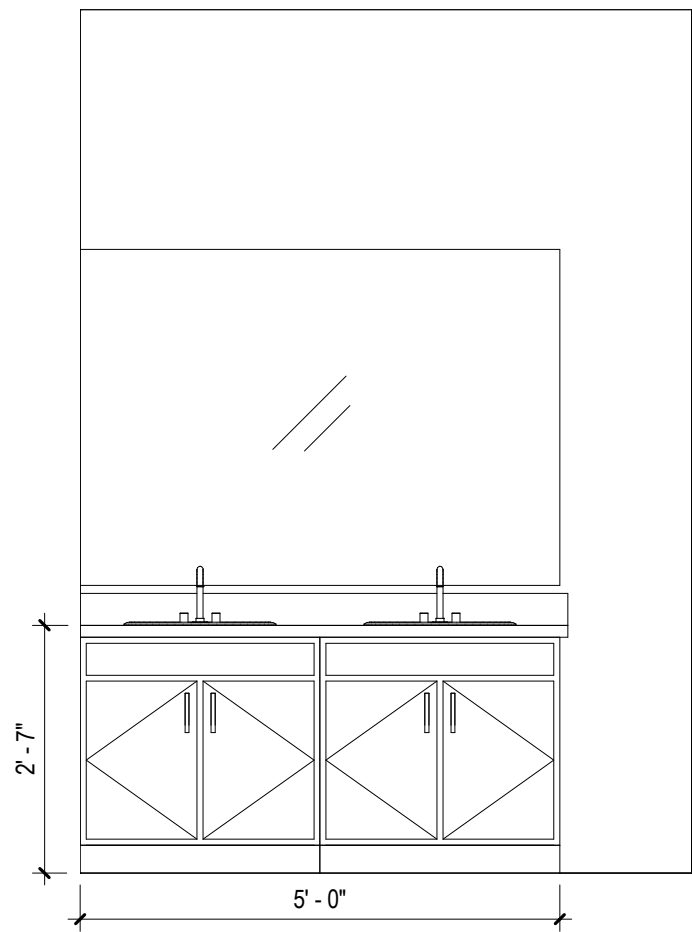
SCALE:

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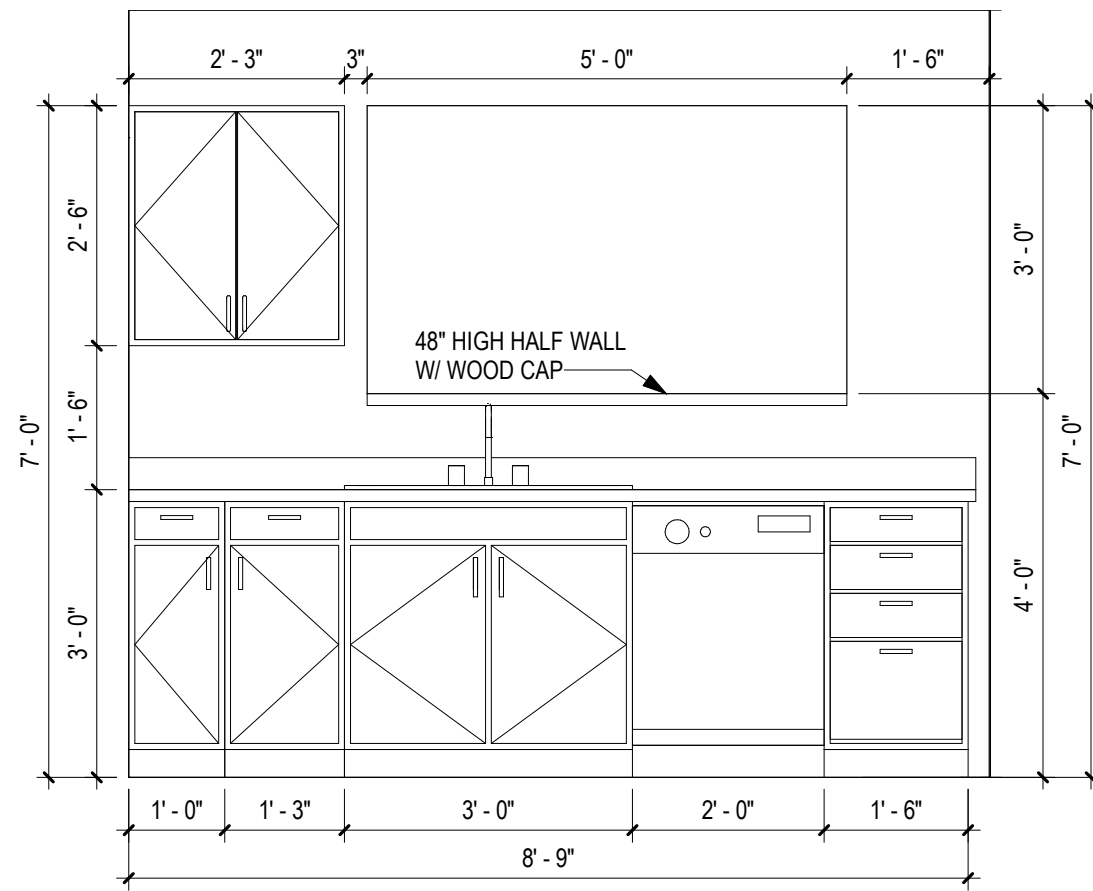
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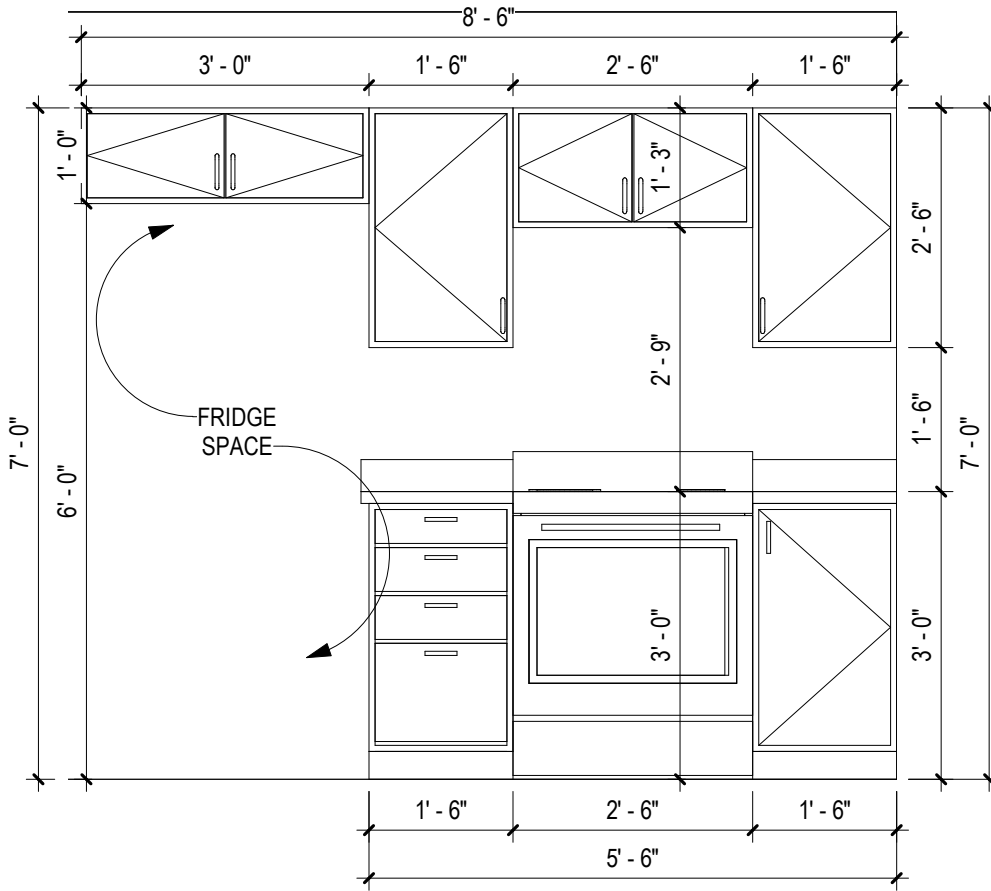
10 UNIT "C" ELEV. @ BATH #2
1/2" = 1'-0"



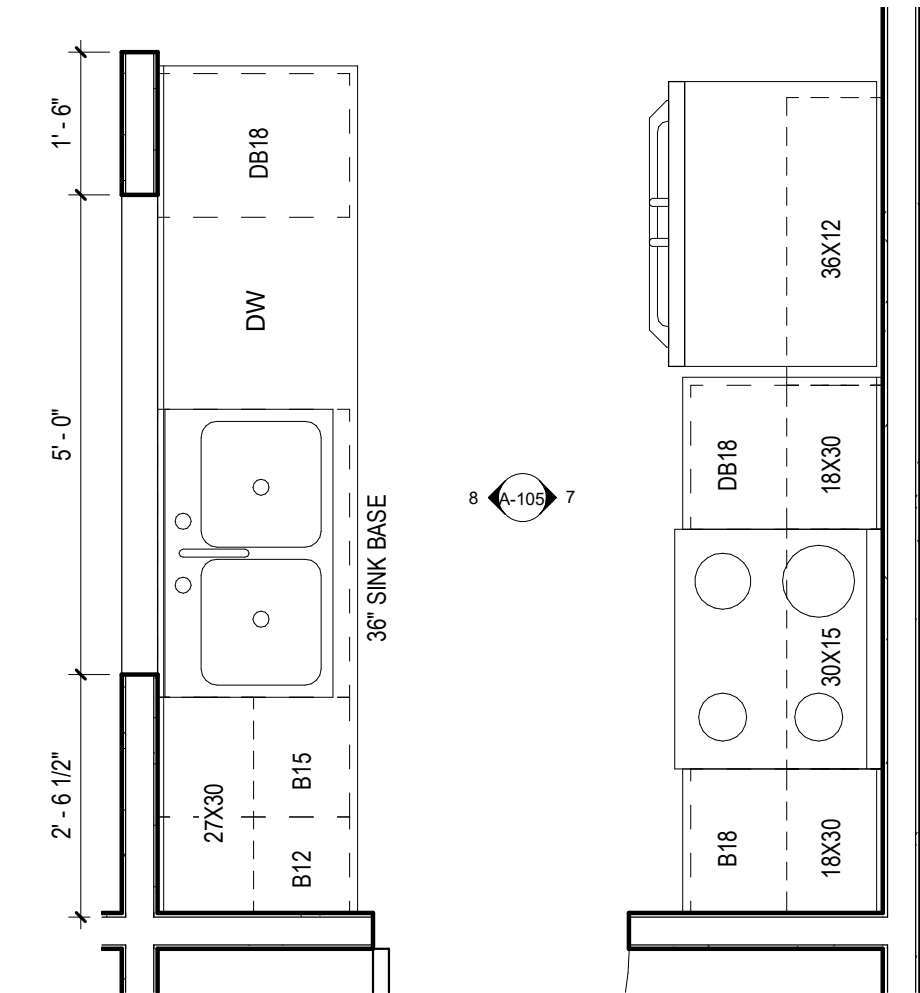
9 UNIT "C" ELEV. @ M. BATH
1/2" = 1'-0"



8 UNIT "C" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"



7 UNIT "C" KITCHEN ELEV. - VIEW 1
1/2" = 1'-0"



6 UNIT PLAN "C" - ENLARGED KITCHEN
1/2" = 1'-0"

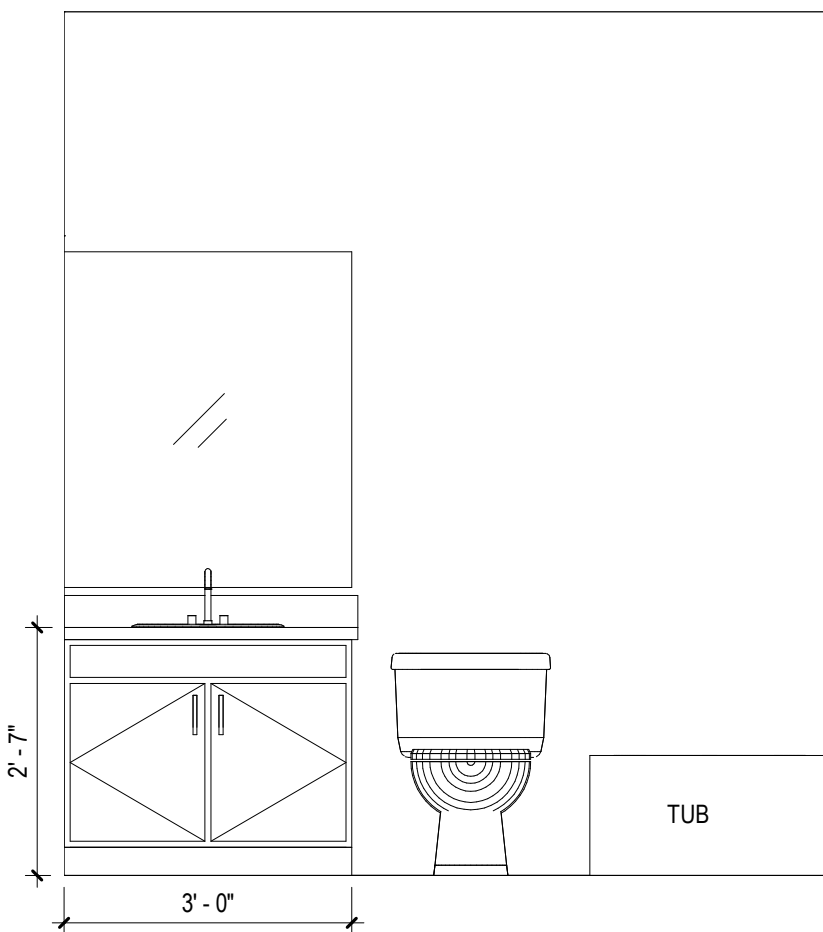
KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH
COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

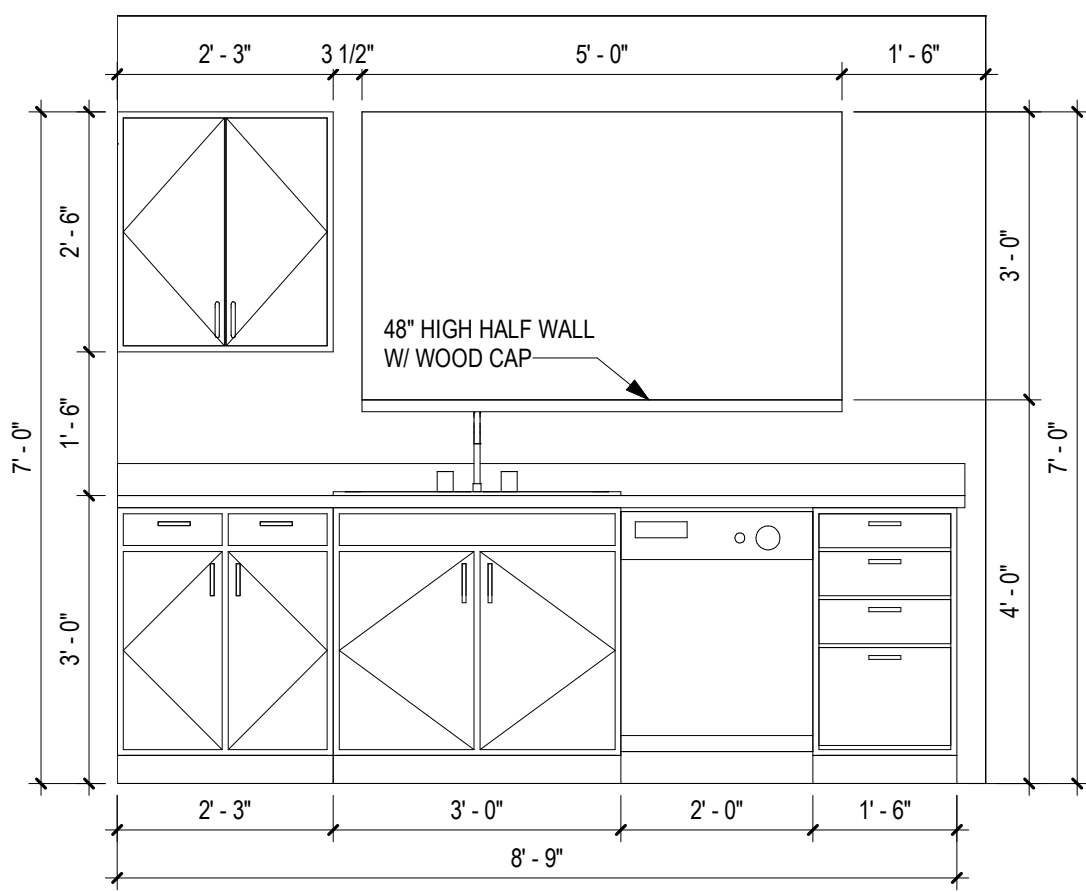
BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH
COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

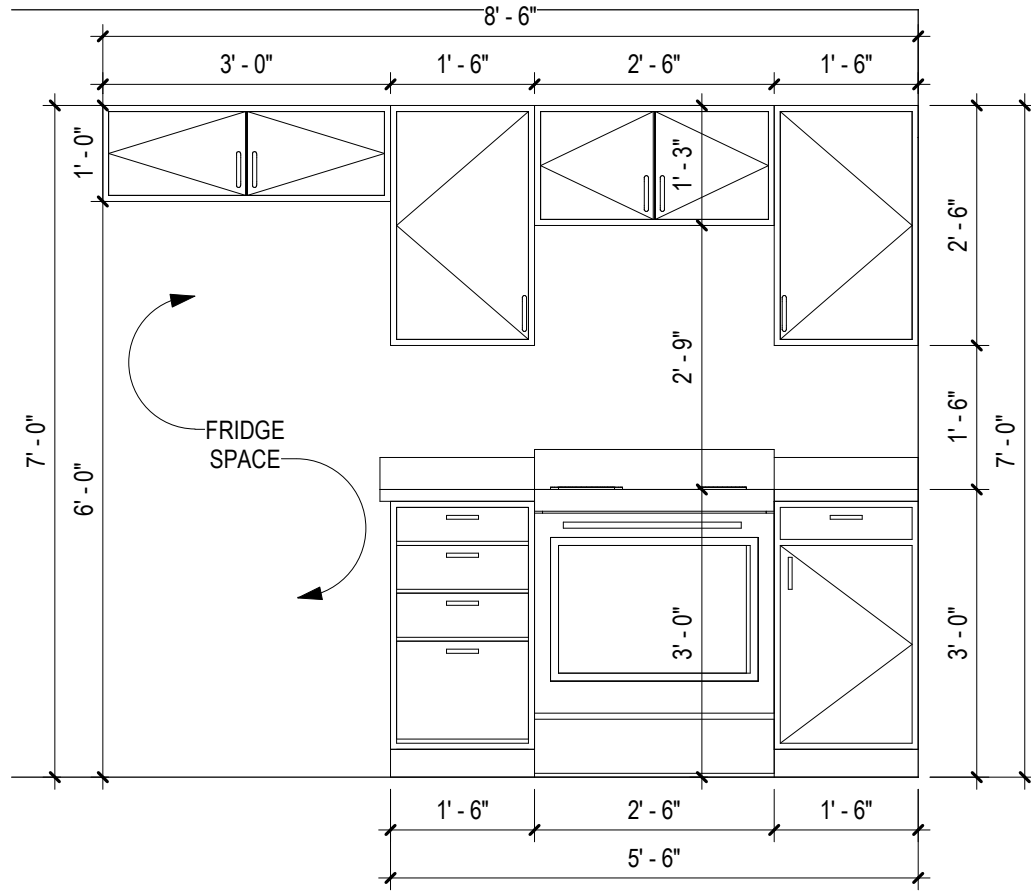
NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN



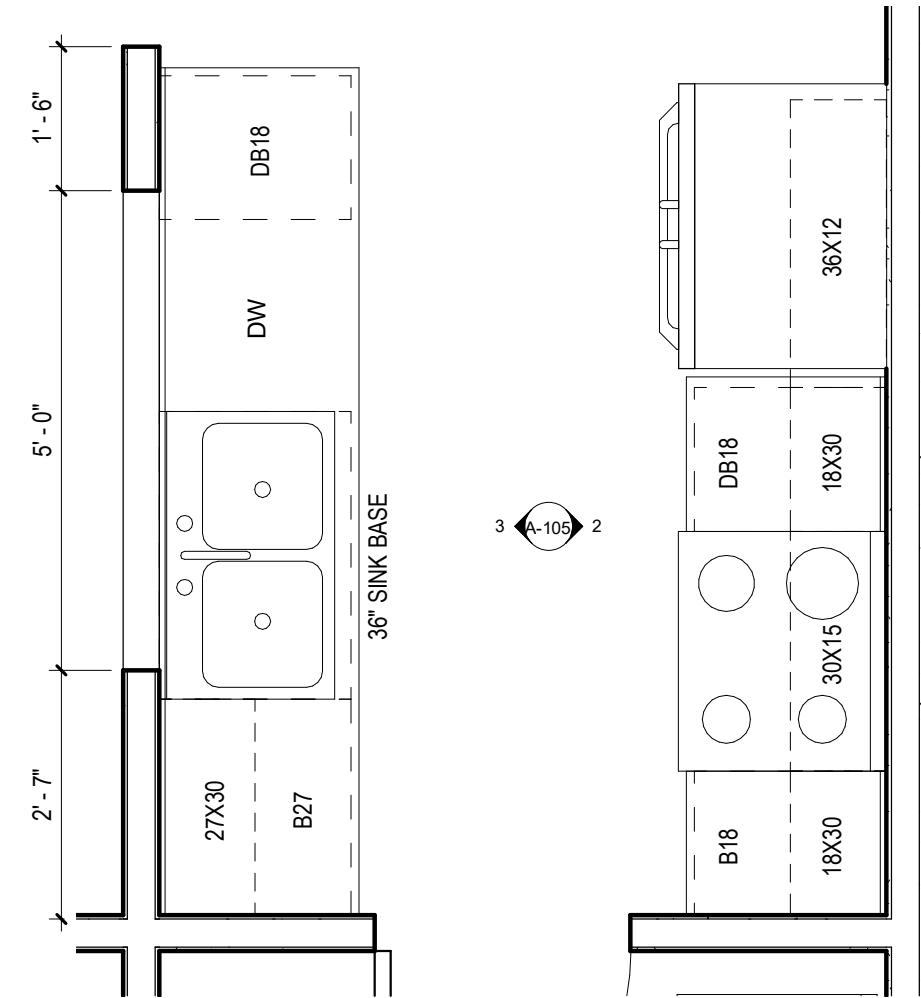
5 UNIT "B" ELEV. @ BATH #2
1/2" = 1'-0"



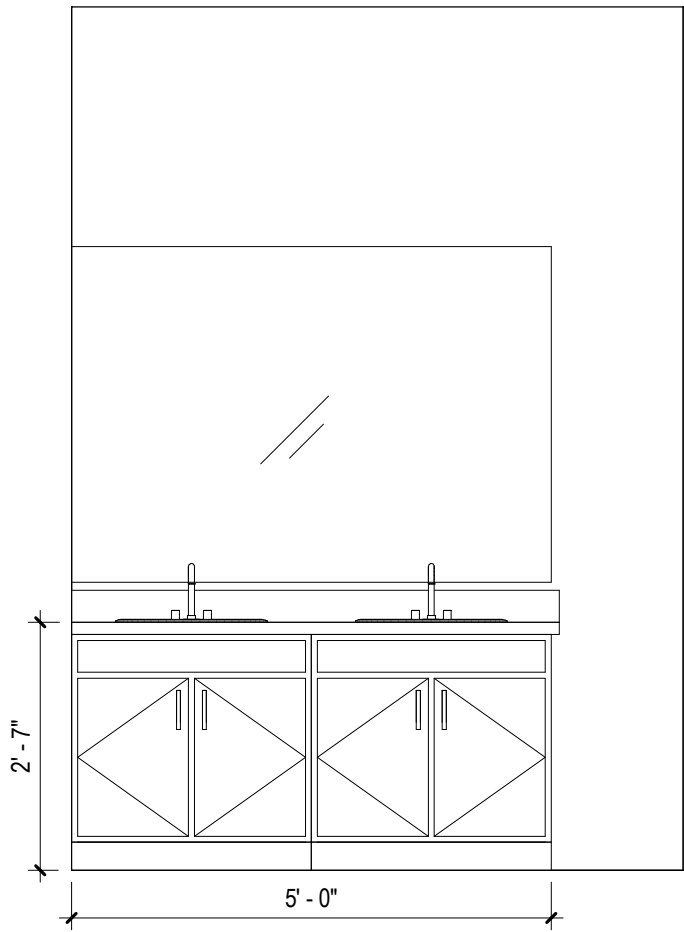
3 UNIT "B" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"



2 UNIT "B" KITCHEN ELEV. - VIEW 1
1/2" = 1'-0"



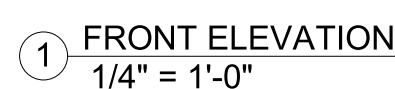
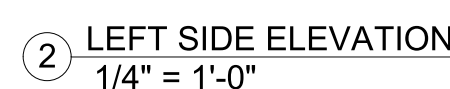
1 UNIT PLAN "B" - ENLARGED KITCHEN
1/2" = 1'-0"



4 UNIT "B" ELEV. @ M. BATH
1/2" = 1'-0"

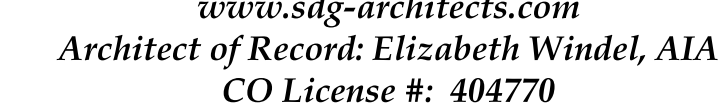
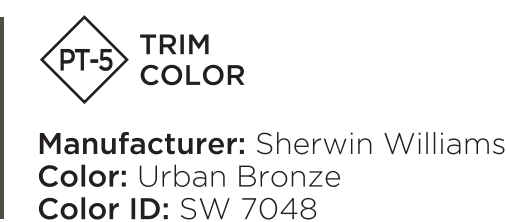
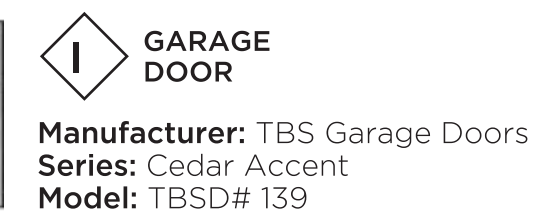
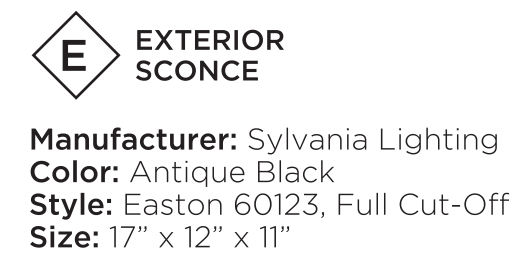
18'-02"
22'-09"
27'-04"
22'-09"
91'-00"
22'-09"

****REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING**



A EXTERIOR
CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



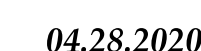
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Project number 2017-5
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Drawn by MML / IPT
Checked by EAW

A-201

EXTERIOR ELEVATIONS

[illegible]
$$1/4" = 1'-0"$$

MATERIALS

A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height

B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels

C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure

D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional

E EXTERIOR SCNCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"

F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White

G EXTERIOR DOOR
Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"

H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108

I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139

PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132

PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025

PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532

PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250

PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"

No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado
BUILDING #7 -
UNITS "B" & "C"
3-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML / IPT
Checked by EAW

A-202
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #8 - UNIT "C" 3 - BEDROOM PLANS LOTS 19-20



ABBREVIATIONS

ABV ABOVE	C (CONT.)	H	O	S (CONT.)
ACC ACCESSIBLE	CT CERAMIC TILE	HB HOSE BIBB	OA OVERALL	SUSP SUSPEND(ED)
ACoust ACoustICAL	CTG COATING	HD HEAD	OC ON CENTER	SY SQUARE YARD
ACT ACoustICAL CEILING TILE	CTR CENTER	HDBD HEAD BOARD	OD OUTSIDE DIAMETER	SYM SYMMETRICAL
AD AREA DRAIN	CY CUBIC YARD(S)	HDBR HARDENER	OFF OFFICE	
ADF ACCESSIBLE DRINKING FOUNTAIN	D	HDWD HARDWOOD	OPNG OPENING	T
ADJ ADJUSTABLE/ ADJACENT	DIA DIAMETER	HDWR HARDWARE	OPP OPPOSITE	T TREAD
ADH ADHESIVE	DIAG DIAGONAL	HM HOLLOW METAL		T&B TOP AND BOTTOM TONGUE AND GROOVE
AESC ACCESSIBLE ELECTRIC WATER COOLER	DIM DIMENSION	HORIZ HORIZONTAL	P	TB TACKBOARD
AFF ABOVE FINISH FLOOR	DN DOWN	HR HOUR	PA PAGE	TEL TELEPHONE
AHJ AUTHORITY HAVING JURISDICTION	DR DOOR	HT HEIGHT	PAAR PARALLEL	TERM TERMINATE
ALAV ACCESSIBLE LAVATORY	DS DOWN SPOUT	HTG HEATING	PARTN PARTITION	TERR TERRAZZO (TERRACE)
ALUM ALUMINUM	DWG DRAWING	HTR HEATER	PCP PORTLAND CEMENT PLASTER	TER TOP OF CURB
ALT ALTERNATE	E	HU HANDICAPPED URINAL	PERP PERPENDICULAR	TOM TOP OF MASONRY
AMI ACCESSIBLE MIRROR	E EAST	HYD HYDRANT	PLAM PLASTIC LAMINATE	TPD TOILET PAPER DISPENSER
APPROX APPROXIMATE(LY)	EA EACH		PL PROPERTY LINE	TRANS TRANSFORMER
APPD APPROVED	EACH FACE		PLAS PLASTER	TS TUBE STEEL
ASD ACCESSIBLE SOAP DISPENSER	ELEC ELECTRICAL		PLBG PLUMBING	TYP TYPICAL
ASH ACCESSIBLE SHOWER HEAD	ELEV ELEVATION		PLYWD PLYWOOD	
ATTEN ATTENUATION	EJ EXPANSION JOINT		PNL PANEL	U URINAL
AU ACCESSIBLE URINAL	EQ EQUAL		PNLG PANELING	UNO UNLESS NOTED OTHERWISE
	EW EACH WAY		PR POURED GYPSUM	US UTILITY SHELF
	EWC ELECTRIC WATER COOLER		PREFAB PREFABRICATED	
	EXH EXHAUST		PT PAINT	V
	EXIST EXISTING	J	PTD PAINTED	VENT VENTILATE
	EXP EXPANSION	JST JOIST	PTR PAPER TOWEL	VER VERIFY
	EXT EXTERIOR	JT JOINT		VTR VENT THRU ROOF
				VCT VINYL COMPOSITE TILE
B	F	K	R	
BEY BEYOND	FA FIRE ALARM	KIT KITCHEN	R RADIUS	
BD BOARD	FD FLOOR DRAIN		RA RETURN AIR	W WEST
BLDG BUILDING	FDN FOUNDATION	L	RCP REFLECTED CEILING PLAN	WC WATER CLOSET
BLK BLOCK	FE FIRE EXTINGUISHER	LAM LAMINATE	RD ROOF DRAIN	WD WOOD
BLKG BLOCKING	FEB FIRE EXTINGUISHER BRACKET	LAV LAVATORY	RECP RECEPTACLE	WDW WINDOW
BM BENCH MARK	FEC FIRE EXTINGUISHER CABINET	LGTH LENGTH	REF REFRIGERATOR	WF WIDE FLANGE
BO BY OTHERS	FF FINISH FLOOR	LKR LOCKER	REINF REINFORCING	WH WALL HYDRANT
BOT BOTTOM (OF)	FH FIRE HOSE	LT LIGHT	REV REVERSE(D)	WT T SECTION
BRG BEARING	FHC FIRE HOSE CABINET		REQD REQUIRED	WWF WELDED WIRE FABRIC
BRKT BRACKET	FIN FINISH	M	RFG ROOFING	W/ WITH
BSMT BASEMENT	FIX FIXTURE	MAS MASONRY	RPH ROLLED PAPER HOLDER	W/O WITHOUT
BTWN BETWEEN	FLR FLOOR	MAS BLK MASONRY BLOCK		
BUR BUILT UP ROOFING	FLASH FLASHING	MATL MATERIAL	S	
	FLEX FLEXIBLE	MAX MAXIMUM	S SCHEDULE	
C	FT FOOT	MB MARKER BOARD	SCHED SCHEDULE	
CAB CABINET	FTG FOOTING	MC MISC. CHANNEL	SCR SHOWER CURTAIN ROD	
CB CHALKBOARD		MECH MECHANICAL	SD SOAP DISPENSER	
CC CENTER TO CENTER		MFR MANUFACTURE(R)	SECTION SECTION	
CEM CEMENT(IOUS)		MH MANHOLE	SH SHOWER HEAD	
CI CAST IRON		MI MIRROR	SHT SHEET	
CFM CUBIC FEET PER MINUTE		MIN MINIMUM	SHWR SHOWER	
CJ CONTROL JOINT		MO MASONRY OPENING	SIM SIMILAR	
CL CENTERLINE		MTD MOUNTED	SMLS SEAMLESS	
CLG CEILING		MTG HT MOUNTING HEIGHT	SNO SANITARY NAPKIN DISPENSER	
CLR CLEAR		MTL METAL	SPC SPECIAL COATING	
CMP CORRUGATE METAL PIPE			SPK SR	
CO CLEANOUT			SQ SQUARE	
COL COLUMN			SS SEAMLESS STEEL	
COMB COMBINATION			STD STANDARD	
CONC CONCRETE			STL STEEL	
CONN CONNECTION			STOR STORAGE	
CONT CONTINUOUS			STRUCT STRUCTURAL	
CONTR CONTRACTOR				
CONST CONSTRUCTION				
CORR CORRIDOR				
CLSRM CLASSROOM				
CSK COUNTERSINK				

MATERIAL INDICATIONS

	EARTH/ PREPARED SUBGRADE
	GRAVEL, STONE
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	BRICK
	SAND,GROUT,MORTAR
	IRON,STEEL
	ALUMINUM
	SHIM
	WOOD BLOCKING
	CERAMIC TILE
	CARPET
	ACOUSTIC PANEL CEILING SYSTEM
	GYPSUM WALLBOARD
	PLASTER
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	TERRAZZO



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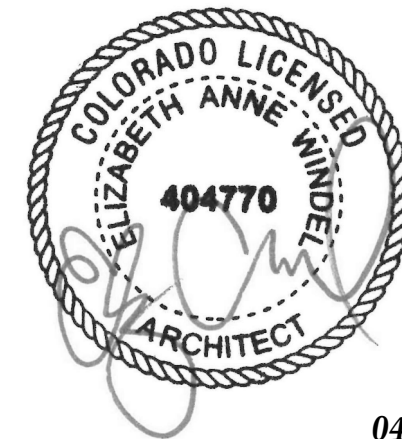
The Prospect Homestead
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Butte, Colorado

BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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04.28.2020

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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

C
COVER SHEET

SCALE:

12" = 1'-0"

GENERAL NOTES

STANDARDS AND REGULATIONS

1.CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-ASSEMBLY TESTS AND STANDARDS.

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK REQUIRED.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7.CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

1.THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A.FACE OF STUD
B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.
C.TO TOP OF STRUCTURAL DECK
D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION. ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2."CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3."MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

4."MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5."TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."-/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND/OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH.

5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS GUIDELINES SET FORTH IN THESE DOCUMENTS.

6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE.

3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE REQUIREMENTS.

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

FLOOR LOADS.....50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS.** ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

PROJECT TEAM

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No.	Description	Date



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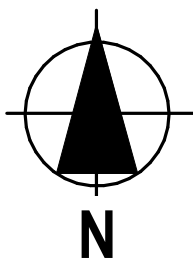
LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

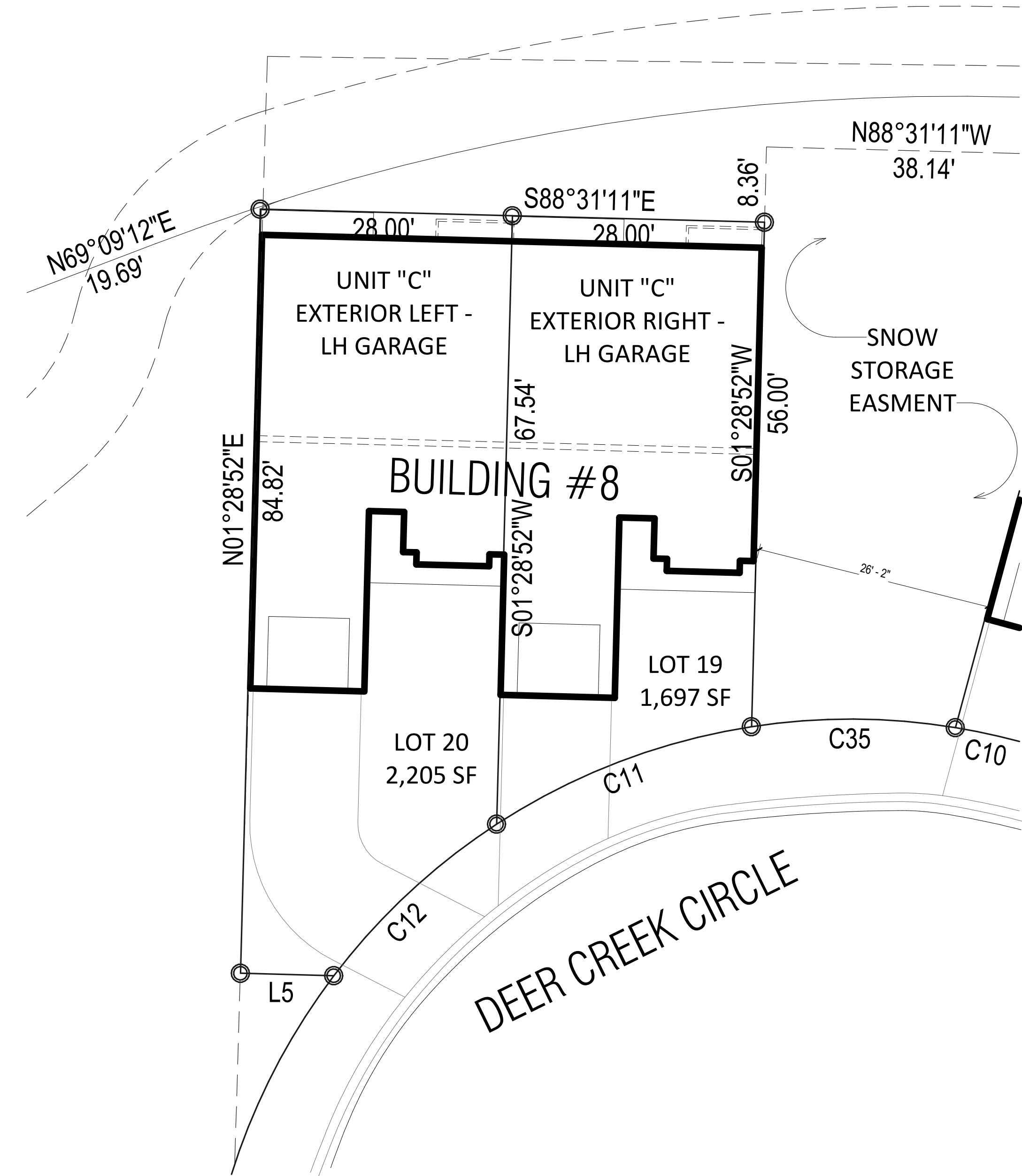
CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31"W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26"W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"



No.	Description	Date



1 PLOT PLAN
1" = 10'-0"

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-100
PLOT PLAN

SCALE: As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - 32-29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY/PATIO DOORS: RELIABLT 6-PANEL STEEL ENTRY DOOR.
2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
4. MECHANICAL ROOM DOOR: RELIABLT FLUSH LAUAN STEEL DOOR
5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

1. R15 BLOWN WALL: CERTAINTED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
3. ENERGY SEAL PACKAGE: SODUAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
7. DO NOT SCALE DRAWINGS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
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PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
2. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
3. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
4. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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04.28.2020

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5

Date 04.28.2020

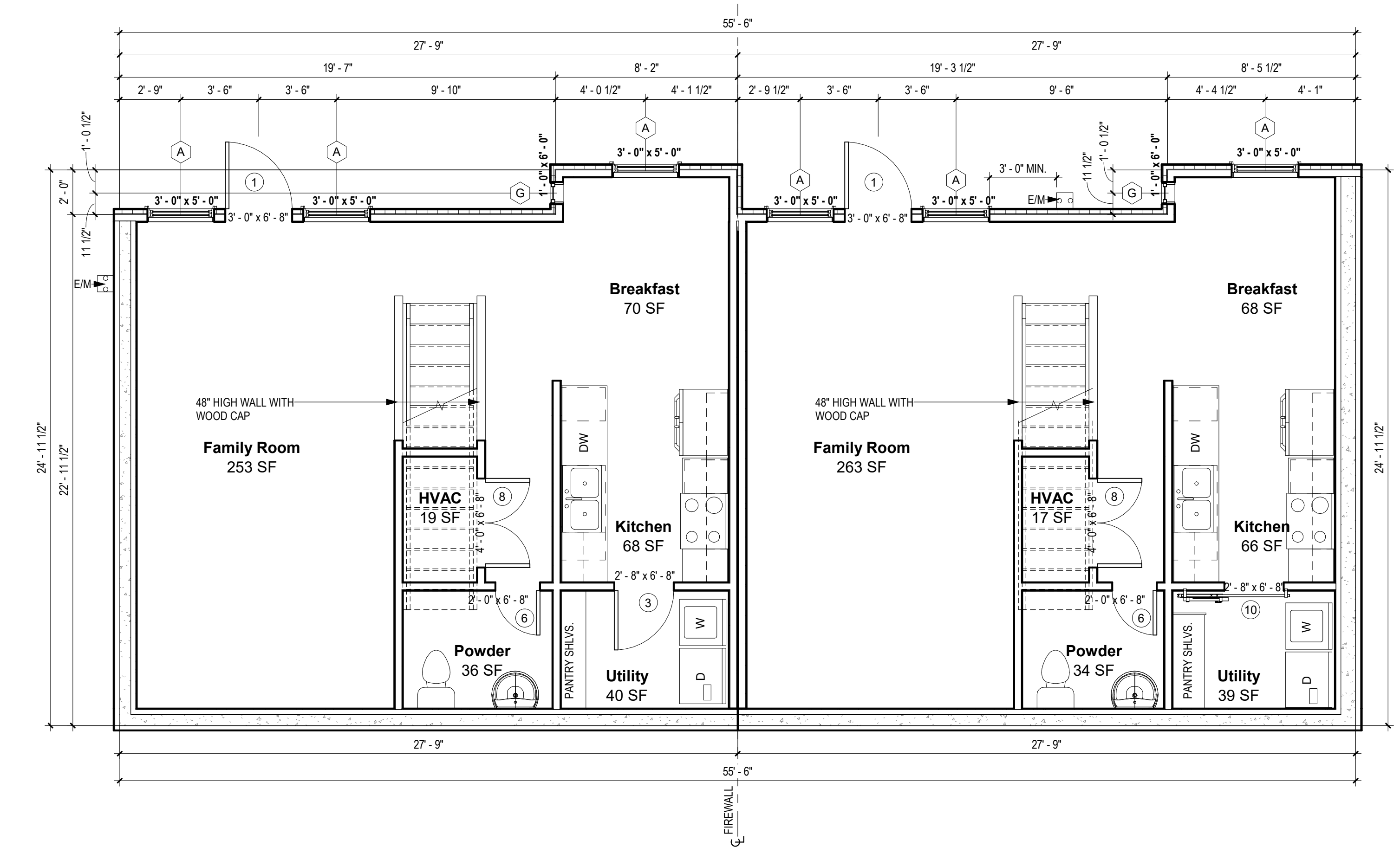
Drawn by MML

Checked by EAW

A-101

BUILDING #8 - 1ST FLOOR PLANS

SCALE: As indicated



1 BUILDING #8 - 1ST FLOOR PLAN

1/4" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES -.32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:
ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTANTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- 3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- 4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
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- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
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CO License #: 404770

CONSULTANTS:

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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04.28.2020

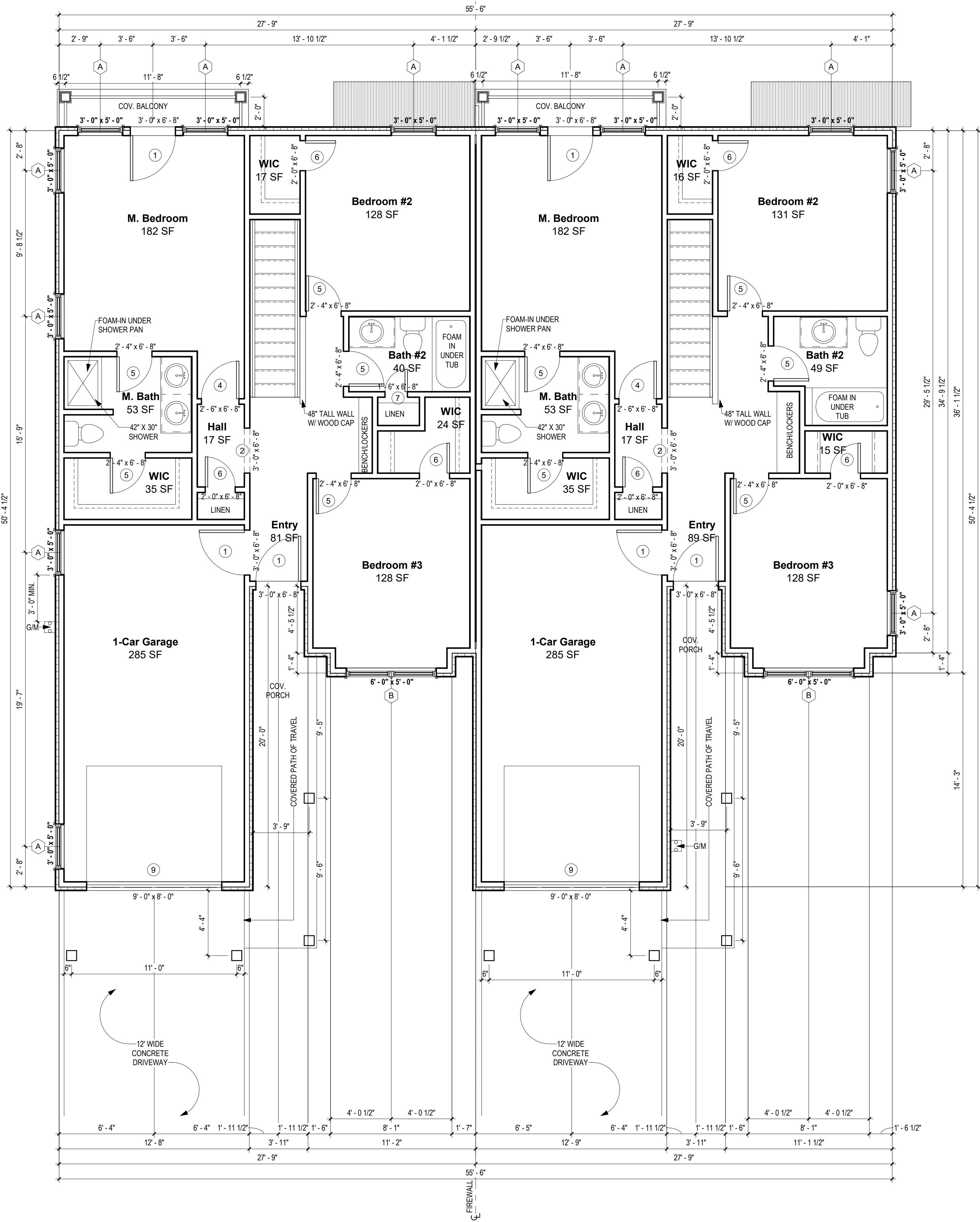
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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.1
BUILDING #8 - 2ND
FLOOR PLAN

SCALE:

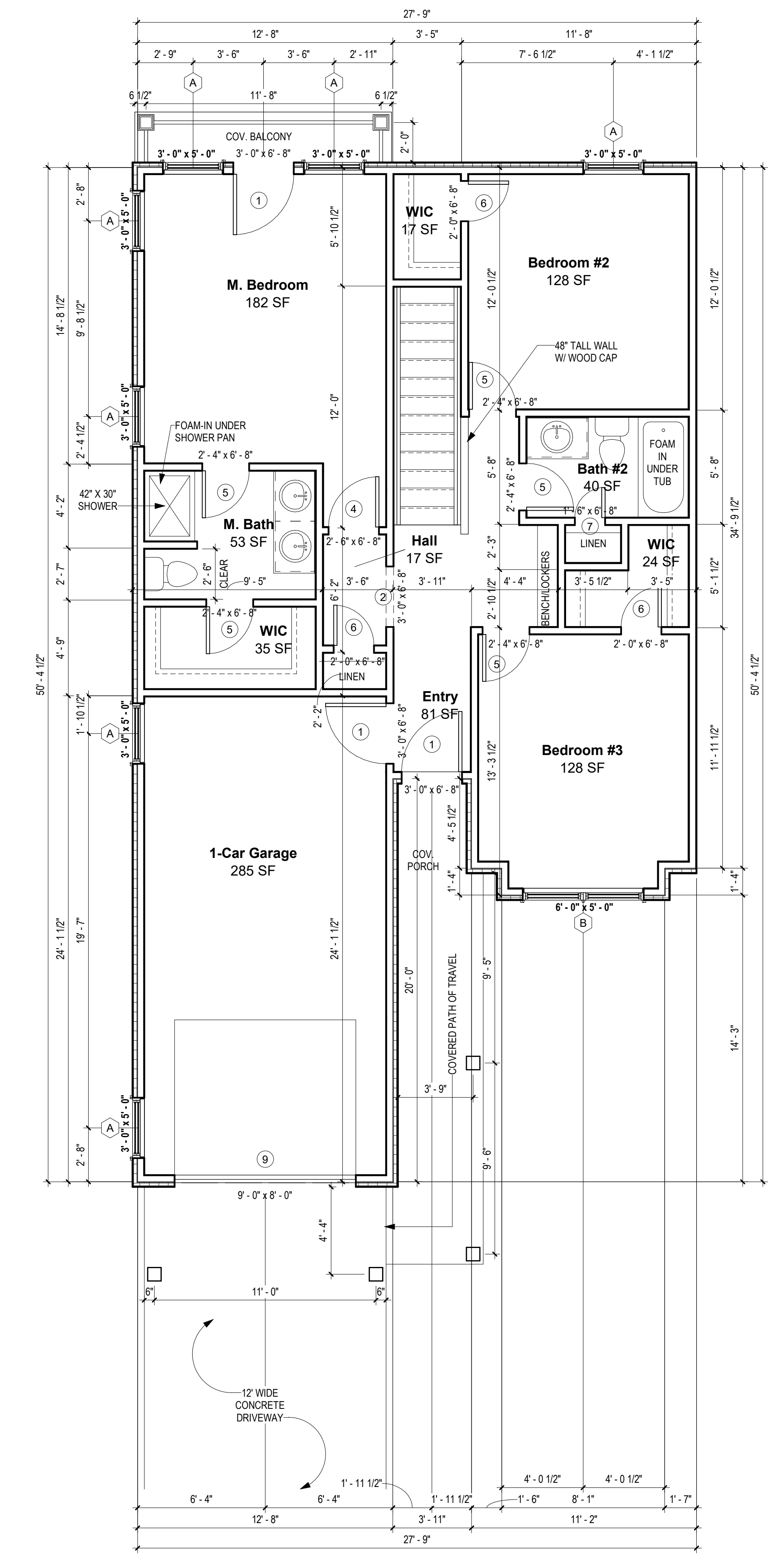
As indicated



1 BUILDING #8 - 2ND FLOOR PLAN
1/4" = 1'-0"

NOTES

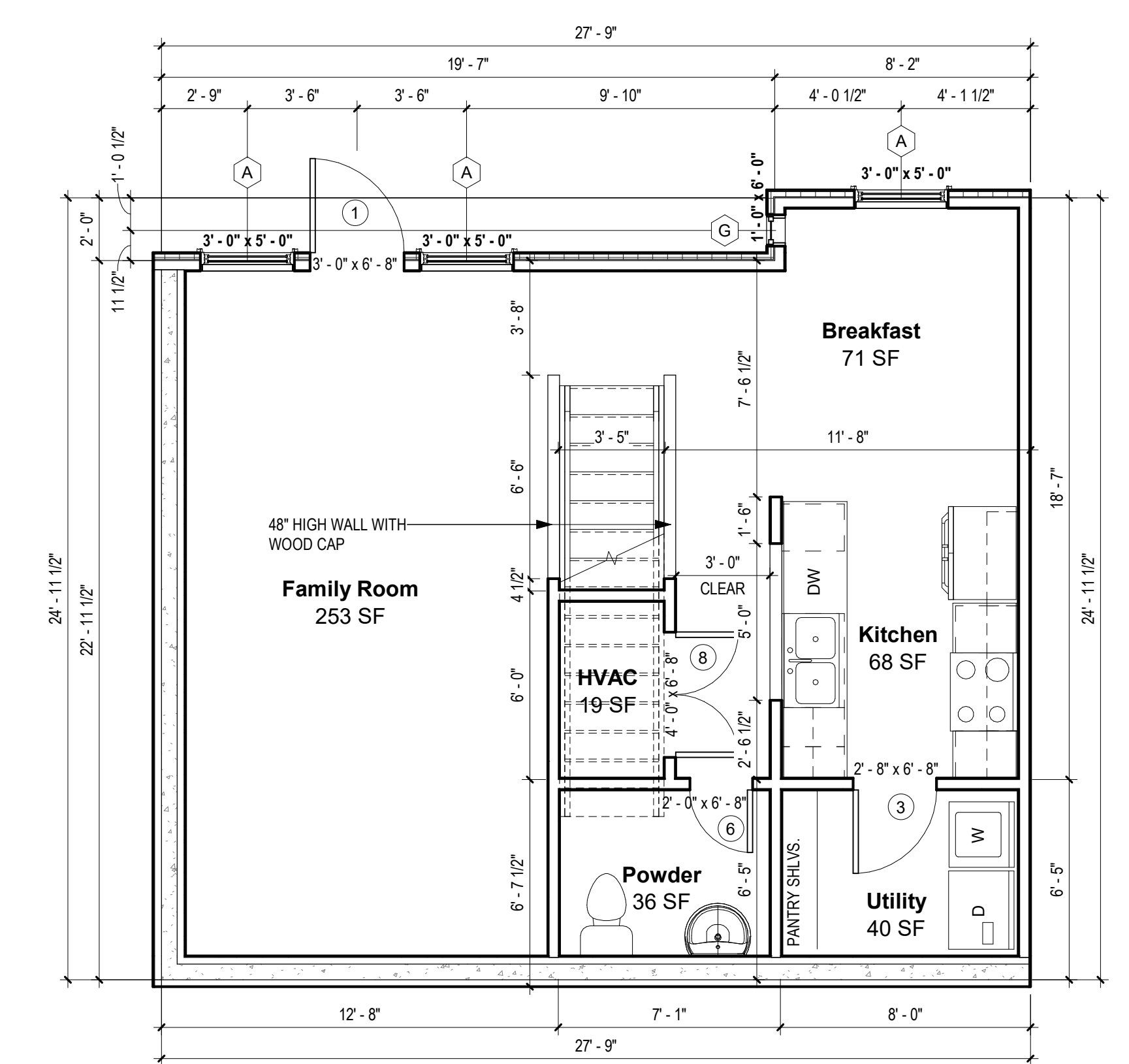
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



UNIT PLAN C - EXT. LEFT 2ND FLOOR -
LH GARAGE
1/4" = 1'-0"

WINDOW INFORMATION:
ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - 32-29
2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



UNIT PLAN C - EXT. LEFT 1ST FLOOR -
LH GARAGE
1/4" = 1'-0"

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5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
3. ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
4. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
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6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

1. SEE COVER SHEET FOR GENERAL NOTES.
2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
5. ALL WORK NEW UNLESS NOTED OTHERWISE.
6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
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BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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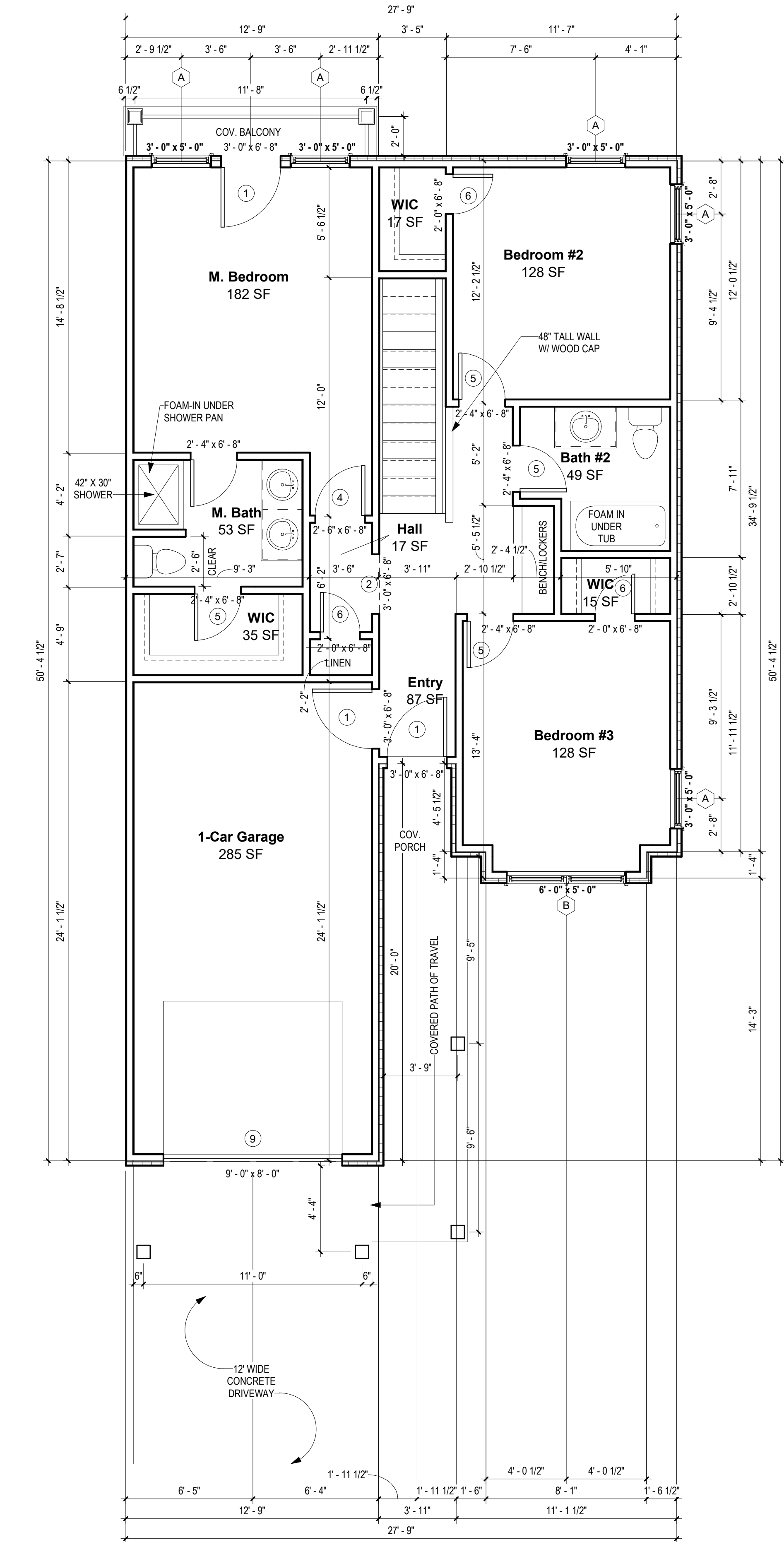
Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-101.2
UNIT "C" EXT. LEFT
PLANS

SCALE: As indicated

NOTES

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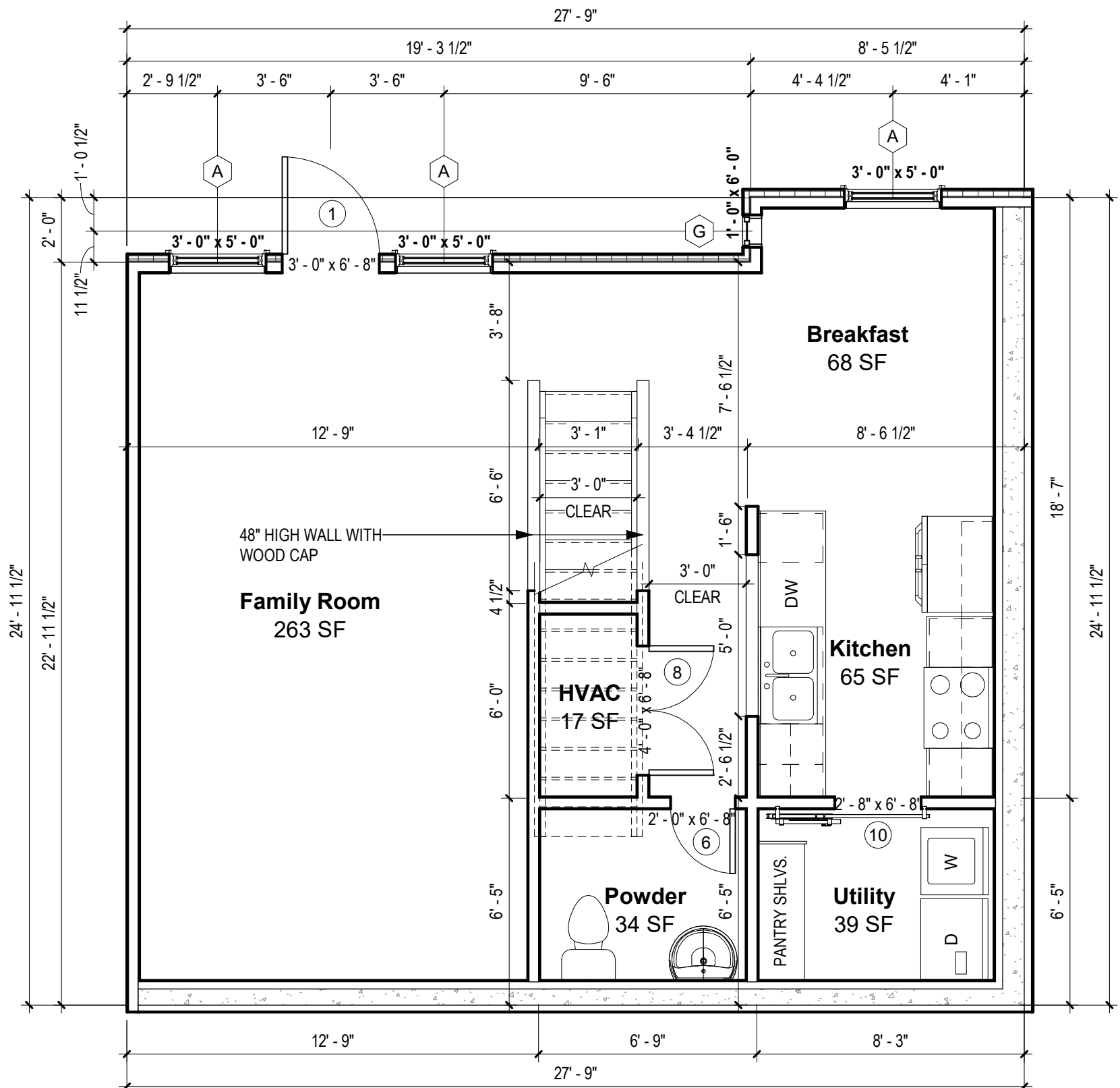


UNIT PLAN C - EXT. RIGHT 2ND FLOOR -
LH GARAGE
1/4" = 1'-0"

WINDOW INFORMATION:

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UNIT PLAN C - EXT. RIGHT 1ST FLOOR -
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10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY. TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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CO License #: 404770

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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado
BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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04.28.2020

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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-101.3
UNIT "C" EXT. RIGHT
PLANS

SCALE:

As indicated



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Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-102
ROOF PLAN

SCALE: As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

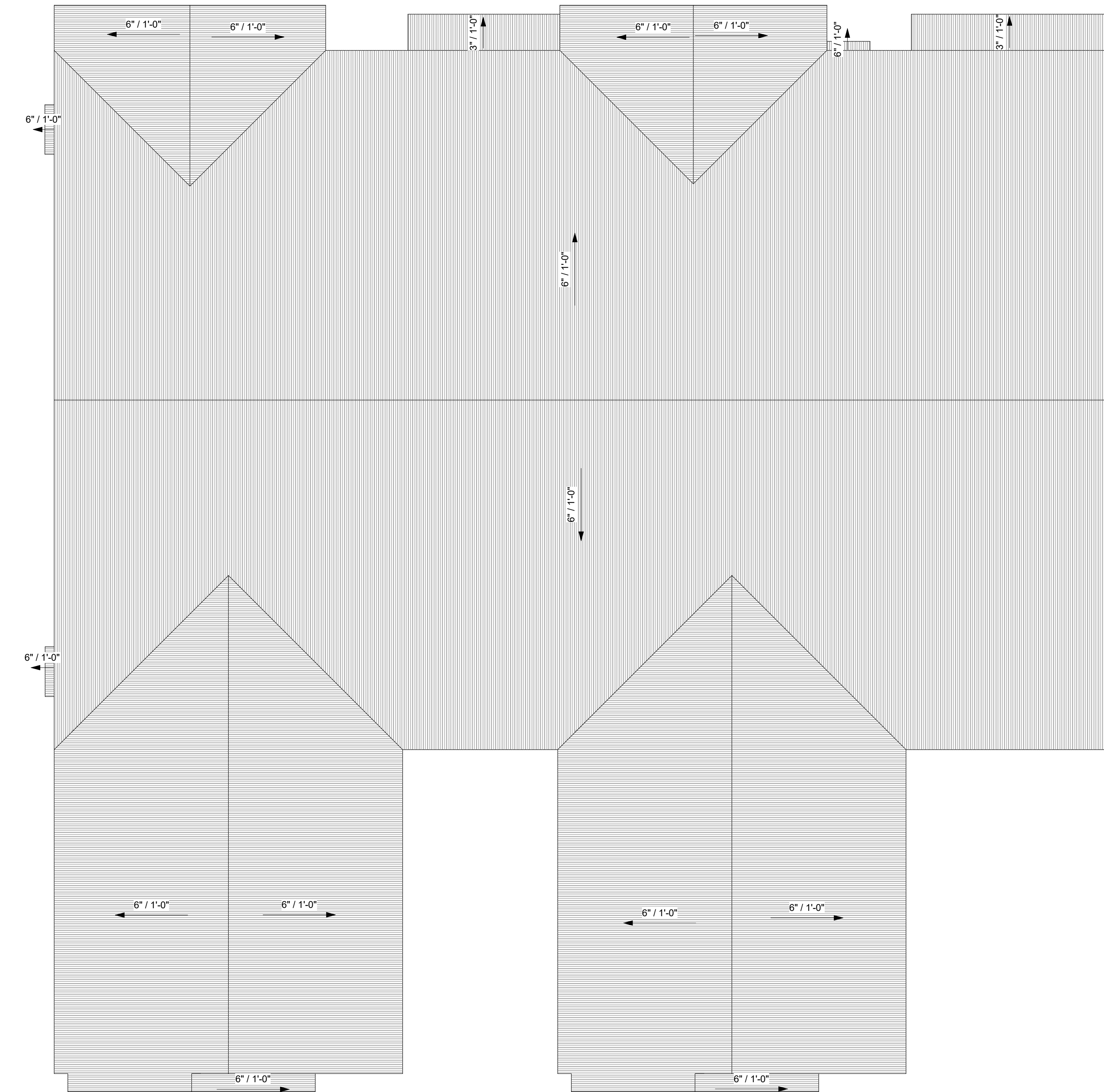
- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- ROOF PITCH - 6:12 UNLESS NOTED OTHERWISE ON PLAN
- ALL HIPs, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- ALL SPANS OVER 14' WILL BE BRACED AS INDICATED ON PLAN.
- PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

- AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE :

- ALL ROOF PLANES WILL BE 6:12 PITCH
- PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



1 ROOF PLAN
1/4" = 1'-0"










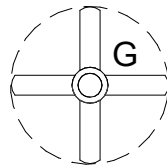


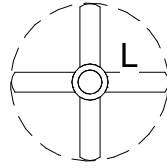

No.	Description	Date

GENERAL ELECTRICAL NOTES:

- 1
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11
- COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12
- 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1
- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE					
	A	WALL MOUNT FIXTURE, 36" WIDE		K	BATHROOM EXHAUST FAN
	B	SURFACE MOUNT FIXTURE, 11 1/4" DIA.		L	PHONE / DATA
	C	SURFACE MOUNT FIXTURE, 15 1/4" DIA.		M	PHONE
	D	WALL MOUNT FIXTURE, 24" WIDE		N	CABLE
	E	5-LIGHT CHANDELIER		G	52" FAN, WITH LIGHT KIT
	F	EXTERIOR FLOODLIGHT			
	H	GOOSENECK LIGHT - FULL CUT-OFF		L	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	J	RECESSED CAN LIGHT, PROVIDE CFL BULBS			
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS					



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BUILDING #8 -
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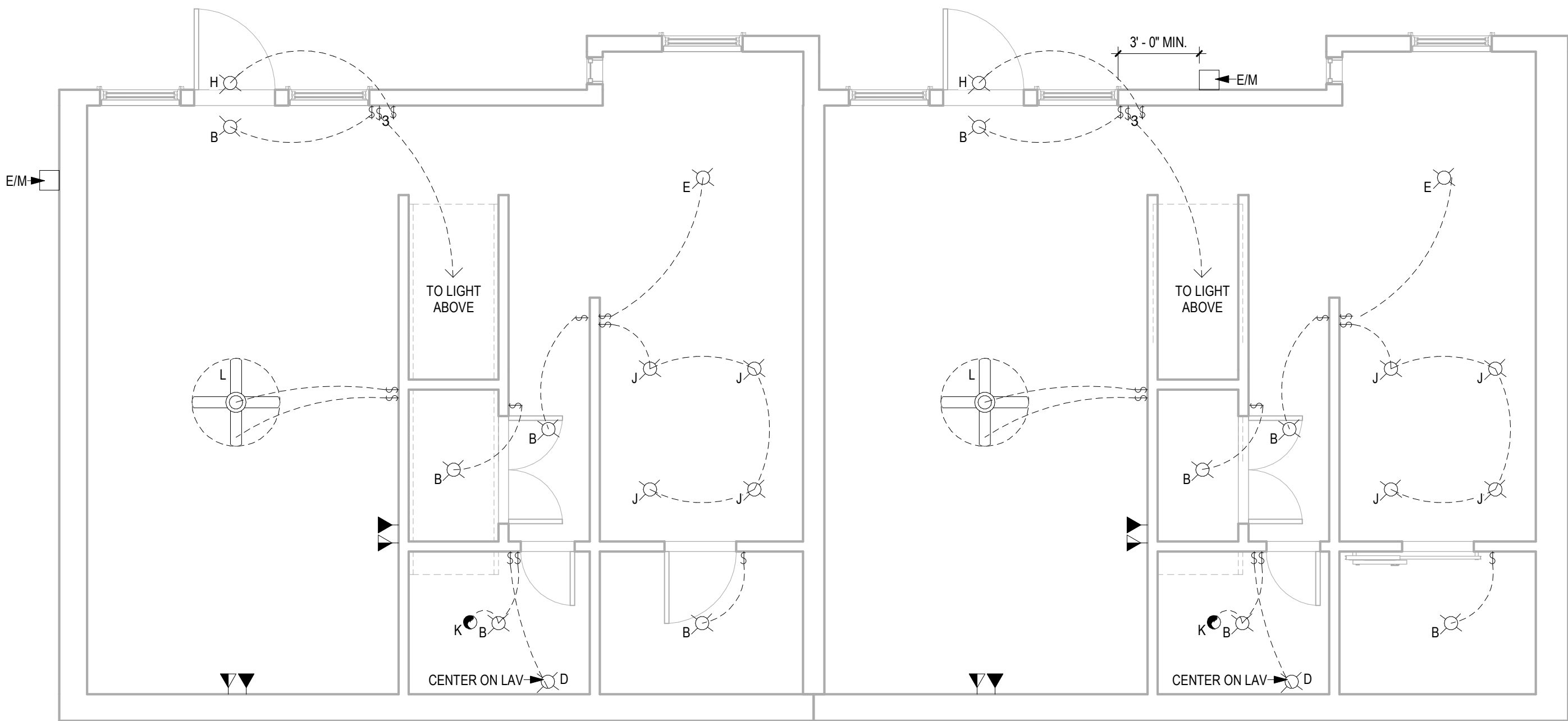
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DOCUMENTS

Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-103
BUILDING #8 -
ELECTRICAL PLAN
1ST FLOOR

SCALE:

As indicated



1 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"

No.	Description	Date

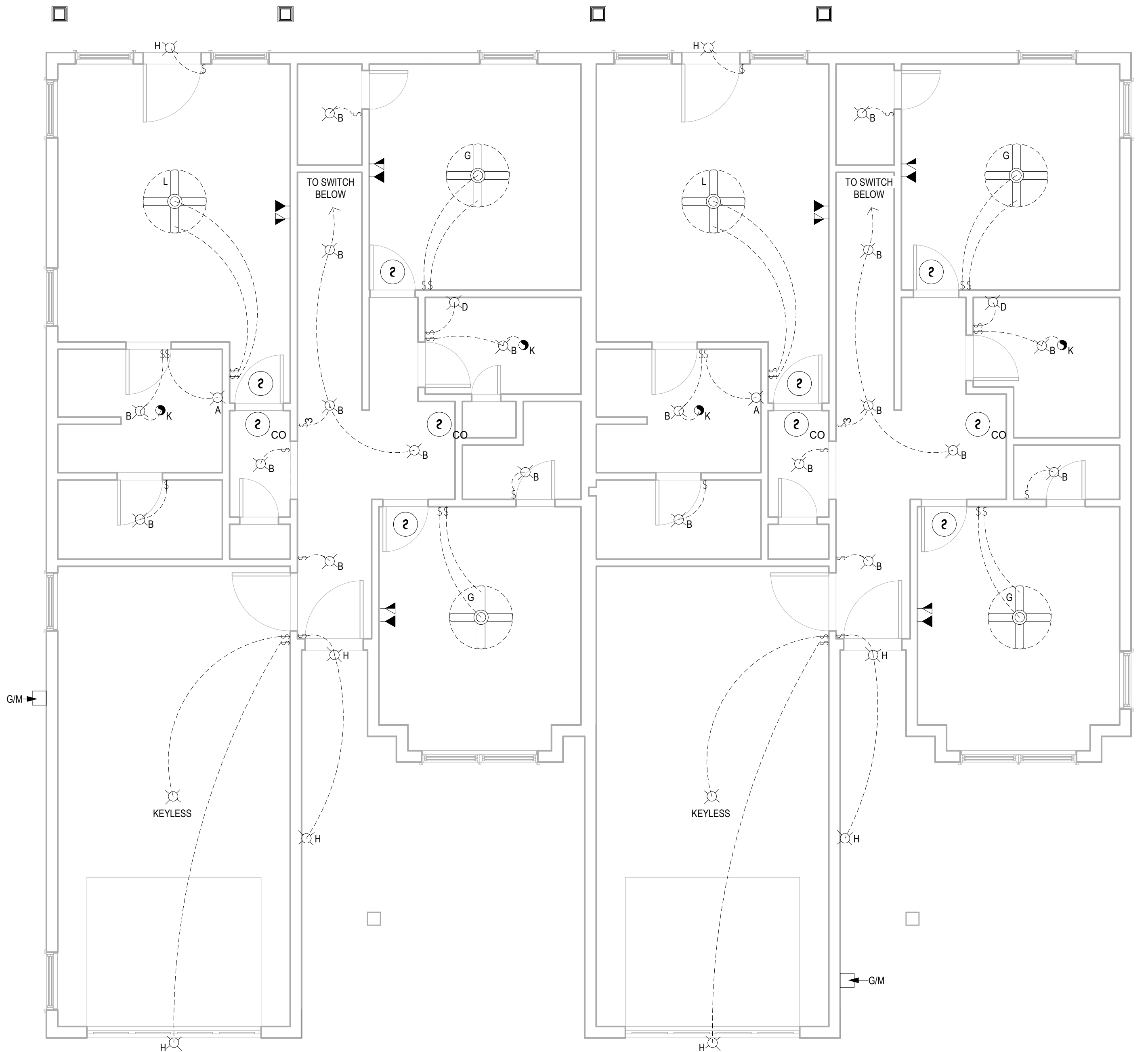
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ELECTRICAL LEGEND / SCHEDULE			
	WALL MOUNT FIXTURE, 36" WIDE		BATHROOM EXHAUST FAN
	SURFACE MOUNT FIXTURE, 11 1/4" DIA.		PHONE / DATA
	SURFACE MOUNT FIXTURE, 15 1/4" DIA.		PHONE
	WALL MOUNT FIXTURE, 24" WIDE		CABLE
	5-LIGHT CHANDELIER		52" FAN, WITH LIGHT KIT
	EXTERIOR FLOODLIGHT		52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS
	GOOSENECK LIGHT - FULL CUT-OFF		
	RECESSED CAN LIGHT, PROVIDE CFL BULBS		
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS			



1 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"

No.	Description	Date



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The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

**BUILDING #8 -
UNIT "C"**

3-BEDROOM PLANS

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04.28.2020

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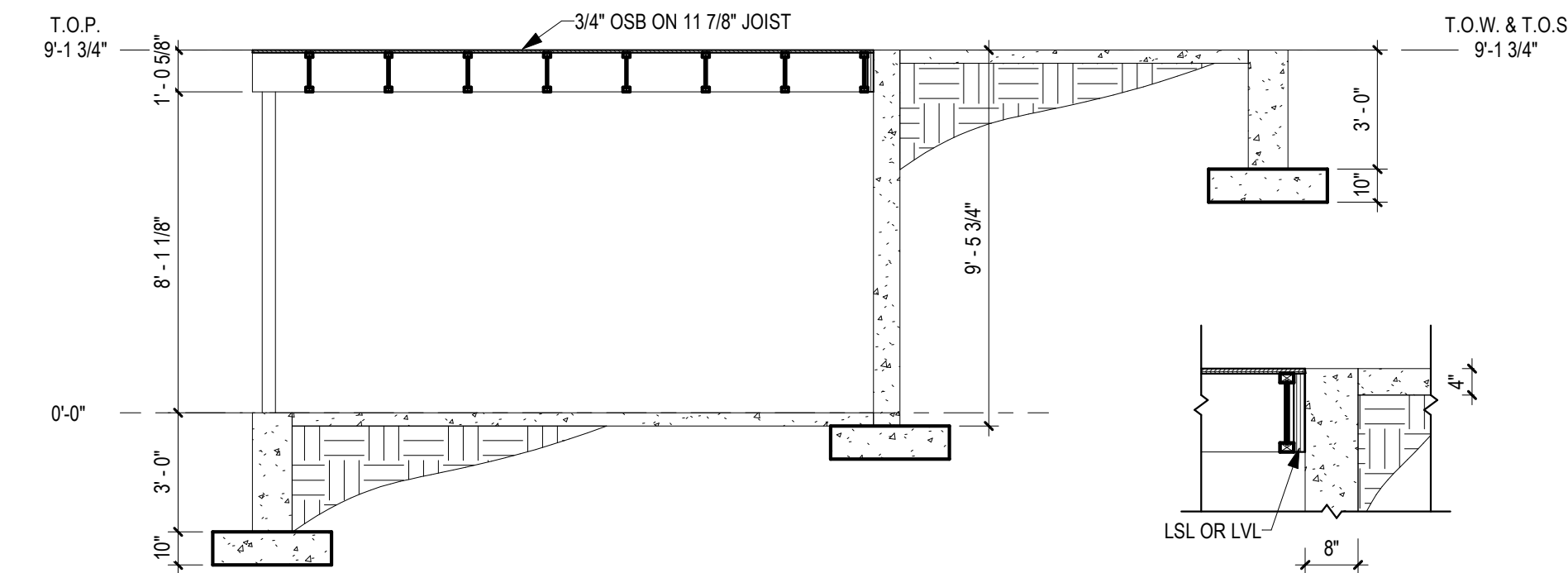
A-103.1
BUILDING #8 -
ELECTRICAL PLAN
2ND FLOOR

SCALE: As indicated

DOOR SCHEDULE			
Type Mark	Width	Height	Comments
①	3' - 0"	6' - 8"	
②	3' - 0"	6' - 8"	
③	2' - 8"	6' - 8"	
④	2' - 6"	6' - 8"	
⑤	2' - 4"	6' - 8"	
⑦	1' - 6"	6' - 8"	
⑧	4' - 0"	6' - 8"	
⑨	9' - 0"	8' - 0"	
⑩	2' - 8"	6' - 8"	

WINDOW SCHEDULE			
Type Mark	Width	Height	Type
A	3' - 0"	5' - 0"	
B	6' - 0"	5' - 0"	
G	1' - 0"	6' - 0"	

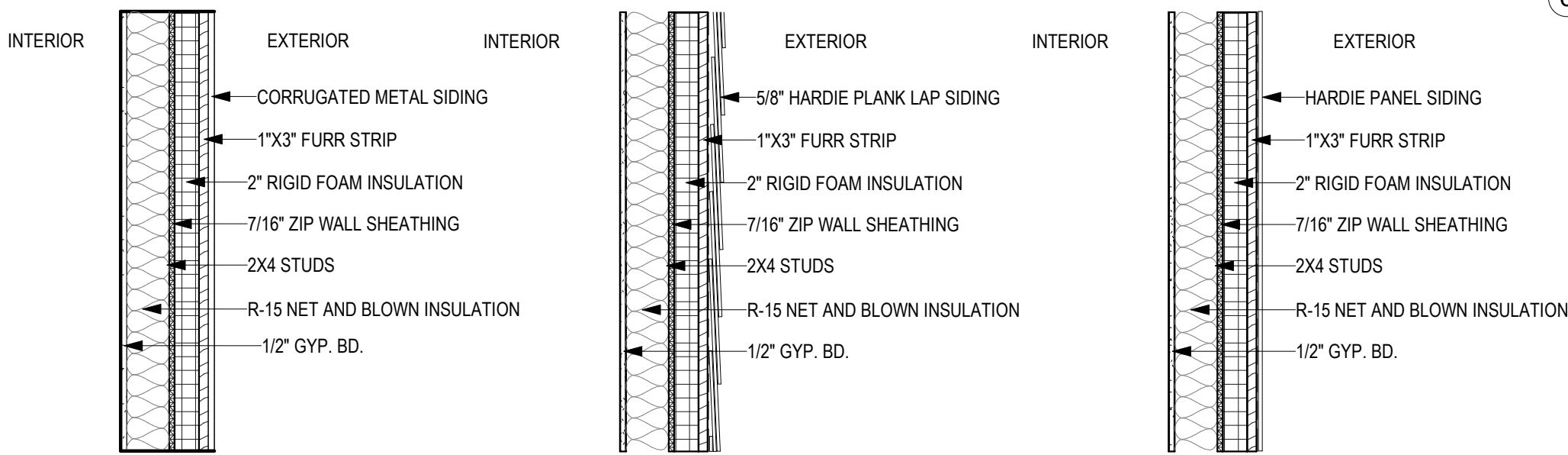
PLUMBING FIXTURE SCHEDULE	
Count	Description
4	'CADET PEDESTAL' Basin, Center hole only, 24-1/2" x 19-3/4" x 35" (622mm x 502mm x 889mm) high, vitreous china, sculptured bowl, spacious shelf area, rear overflow, and mounting kit.
12	19" X 19" ROUND VANITY SINK
4	36" X 21" DOUBLE KITCHEN SINK
4	42 X 30 SHOWER
4	SHOWER/TUB COMBO
12	TOILET - STANDARD HT.



⑫ BUILDING SECTION
1/4" = 1'-0"

⑬ BUILDING SECTION DETAIL
1/2" = 1'-0"

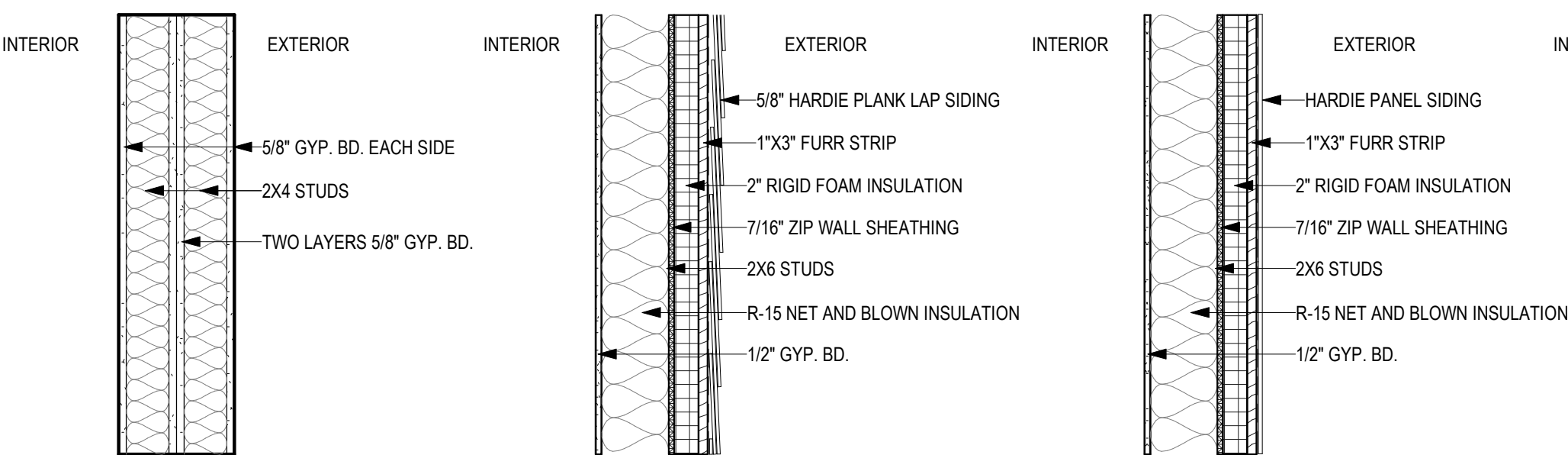
**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



TYPE 1
EXTERIOR CORRUGATED METAL WALL

TYPE 2
EXTERIOR (2X4) HARDIE-PLANK - HORIZONTAL LAP WALL

TYPE 3
EXTERIOR (2X4) HARDIE-PANEL WALL

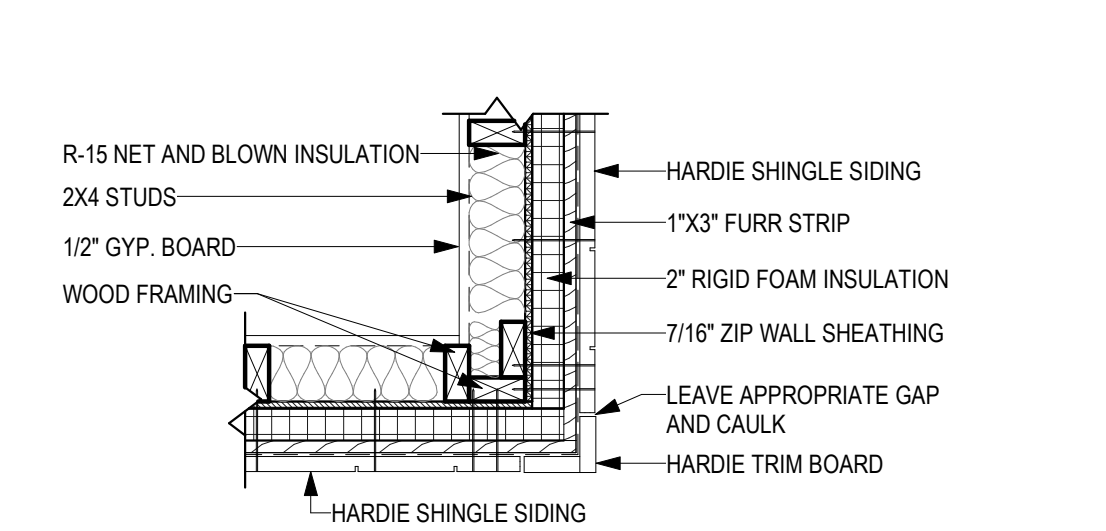


TYPE 4
FIRE WALL

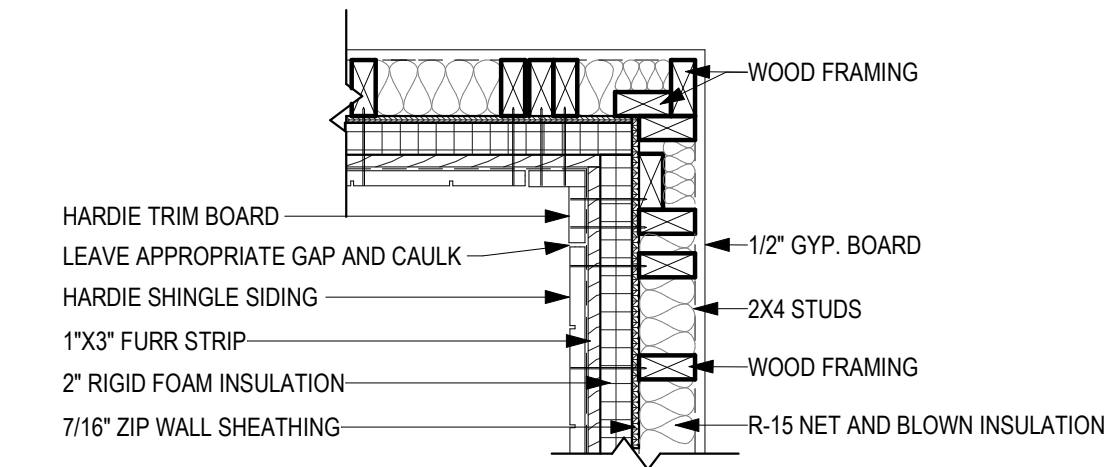
TYPE 5
EXTERIOR (2X6) HARDIE-PLANK - HORIZONTAL LAP WALL

TYPE 6
EXTERIOR (2X6) HARDIE-PANEL WALL

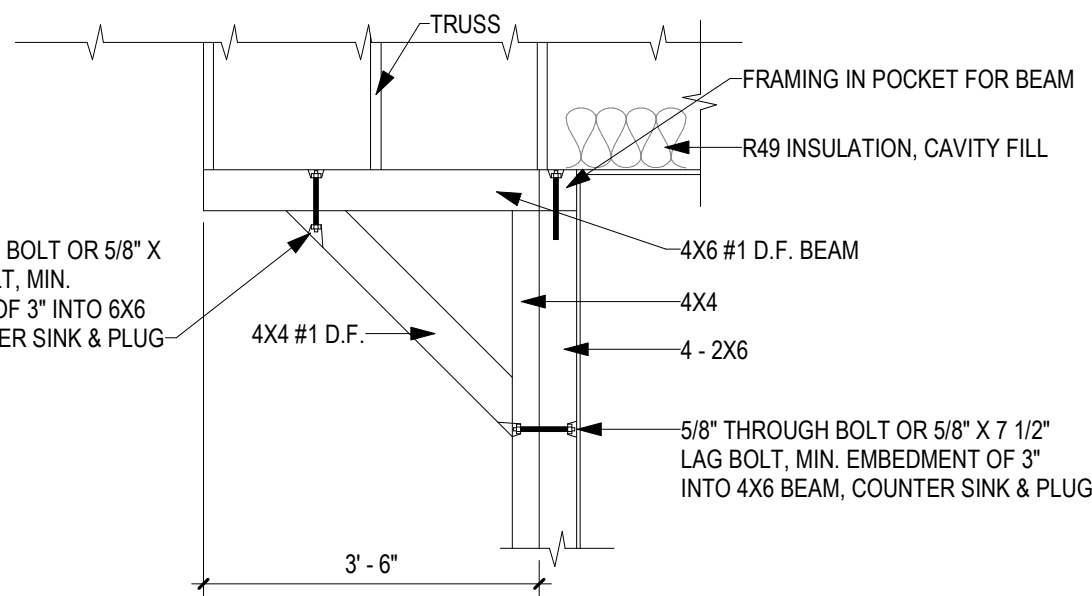
⑪ WALL TYPE LEGEND
1" = 1'-0"



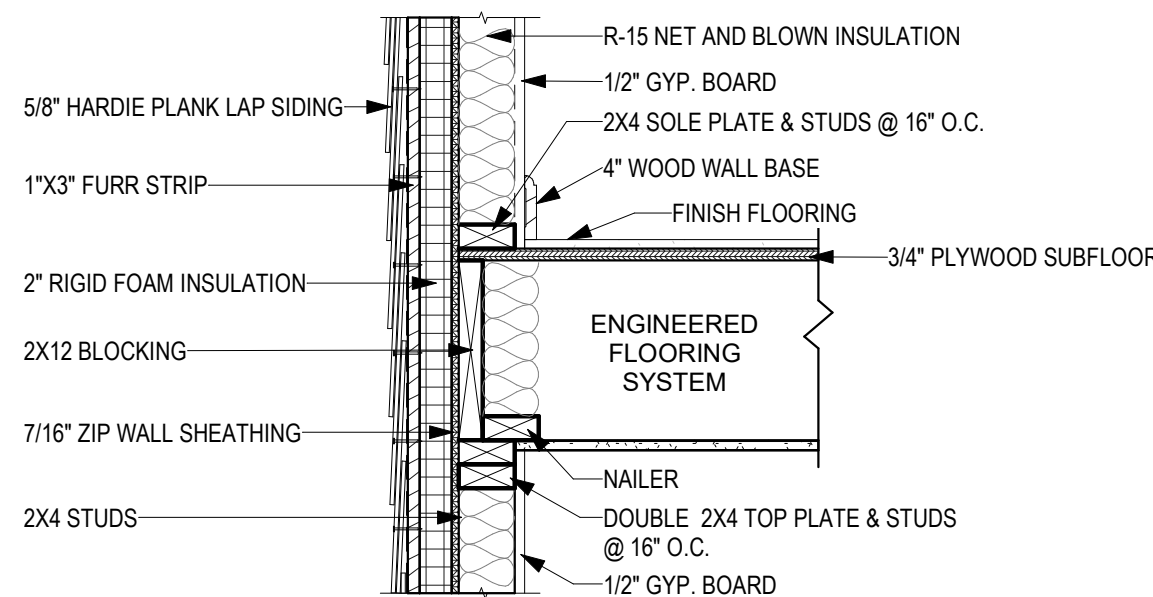
⑩ HARDIE OUTSIDE CORNER
1" = 1'-0"



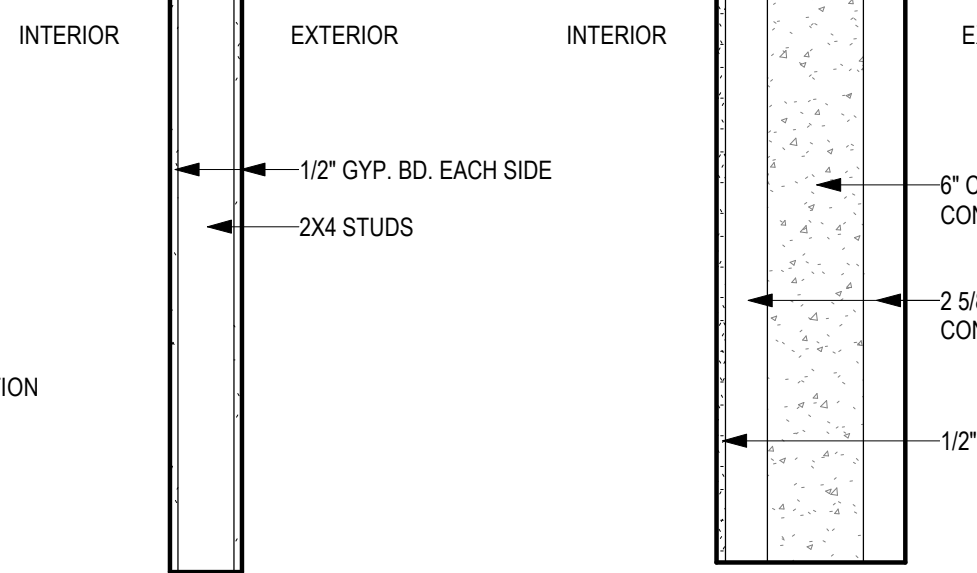
⑨ HARDIE INSIDE CORNER
1" = 1'-0"



⑥ ANGLE BRACING
NOT TO SCALE

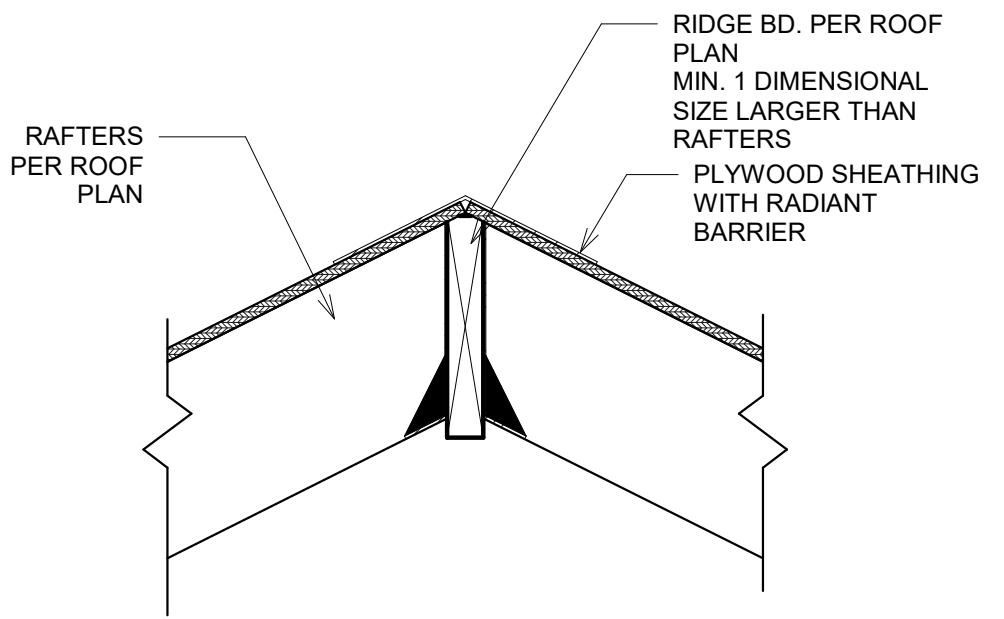


⑤ HARDIE WALL SECTION @ 2ND FLOOR
1" = 1'-0"

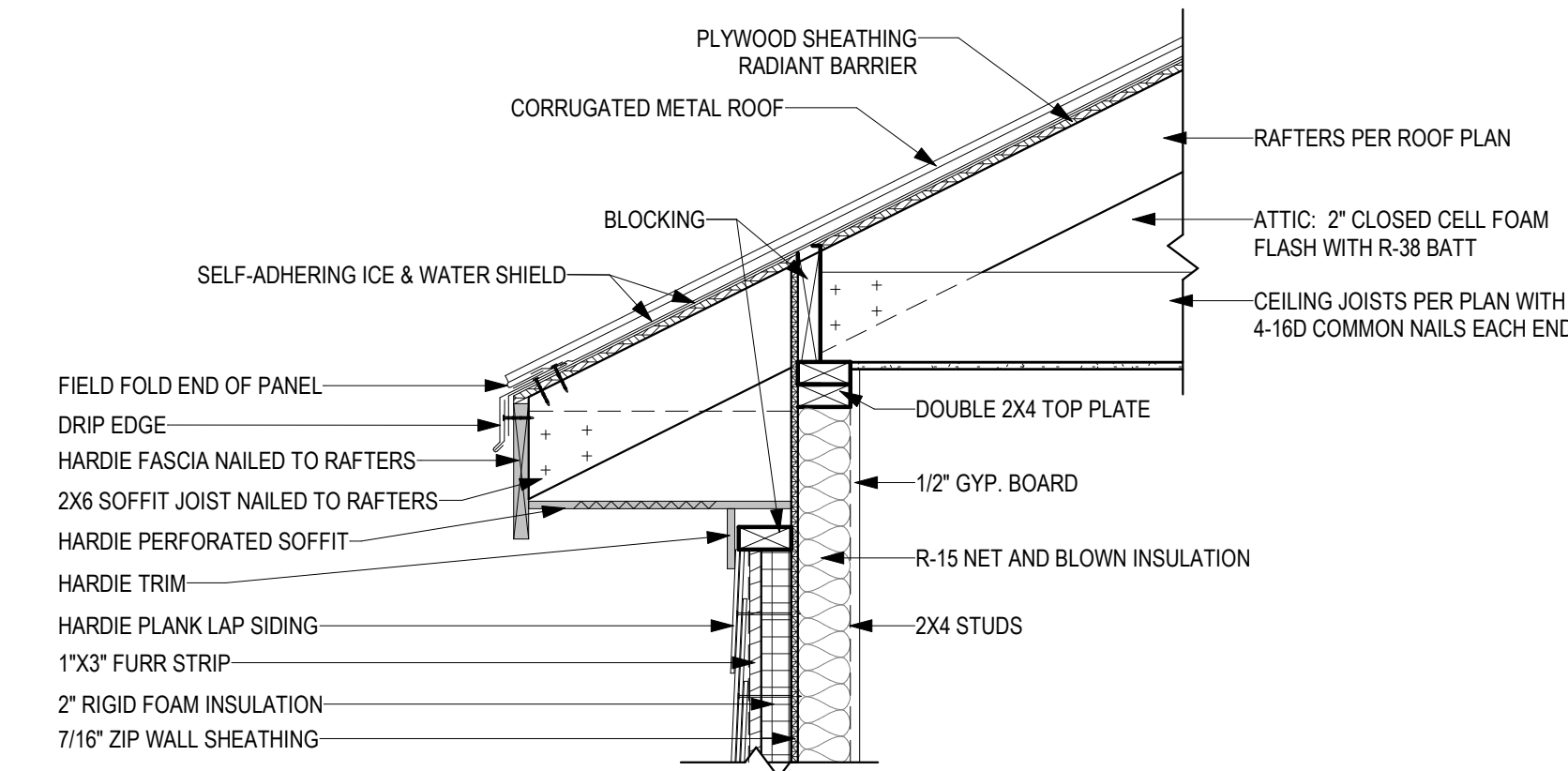


TYPE 7
INTERIOR STUD WALL

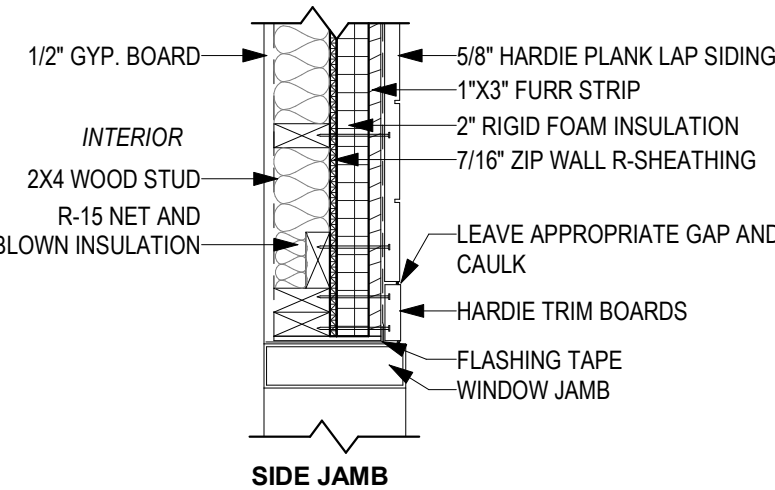
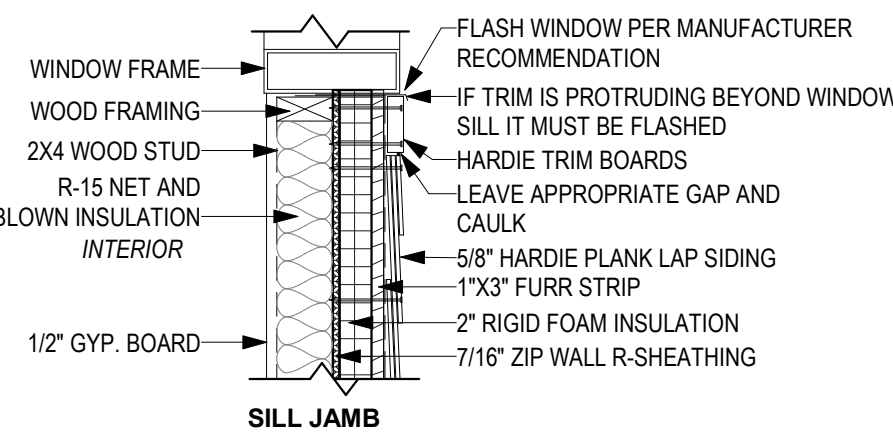
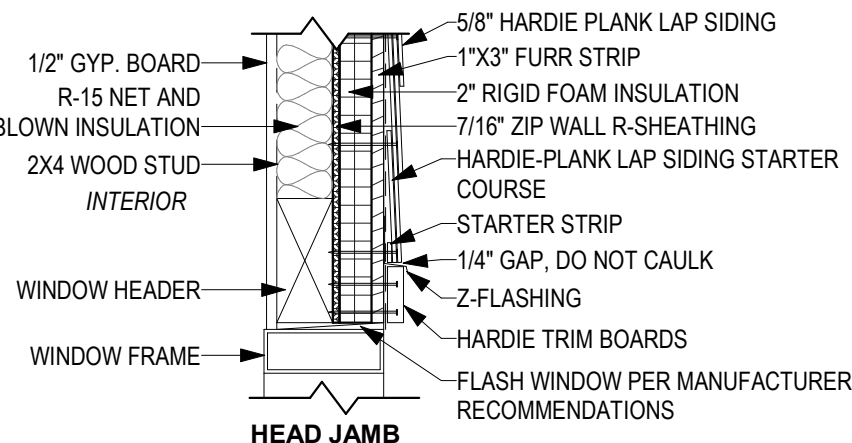
TYPE 8
EXTERIOR ICF FOUNDATION WALL



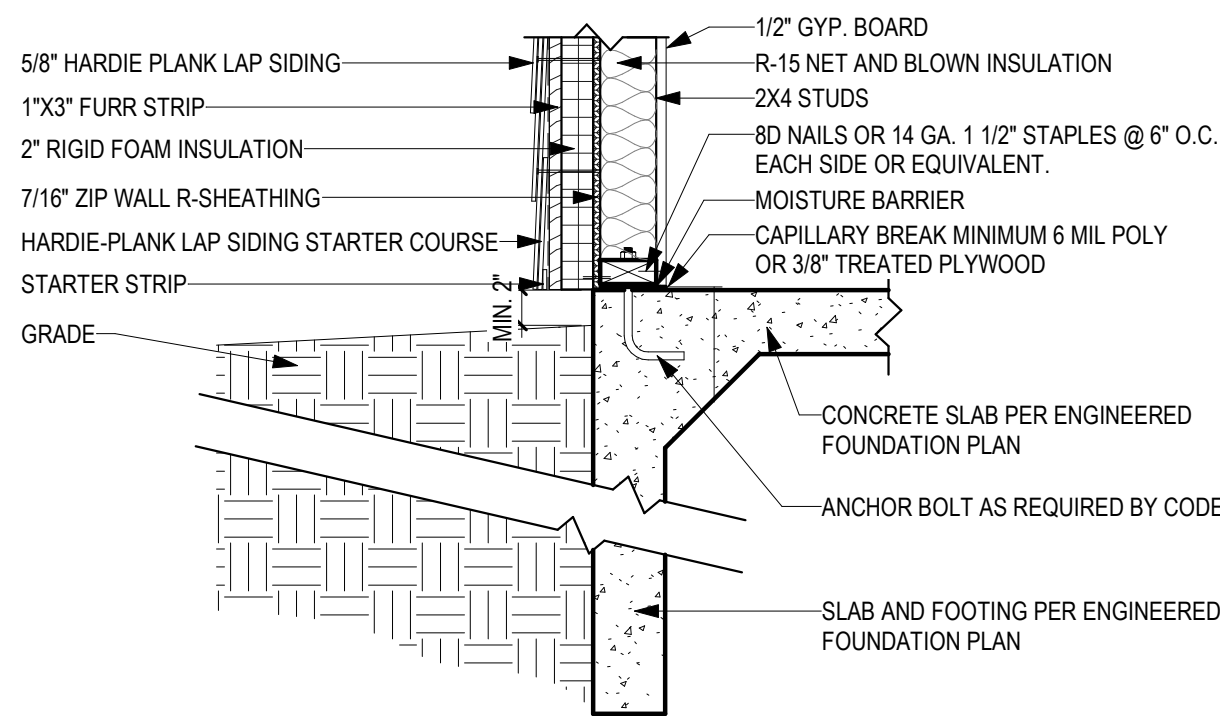
⑧ RIDGE DETAIL
1 1/2" = 1'-0"



⑦ HARDIE ROOF SOFFIT DETAIL
1" = 1'-0"



④ HARDIE WINDOW DETAILS
1" = 1'-0"



③ HARDIE GRADE CLEARANCE
1" = 1'-0"

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

SITE PREPARATION NOTES:

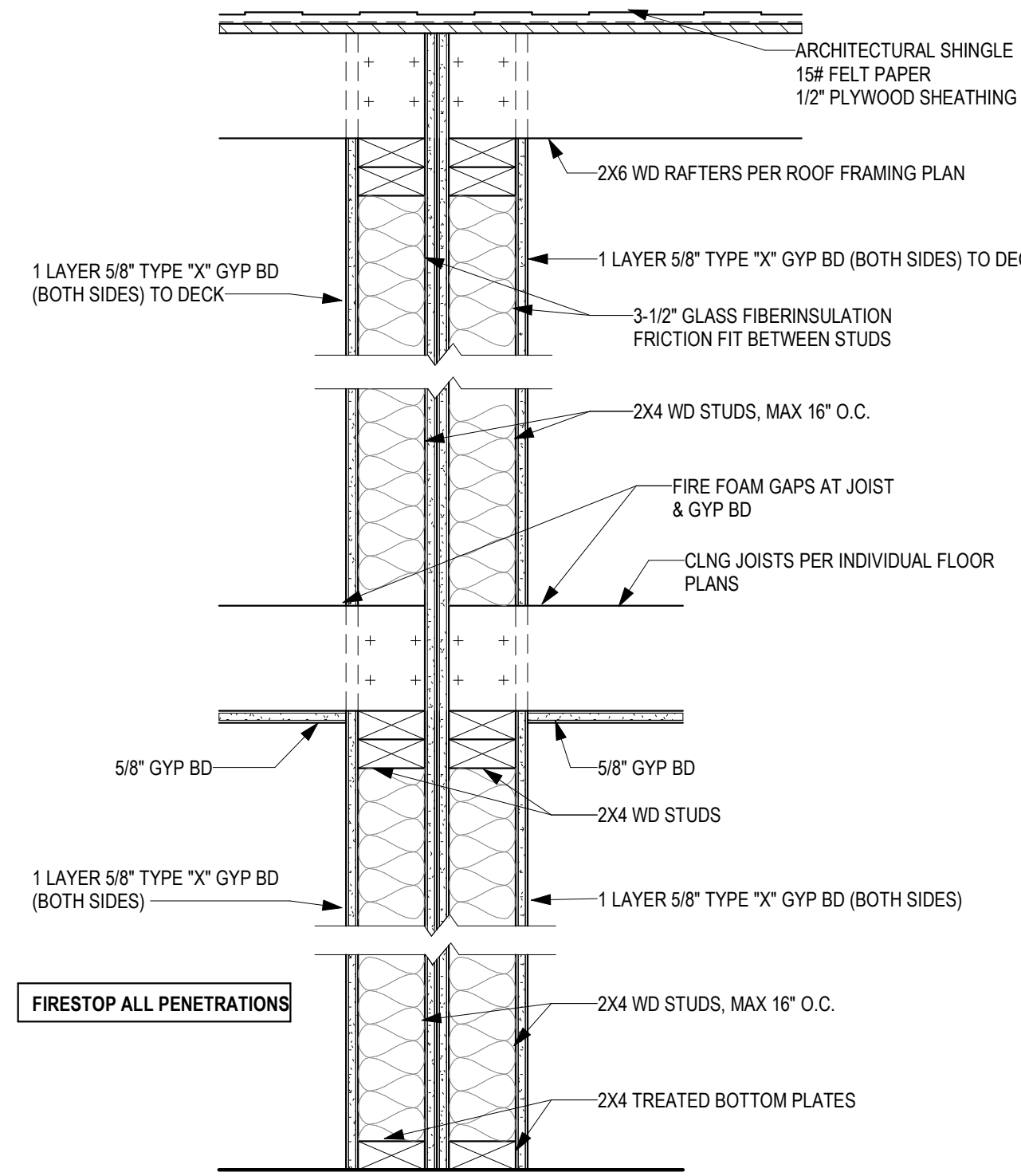
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.



② TYPICAL WINDOW EGRESS
1/2" = 1'-0"



① FIRE SEPARATION WALL
1 1/2" = 1'-0"

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DOCUMENTS

Project number 2017-5
Date 04.28.2020
Drawn by MML
Checked by EAW

A-104
CONSTRUCTION
DETAILS

SCALE:

As indicated



Southern Design Group, LLC
207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering
400 N. Main Street
Gunnison, CO 81230
(PH) 970.641.2499



2015 Prescriptive R-value Table Compliance Specification
Declare to the Code official that the pathway for compliance is the prescriptive path

TABLE R402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^s

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/8	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
 - c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
 - e. There are no SHGC requirements in the Marine Zone.
 - f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 - g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

No.	Description	Date

SCALE:

The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado

BUILDING #8 -
UNIT "C"
3-BEDROOM PLANS

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04.28.2020

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A-104.1
PRESCRIPTIVE
TABLE



STRUCTURAL

Williams Engineering

400 N. Main Street

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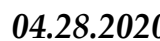
**The Prospect Homestead
Subdivision
Town of Mount Crested
Butte, Colorado**

**BUILDING #8 -
UNIT "C"**

3-BEDROOM PLANS

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**100% COMPLETE CONSTRUCTION
DOCUMENTS**

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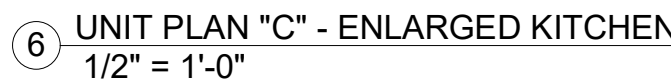
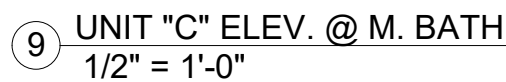
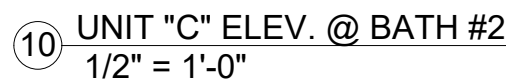
A-105

CABINET LAYOUT & ELEVATIONS

SCALE:

As indicated

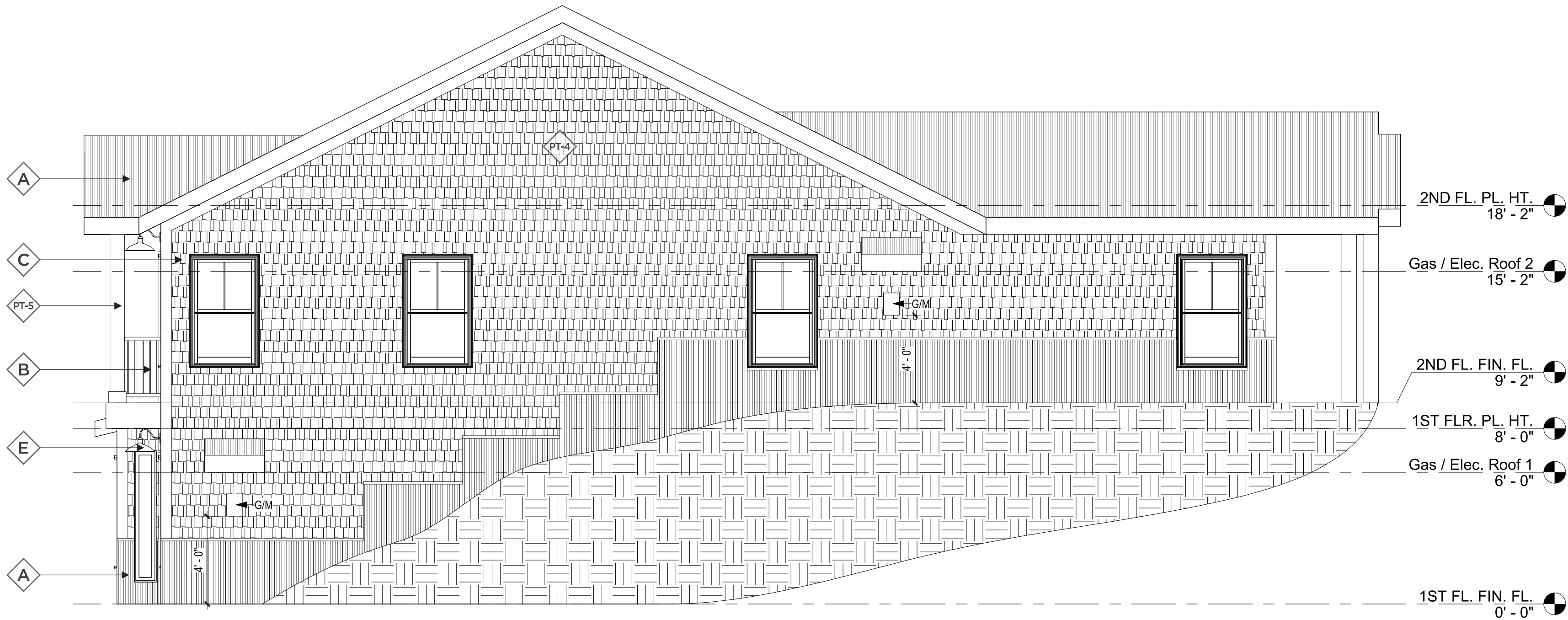
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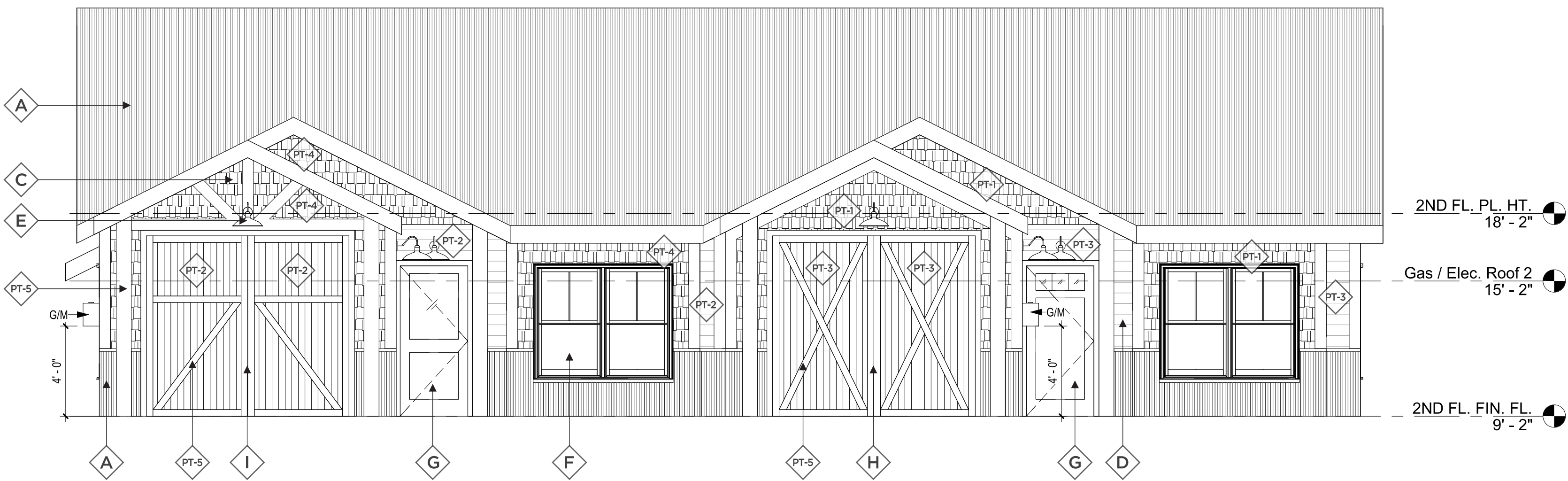
FRONT ELEVATION BLDG HT. - 18'-02"
LEFT ELEVATION BLDG HT. - 22'-09"
REAR ELEVATION BLDG HT. - 27'-04"
RIGHT ELEVATION BLDG HT. - 22'-09"
TOTAL - 117'-00"
BUILDING HT. - 91'-00"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

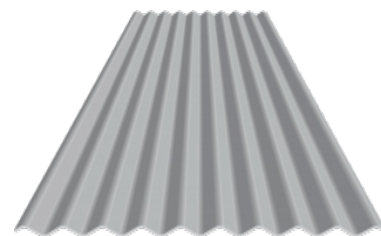


2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

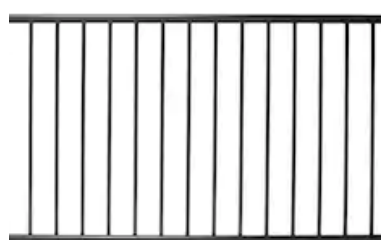
MATERIALS



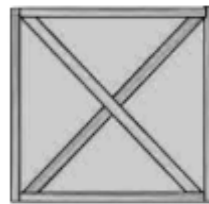
A EXTERIOR CORRUGATED PANEL
Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



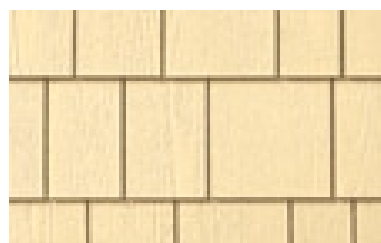
G EXTERIOR DOOR
Manufacturer: Thermo-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



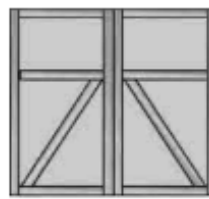
B DECK RAILING
Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



H GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



C SHAKE SIDING
Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



I GARAGE DOOR
Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



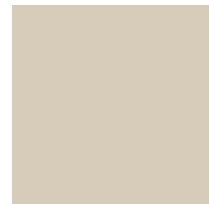
D LAP SIDING
Manufacturer: Allura
Color: Vary
Style: Traditional



PT-2 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



E EXTERIOR SCNCE
Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



PT-3 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



F EXTERIOR WINDOW
Manufacturer: Synergy
Color: White



PT-4 EXTERIOR PAINT
Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR
Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048



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BUILDING #8 -
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3-BEDROOM PLANS

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A-201
EXTERIOR
ELEVATIONS

No.	Description	Date

SCALE:

1/4" = 1'-0"



A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales
Color: Silver
Style: 2.5" Corrugated
Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Deckorators
Color: Black
Style: Classic Aluminum
Size: 8"x3" panels



C SHAKE SIDING

Manufacturer: Allura
Color: Vary
Style: Straight Edge
Size: 12"x48", 5" Exposure



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Manufacturer: Allura
Color: Vary
Style: Traditional



E EXTERIOR SCNCE

Manufacturer: Sylvania Lighting
Color: Antique Black
Style: Easton 60123, Full Cut-Off
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Manufacturer: Synergy
Color: White



G EXTERIOR DOOR

Manufacturer: Therma-Tru
Color: Vary
Model: SFGEM2115Z30LB
Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 108



I GARAGE DOOR

Manufacturer: TBS Garage Doors
Series: Cedar Accent
Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Acacia Haze
Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Backdrop
Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Urban Putty
Color ID: SW 7532



PT-4 EXTERIOR PAINT

Manufacturer: Sherwin Williams
Color: Granite Peak
Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams
Color: Urban Bronze
Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

1 REAR ELEVATION
1/4" = 1'-0"



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A-202 EXTERIOR ELEVATIONS

No.	Description	Date

SCALE: 1/4" = 1'-0"

4/24/2020 4:21:49 PM