The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #1 - UNIT "J" 2 - BEDROOM PLANS LOTS 21-23



ABBREVIATIONS MATERIAL INDICATIONS SUSPEND(ED) COATING ON CENTER HEAD SQUARE YARD EARTH/ PREPARED SUBGRADE ACOUST ACOUSTICAL CENTER OUTSIDE DIAMETER HDBD HEAD BOARD SYMMETRICAL GRAVEL, STONE **OPENING** CONCRETE TOP AND BOTTOM DIAG DIAGONAL TONGUE AND GROOVE **TACKBOARD** CONCRETE MASONRY UNIT PUBLIC ADDRESS TELEPHONE PAAR PARALLEL DOOR TERMINATE PARTN PARTITION ABOVE FINISH FLOOR TERRAZZO (TERRACE) PORTLAND CEMENT PLASTE TOC HANDICAPPED URINAL TOP OF CURB PERPENDICULAR TOM TOP OF MASONRY PLASTIC LAMINATI ACCESSIBLE LAVATORY TOILET PAPER DISPENSER PROPERTY LINE EACH TRANSFORMER SAND,GROUT,MORTAR **INTERCOM** PLAS PLASTER EACH FACE TUBE STEEL INSIDE DIAMETER ACCESSIBLE MIRROR ELECTRIC(AL) INCHES PLYWD PLYWOOD RON, STEEL **ELEVATION** PNL PANEL PNLG PANELING LUMINUM POURED GYPSUM UNLESS NOTED OTHERWISE **EACH WAY** EW PREFAB PREFABRICATED UTILITY SHELF ELECTRIC WATER COOLER **EWC** PAINTED **EXISTING** VENTILATE PAPER TOWE JOINT WOOD BLOCKING **EXPANSION** VERIFY EXTERIOR VENT THRU ROOF VINYL COMPOSITE TILE CERAMIC TILE **BLOCK** FIRE ALARM FLOOR DRAIN RETURN AIR LAM FOUNDATION REFLECTED CEILING PLAN WATER CLOSET LAV FIRE EXTINGUISHER WOOD ROOF DRAIN BOTTOM (OF FIRE EXTINGUISHER BRACKET RECP RECEPTACLE WDW WINDOW LKR WIDE FLANDE **BRACKET** SYPSUM WALLBOARD WALL HYDRANT REINF REINFORCING BASEMENT T SECTION BETWEEN WELDED WIRE FABRIC REQD REQUIRED BUILT UP ROOFING MAS BLK MASONRY BLOCK ROOFING ROLLED PAPER HOLDER W/O WITHOUT FINISHED WOOD **CHALKBOARD** FLASH FLASHING **CENTER TO CENTER** FLEX PLYWOOD SCHED SCHEDULE CEMENT(IOUS) FOOTING RIGID INSULATION SOAP DISPENSER **CONTROL JOINT** SECTION SHOWER HEAD BATT INSULATION GALV GALVANIZED SHEET SHOWER MOUNTED **TERRAZZO** GENERAL CONTRACTO SIMILAR MTG HT MOUNTING HEIGHT GENERAL SEAMLESS SMLS GFRC GLASS FIBER REINFORCED SND SANITARY NAPKIN DISPENSER SP CTG SPECIAL COATING SPEC SPECIFICATION NOT IN CONTRACT GLZ TILE GLAZED TILE SPEAKER SQUARE CONTR CONTRACTOR SEAMLESS STEA GYP GYPSUM ONST CONSTRUCTION STANDARD GYP BD GYPSUM BOARD STL STEEL STOR STORAGE CSK COUNTERSINK

ARCHITECTS

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100% COMPLETE CONSTRUCTION

04.28.2020

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

.THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE. 3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE

BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. 5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR

OR BY A QUALIFIED, LICENSED ENGINEER. 5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS... ...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

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A-100 PLOT PLAN TRIPLEX - 1ST FLOOR PLAN TRIPLEX - 2ND FLOOR PLAN A-101.1 A-101.2 TRIPLEX - 3RD FLOOR PLAN A-101.3 EXTERIOR RIGHT - UNIT "J" FLOOR PLANS INTERIOR - UNIT "J" FLOOR PLANS EXTERIOR LEFT - UNIT "J" FLOOR PLANS A-101.5 ROOF PLAN A-103 ELECTRICAL PLAN A-103.1 ELECTRICAL PLAN CONSTRUCTION DETAILS A-104.1 PRESCRIPTIVE TABLE CABINET LAYOUT & ELEVATIONS **EXTERIOR ELEVATIONS**

SHEET INDEX

Sheet Name

	SQUARE FOOTAGE PE		BUILDING PLANS SQUARE FOOTA	<u>GE</u>
	LEFT (CONDITIONED)		BUILDING #1 (CONDITIONED)	ene or
Z-BE	:DROOM 1ST FLOOR -	189 SF	1ST FLOOR - 2ND FLOOR -	626 SF 2,429 SF
	2ND FLOOR -		3RD FLOOR -	2,429 SF 994 SF
	3RD FLOOR -		TOTAL (CONDITIONED) -	4,049 SF
TOT	AL (CONDITIONED) -		TO THE (GONDINGHED)	1,01001
	(,	(UNCONDITIONED)	
(UNC	CONDITIONED)		HVAC -	75 SF
,	HVAC -	25 SF	GARAGE -	934 SF
	GARAGE -	313 SF	TOTAL (UNCONDITIONED)	- 1,009 SF
TOT	AL (UNCONDITIONED)	- 338 SF		
UNIT "J" INT. (CONDITIONED)			
2-BE	DROOM			
	1ST FLOOR -	244 SF		
	2ND FLOOR -	867 SF		

HVAC -	25 SF
GARAGE -	313 SF
TOTAL (UNCONDITIONED)	
UNIT "J" INT. (CONDITIONED)	
2-BEDROOM	
1ST FLOOR -	244 SF
2ND FLOOR -	867 SF
3RD FLOOR -	332 SF
TOTAL (CONDITIONED) -	1,443 SF
(UNCONDITIONED)	
(UNCONDITIONED) HVAC -	25 SF
GARAGE -	312 SF
TOTAL (UNCONDITIONED)) - 337 SF
UNIT "J" EXT. RIGHT (CONDITIONED	וו
2-BEDROOM	<i>-</i> ,
2 DEDITOON	400.05

COVER SHEET

1ST FLOOR -2ND FLOOR -781 SF 3RD FLOOR -TOTAL

TOTAL (CONDITIONED) - 1,302 SF			
(UNCONDITIONED)	No.	Description	Date
HVAC - 25 SF			
GARAGE - 309 SF			
TOTAL (UNCONDITIONED) - 334 SF			

934 SF 009 SF

DOCUMENTS

Checked by

COVER SHEET



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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017-5
)ate	04.28.2020
rawn by	MML
Checked by	EAW

A-100 PLOT PLAN

1/8" = 1'-0"

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
12	N55°00'28"W	4.32'
<u>L3</u>	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CLIDVE TVDI E

			CURVE TAE	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	ION CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'



DEER CREEK CIRCLE

CONCRETE

S15°17'10"W

DRIVEWAY

GARAGE

11.22'

S15°17'10"W 60.00'

14.66'

LOT 23

1,505 SF

BUILDING #2

25.00'

LOT22

1,500 SF

25.00'

/ LOT 23 /

1,500 SF

UNIT "J"

EXTERIOR LEFT . IF

CONCRETE

GARAGE /

UNIT "J"

EXTERIOR RIGHT.

CONCRETE DRIVEWAY

UNIT "J"

INTERIOR -

RH GARAGE

1 BUILDING #1

N74°52'25"W

No.	Description	
		Γ
		Γ
		Н

C31

86.81

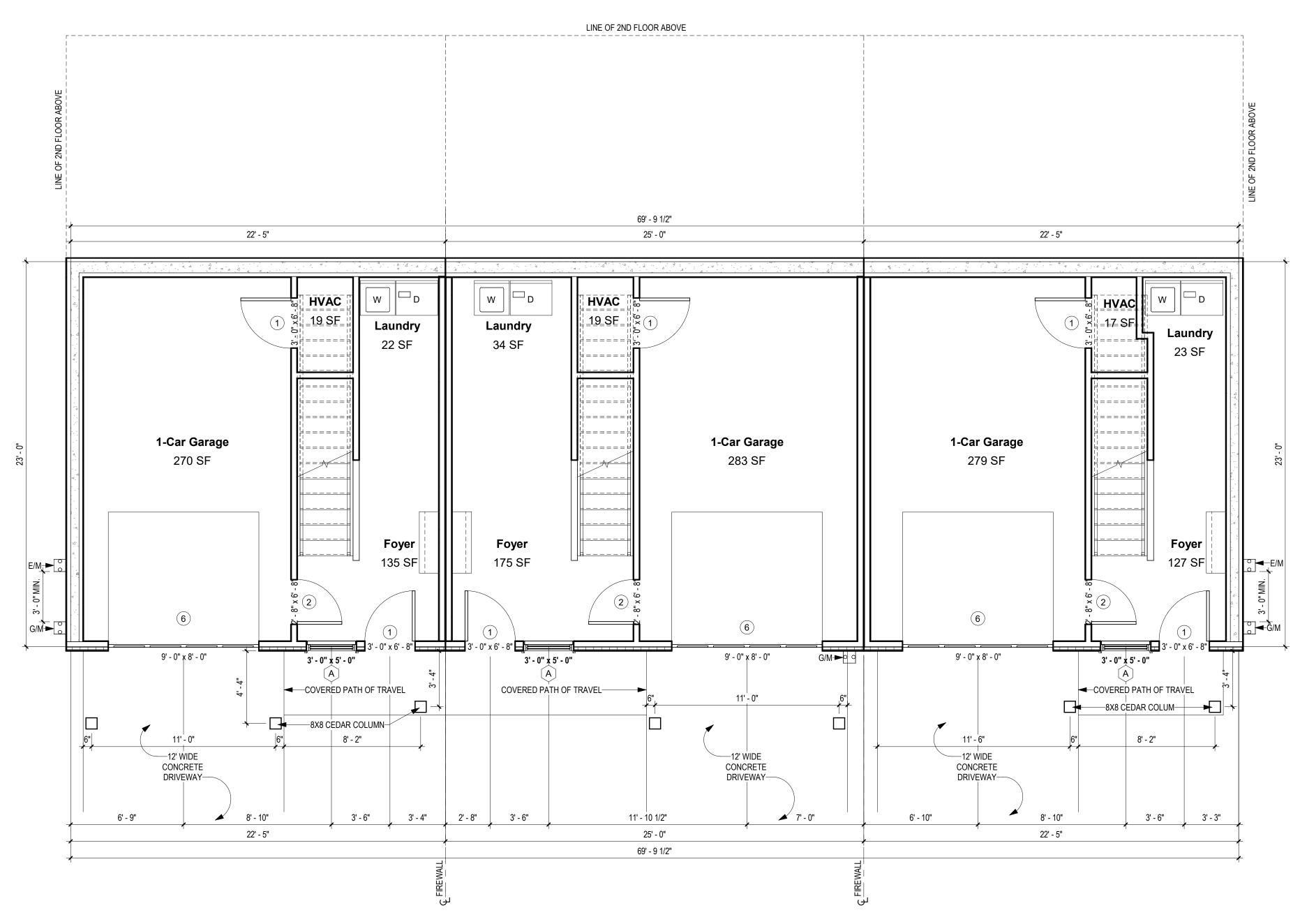
80.00'

S01°41'23"W

SCALE:

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS: ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS

SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL

- FIBER BATTS IN DOUBLE FRAMED WALL AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL
- BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM
- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT.
- WATERTIGHT, AIRTIGHT, ETC, PERFORMANCE 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER
- TRADES, EQUIPMENT AND PLUMBING FIXTURES. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED OF FANOLITY COORDINATE LOCATIONS

I ARCHITECT.	No.	Description	Date
	110.	Becompain	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

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CO License #: 404770

Williams Engineering 400 N. Main Street

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DESIGN GROUP, LLC.



100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 **Project number** 04.28.2020 **Date** Drawn by **EAW** Checked by

> A-101 TRIPLEX - 1ST FLOOR PLAN

1 BUILDING #1 PLAN - 2ND FLOOR 1/4" = 1'-0"

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

69' - 9 1/2" 22' - 5" 25' - 0" 22' - 5" 11' - 8 1/2" 9' - 2" 9' - 2" 3' - 3 1/2" 3' - 3 1/2" 3' - 2 1/2" □3' - 0" × 5' - 0" □ 1 \ 3' - 0" × 5' - 0" □ E/M 5 - 0" x 5' - 0" 3' - 0" x 5' - 0" (1) 3' - 0" × 5' - 0" 3' - 0" × 5' - 0" _3' - 0" x 5' - 0"_ _3' - 0" x 5' - 0"_ _3' - 0" × 5' - 0"_ **Breakfast Breakfast Breakfast** 71 SF 72 SF 71 SF Living Room **Living Room Living Room** 246 SF 211 SF 211 SF Kitchen Kitchen 78 SF 78 SF **PANTRY** Bath #1 Bath #1 21 SF 2' - 4" x 6' - 8" **Guest Bedroom Guest Bedroom Guest Bedroom** 132 SF 3' - 0" × 5' - 0" 3' - 0" x 5' - 0" 6' - 0" × 5' - 0" 3' - 0" x 5' - 0" 3' - 0" x 5' - 0" 3' - 0" **x** 5' - 0" 4' - 7" 3' - 4" 7' - 8" 8' - 2 1/2" 9' - 2" 9' - 0" 10' - 2" 3' - 3"

69' - 9 1/2"

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL. 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS

DRAWINGS.

- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE
- ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM
- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED
- WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
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- TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL FOLLIPMENT

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6.	. NOT ALL CLEANOUTS ARE SH	OWN FOR	DRAWING C	CLARITY. CONTRACTOR	₹
J.	. COURDINATE LOCATIONS OF	LLOOK DI		MECHANICAL EQUIPME	LINI.

Description	Date
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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 **Project number** 04.28.2020 **EAW** Checked by

> A-101.1 TRIPLEX - 2ND FLOOR PLAN

> > As indicated

SCALE:

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

64' - 8" 17' - 2 1/2" 12' - 9" 34' - 8 1/2" 13' - 10 1/2" 3' - 4" 17' - 5 1/2" 17' - 3 1/2" 13' - 11" 14' - 1" 3' - 4" 3' - 4" 3' - 0" x 4' - 0" 3' - 0" x 4' - 0" 3' - 0" x 4' - 0" Sitting Area Sitting Area Sitting Area 50 SF M. Bedroom M. Bedroom M. Bedroom 151 SF 153 SF 151 SF 6' - 0" 🛊 5' - 0" 6' - 0" x 5' - 0" 6' - 0" x 5' - 0" 9' - 9 1/2" 7' - 8" 9' - 9 1/2" 11' - 1 1/2" 17' - 5 1/2" 17' - 3 1/2" 6' - 1" 17' - 2 1/2" 12' - 9" 34' - 8 1/2" 64' - 8" LINE OF 2ND FLOOR BELOW

LINE OF 2ND FLOOR BELOW

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR

- WALL CAVITIES ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
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- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
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- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY
- INSTALLATION. 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
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PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
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- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
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No.	Description	Date



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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5 **Project number** 04.28.2020 EAW Checked by

> A-101.2 TRIPLEX - 3RD FLOOR PLAN

> > As indicated

SCALE:

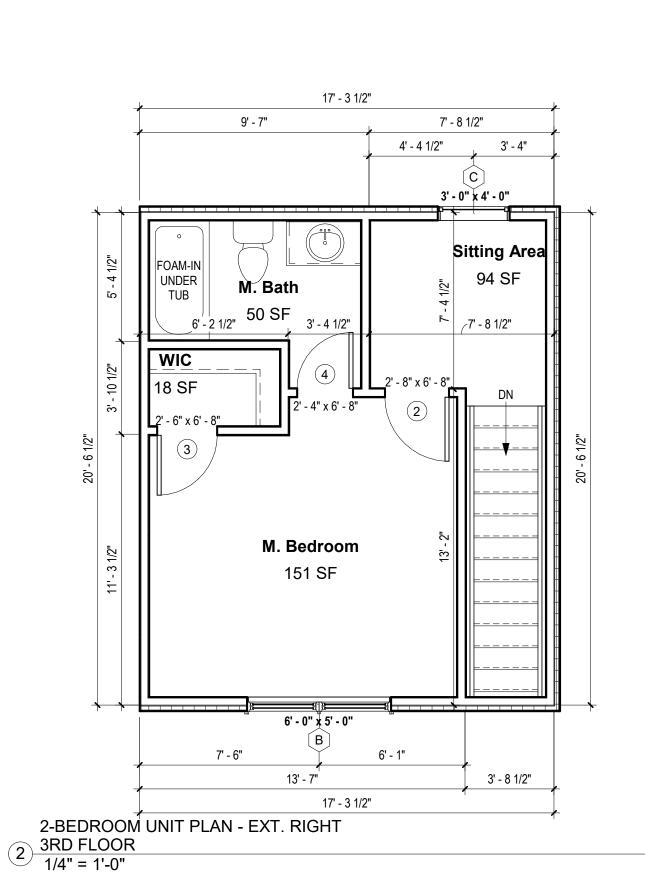
1 BUILDING #1 PLAN - 3RD FLOOR 1/4" = 1'-0"

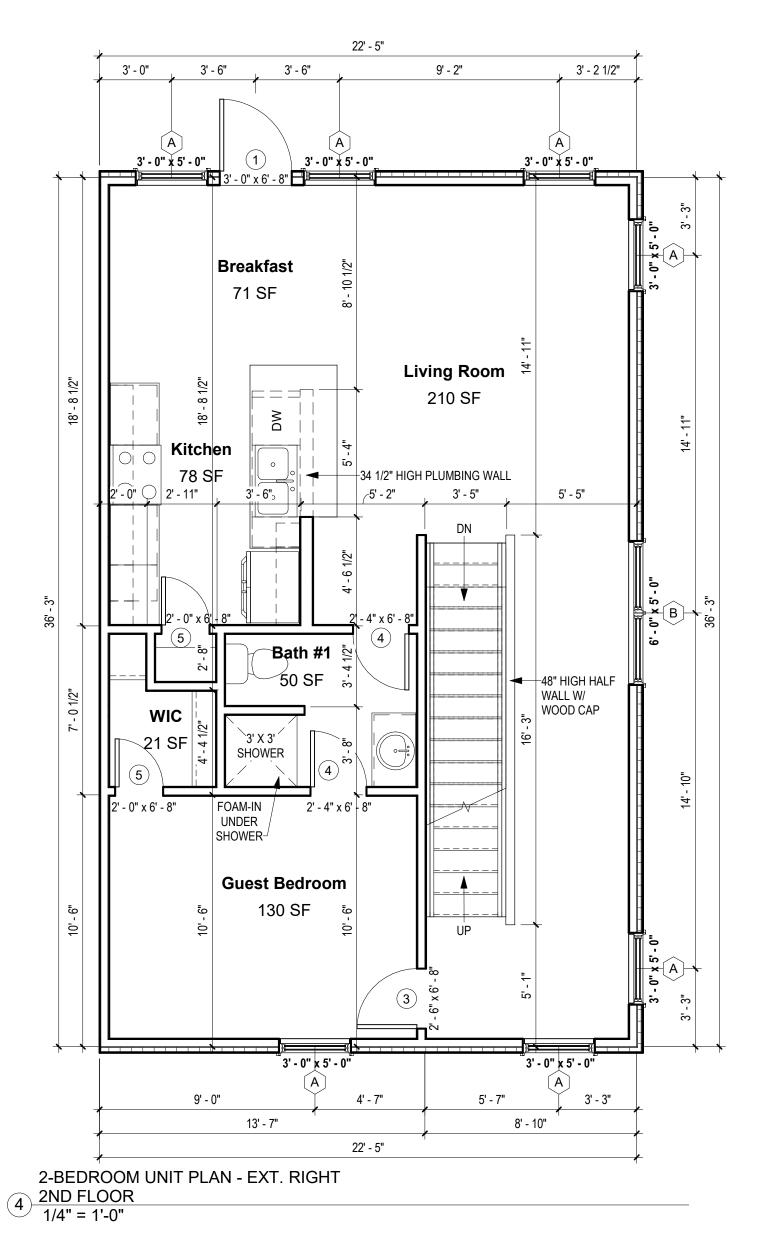
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

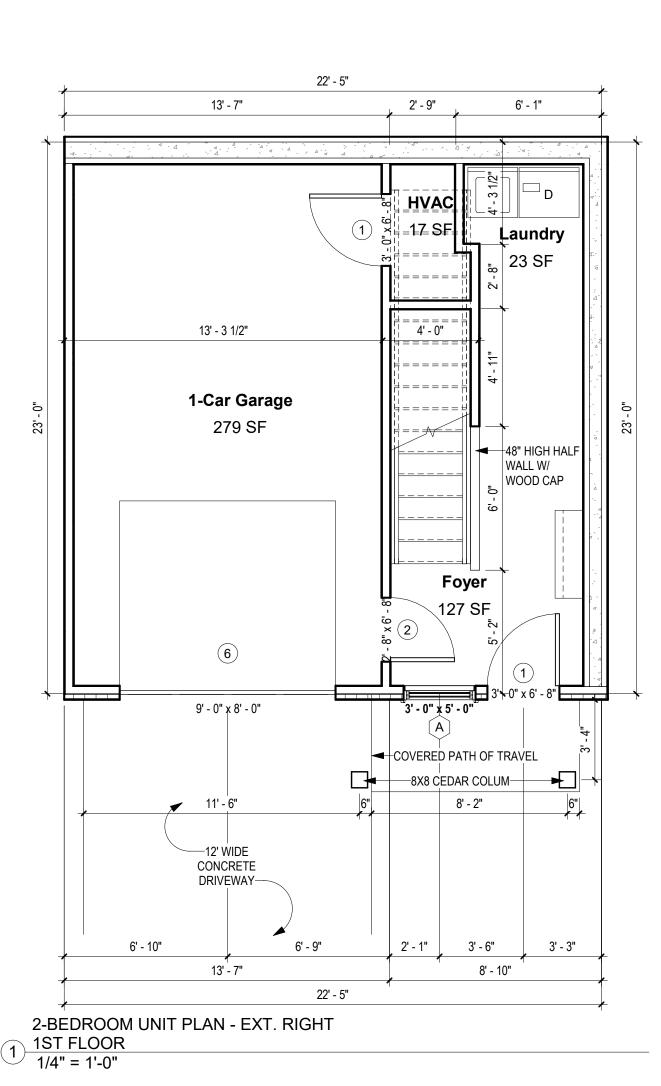
WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

U-VALUES - .32-.29







DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
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- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
 - ATTIC: CLOSED CELL FOAM SPRAY @ R49
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- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
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TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS

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PLUMBING GENERAL NOTES

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101.3 **EXTERIOR RIGHT -**UNIT "J" FLOOR **PLANS**

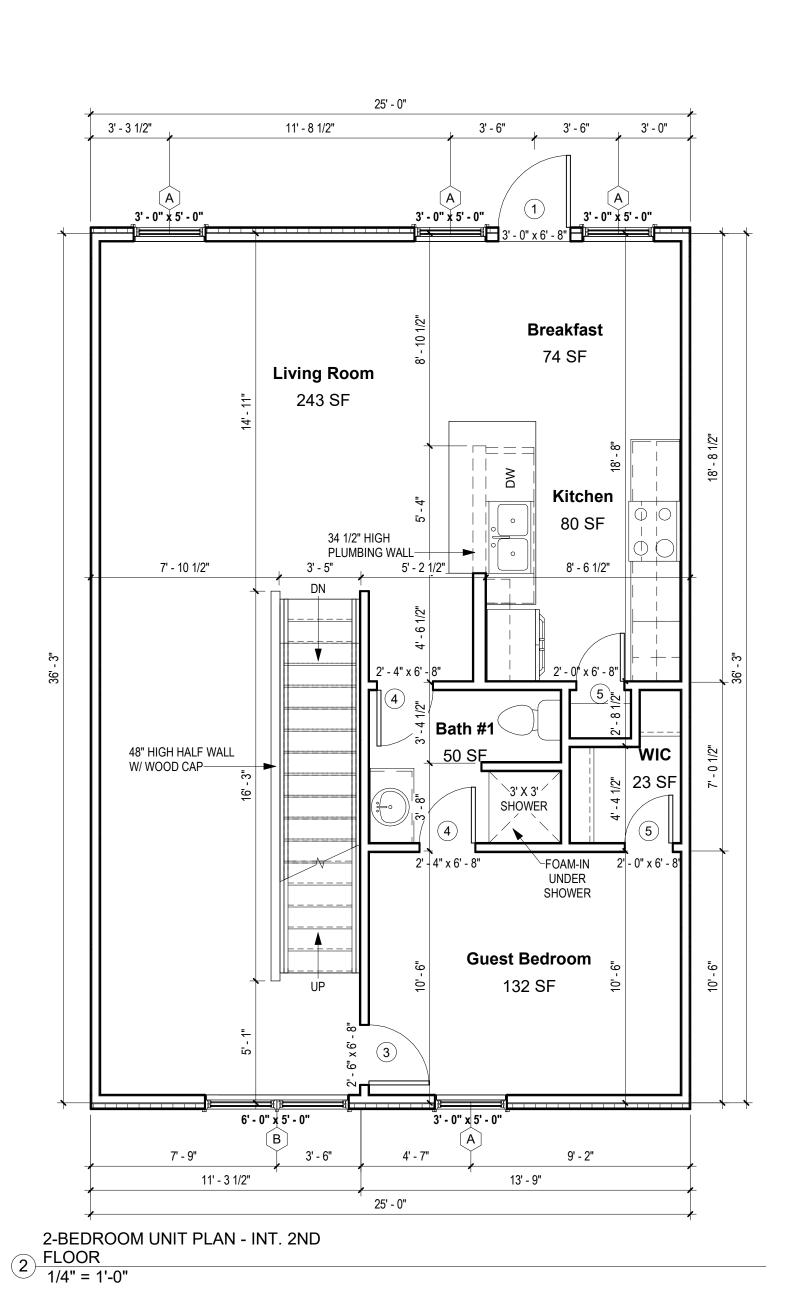
As indicated

SCALE:

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

17' - 5 1/2" 7' - 8 1/2" 9' - 9" 3' - 4" 4' - 4 1/2" 3' - 0" x 4' - 0" Sitting Area FOAM-IN UNDER 94 SF 🗦 TUB 3' - 4 1/2" M. Bedroom 153 SF 6' - 0" x 5' - 0" 7' - 8" 3' - 8 1/2" 13' - 9" 17' - 5 1/2" 3-BEDROOM UNIT PLAN - INT. 3RD

3 FLOOR 1/4" = 1'-0"



WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

13' - 9"

1-Car Garage

283 SF

9' - 0" x 8' - 0"

11' - 0"

—12' WIDE CONCRETE

DRIVEWAY-

7' - 0"

6' - 9"

25' - 0"

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL. 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS. DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL **DRAWINGS**
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS,
- TYPICAL ALL UNITS. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR
- STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE

TRADES, EQUIPMENT AND PLUMBING FIXTURES

WITH ARCHITECT.

- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL

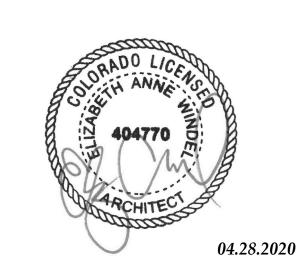
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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101.4 INTERIOR - UNIT "J" FLOOR PLANS

SCALE: As indicated

2-BEDROOM UNIT PLAN - INT. 1ST 1) FLOOR 1/4" = 1'-0"

3' - 6"

11' - 3 1/2"

2' - 8"

7' - 10 1/2"

Laundry

34 SF

Foyer

175 SF

ື3' - 0" x 5' - 0'

COVERED PATH OF TRAVEL-

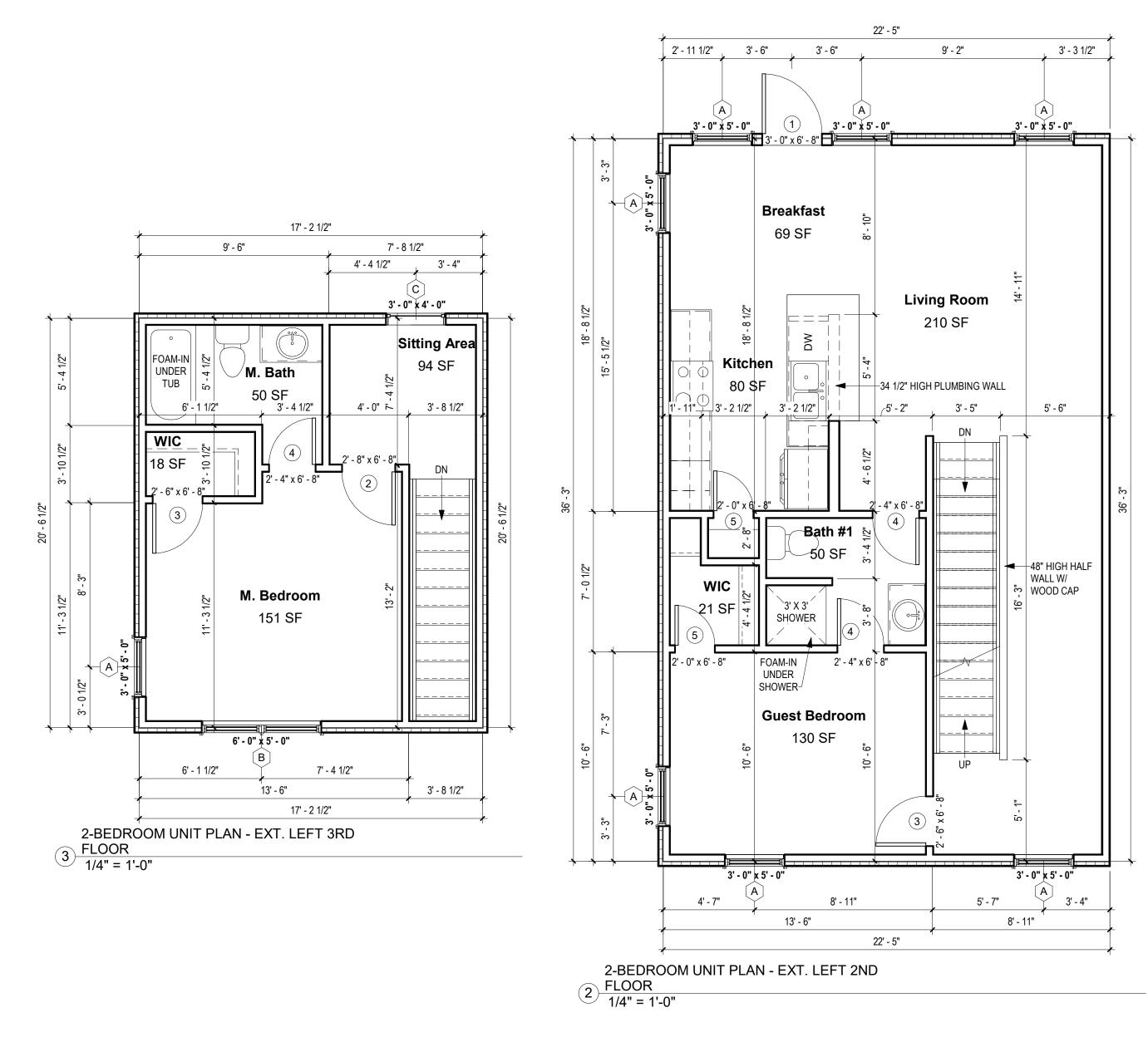
5' - 1 1/2"

3' - 5"

HVAC

=====;;;

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



WINDOW INFORMATION:

- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

ALL WINDOW SIZES ARE INDICATED ON PLANS:

22' - 5"

3' - 5"

HVAC

:----

Foyer

ື່3' - 0" **x** 5' - 0"ື

8X8 CEDAR COLUMN

2' - 1"

COVERED PATH OF TRAVEL

3' - 6" 8' - 11"

ସ୍ଥ୍ୟ <u>19</u> SF

5' - 6"

Laundry

22 SF

4' - 9" CLEAR

₩ 48" HIGH HALF

WALL W/

WOOD CAP

13' - 6"

1-Car Garage

270 SF

9' - 0" x 8' - 0"

CONCRETE

DRIVEWAY-

13' - 6"

6' - 9"

22' - 5"

6' - 9"

1 FLOOR 1/4" = 1'-0"

- U-VALUES .32-.29

DOOR INFORMATION: ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
 - MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
 - GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
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- ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL. 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
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- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY
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- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL Williams Engineering

400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 **Project number** 04.28.2020 **EAW** Checked by

A-101.5 **EXTERIOR LEFT -**UNIT "J" FLOOR **PLANS**

As indicated

SCALE:

2-BEDROOM UNIT PLAN - EXT. LEFT 1ST

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

- 1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- 2. ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON PLAN
- ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
 ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

- ROOF STYLE:

 1. ALL ROOF PLANES WILL BE 6:12 PITCH
 2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



Southern Design Group, LLC

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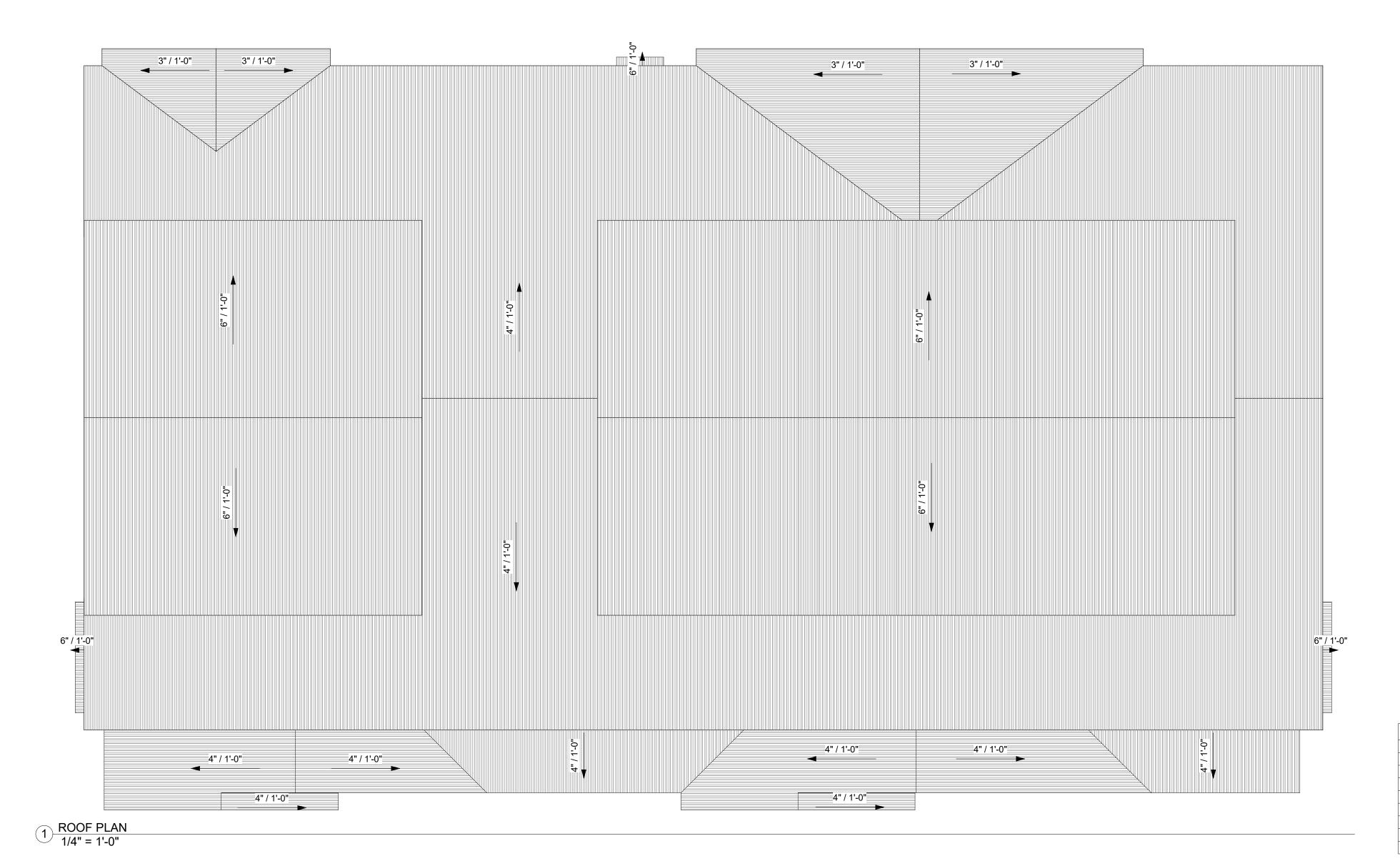
100% COMPLETE CONSTRUCTION **DOCUMENTS**

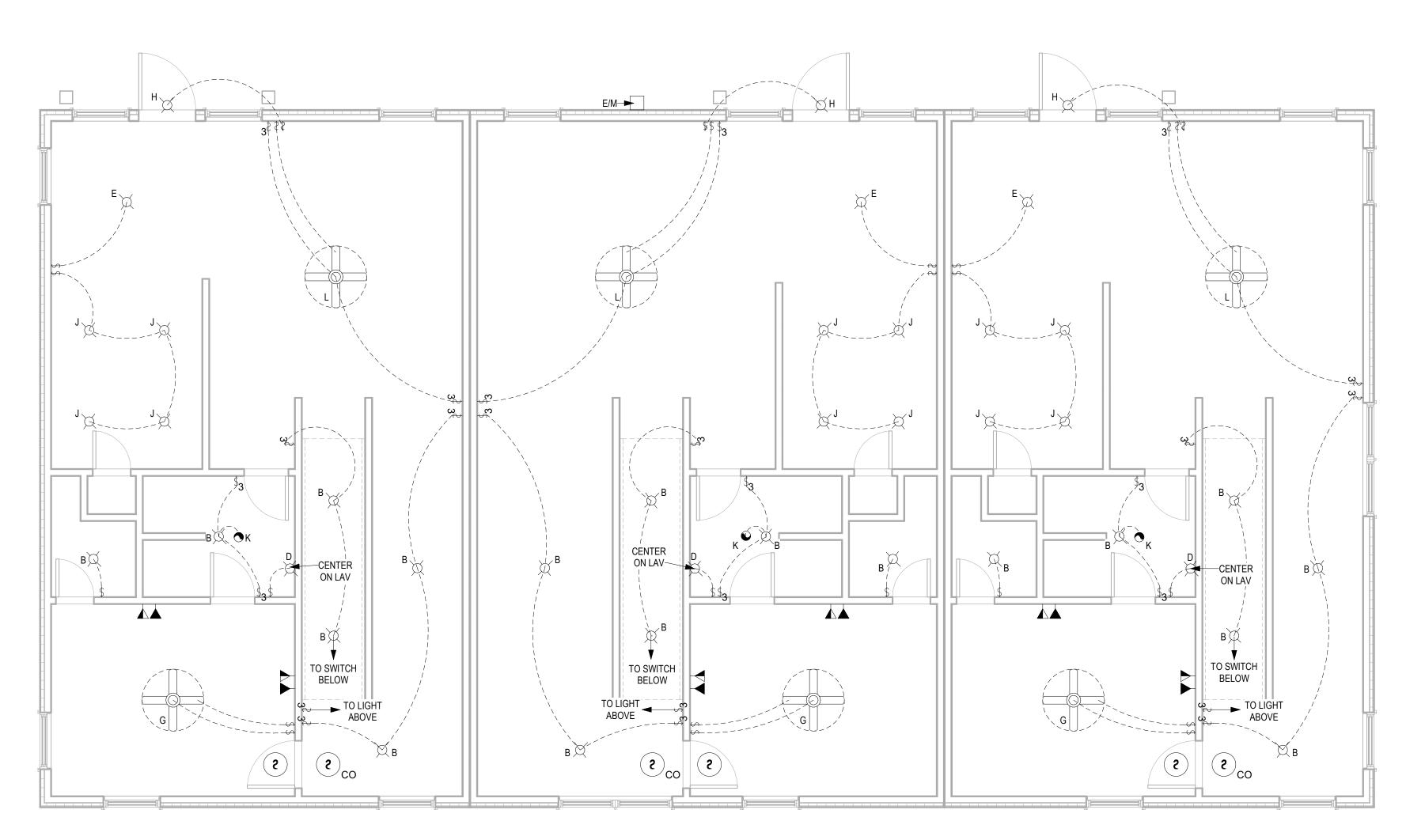
Project number	2017-
Date	04.28.202
Drawn by	MM
Checked by	EAV
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A-102 ROOF PLAN

Date

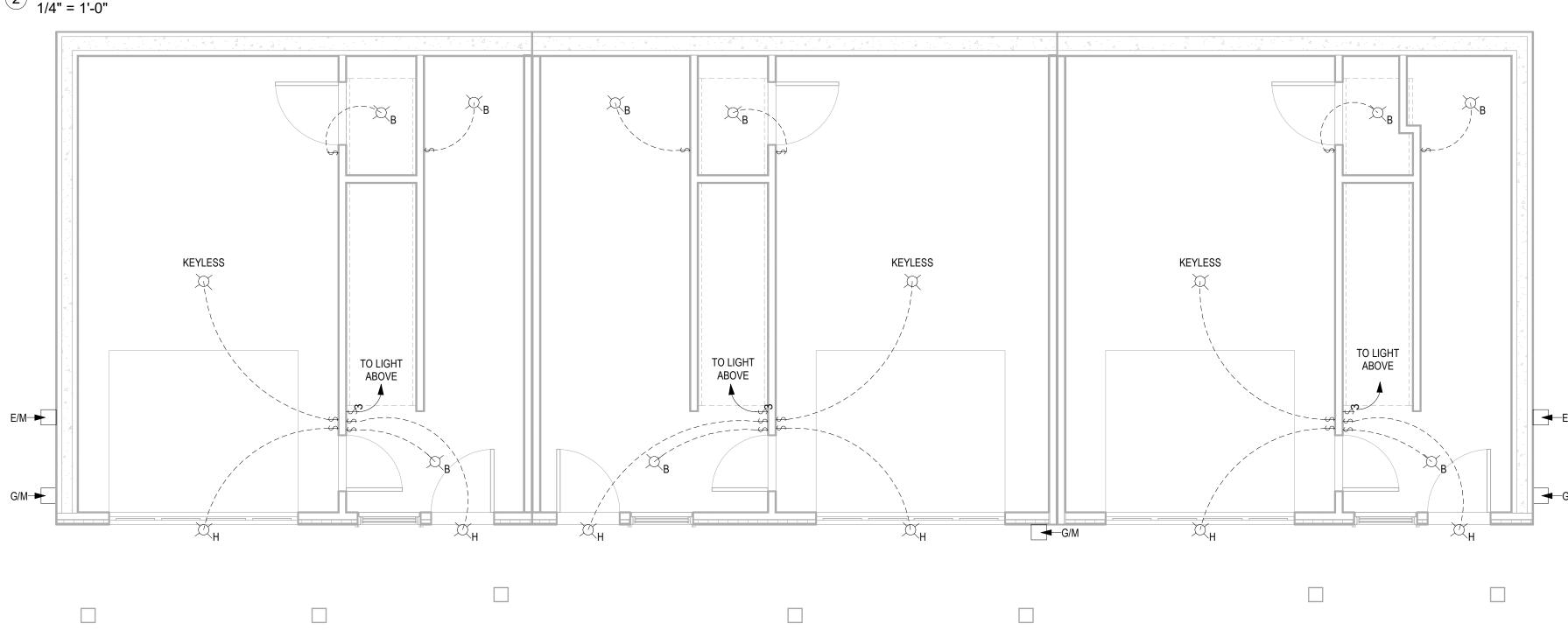
Description





2 ELECTRICAL PLAN - 2ND FLOOR 1/4" = 1'-0"

1 ELECTRICAL PLAN - 1ST FLOOR 1/4" = 1'-0"



ELECTRICAL LEGEND / SCHEDULE

A WALL MOUNT FIXTURE, 36" WIDE

B SURFACE MOUNT FIXTURE, 11 1/4" DIA.

C SURFACE MOUNT FIXTURE, 15 1/4" DIA.

D WALL MOUNT FIXTURE, 24" WIDE

CABLE

E 5-LIGHT CHANDELIER

E EXTERIOR FLOODLIGHT

SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS

52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,

60W MAX, PROVIDE CFL BULBS

GENERAL ELECTRICAL NOTES:

XJ RECESSED CAN LIGHT, PROVIDE CFL BULBS

H GOOSENECK LIGHT FULL CUT-OFF

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4. ALL WORK NEW UNLESS NOTED OTHERWISE.
- . INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6. CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9. COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1. OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED OTHERWISE.
- 2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS.
 PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5. TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



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Subdivision own of Mount Crested Butte, Colorado

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Project number 2017-5

Date 04.28.2020

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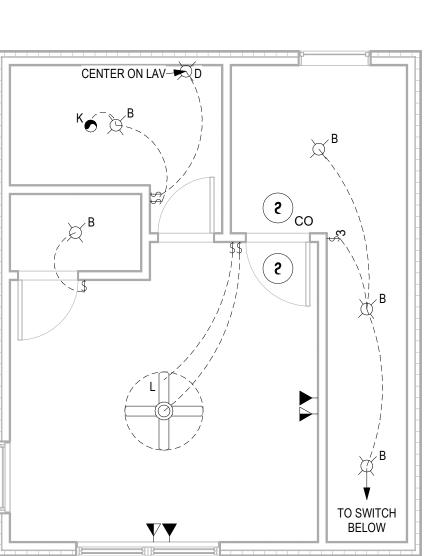
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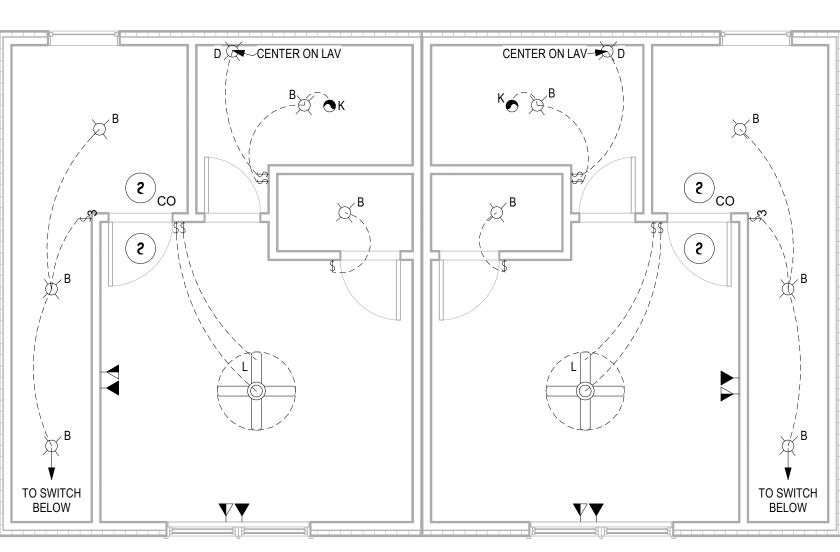
A-103 ELECTRICAL PLAN

As indicated

No. Description Date

SCALE:





ELECTRICAL LEGEND / SCHEDULE

XA WALL MOUNT FIXTURE, 36" WIDE

●K BATHROOM EXHAUST FAN

B SURFACE MOUNT FIXTURE, 11 1/4" DIA.

△ PHONE / DATA

C SURFACE MOUNT FIXTURE, 15 1/4" DIA.

D WALL MOUNT FIXTURE, 24" WIDE

▲ CABLE

XF EXTERIOR FLOODLIGHT

52" FAN, WITH LIGHT KIT

H GOOSENECK LIGHT FULL CUT-OFF

52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS

□ RECESSED CAN LIGHT, PROVIDE CFL BULBS

SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS

GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5. INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
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- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
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- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

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04.28.2020

100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number 2017-5 04.28.2020 EAW Checked by

A-103.1 ELECTRICAL PLAN

As indicated

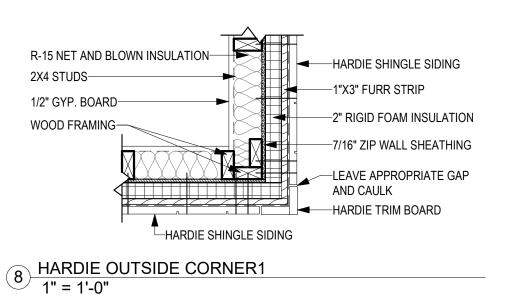
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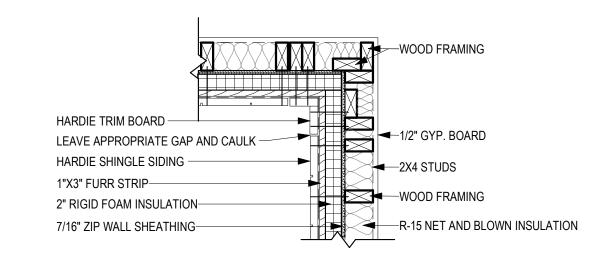
Date Description



		WI	NDOW SCHEDULE
Type Mark	Width	Height	Туре
A	3' - 0"	5' - 0"	
B	6' - 0"	5' - 0"	
Ĉ	3' - 0"	4' - 0"	FIXED

	PLUMBING FIXTURE SCHEDULE
Count	Description
3	3' X 3' SHOWER
6	19" X 19" ROUND VANITY SINK
3	36" X 21" DOUBLE KITCHEN SINK
3	SHOWER/TUB COMBO
6	TOILET - STANDARD HT.





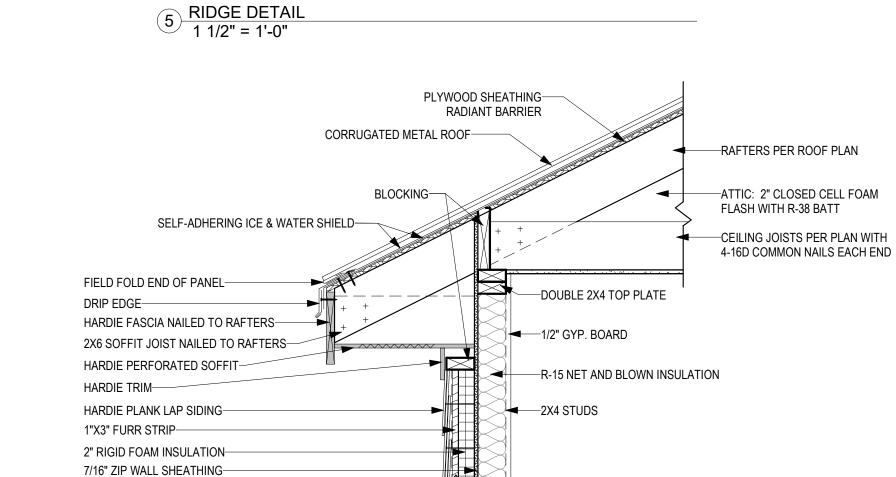
5/8" THROUGH BOLT OR 5/8" X

EMBEDMENT OF 3" INTO 6X6

BEAM, COUNTER SINK & PLUG 4X4 #1 D.F.

7 1/2" LAG BOLT, MIN.

7 HARDIE INSIDE CORNER1



1/2" GYP. BOARD → R-15 NET AND

2X4 WOOD STUD—

WINDOW HEADER 📉

WINDOW FRAME →

2X4 WOOD STUD

1/2" GYP. BOARD →

1/2" GYP. BOARD— ►

INTERIOR

R-15 NET AND

BLOWN INSULATION— INTERIOR

INTERIOR

BLOWN INSULATION—

RAFTERS

PLAN

PER ROOF

4 HARDIE ROOF SOFFIT DETAIL1

1" = 1'-0"

FRAMING IN POCKET FOR BEAM

R49 INSULATION, CAVITY FILL

—5/8" THROUGH BOLT OR 5/8" X 7 1/2"

LAG BOLT, MIN. EMBEDMENT OF 3"

INTO 4X6 BEAM, COUNTER SINK & PLUG

─4X6 #1 D.F. BEAM

RIDGE BD. PER ROOF

MIN. 1 DIMENSIONAL

SIZE LARGER THAN

WITH RADIANT

PLYWOOD SHEATHING

√5/8" HARDIE PLANK LAP SIDING

-7/16" ZIP WALL R-SHEATHING

-STARTER STRIP

RECOMMENDATIONS

HEAD JAMB

■ 1/4" GAP, DO NOT CAULK

HARDIE TRIM BOARDS

FLASH WINDOW PER MANUFACTURER

HARDIE TRIM BOARDS

1"X3" FURR STRIP

1"X3" FURR STRIP

SILL IT MUST BE FLASHED

──5/8" HARDIE PLANK LAP SIDING

—2" RIGID FOAM INSULATION

----7/16" ZIP WALL R-SHEATHING

───5/8" HARDIE PLANK LAP SIDING

—2" RIGID FOAM INSULATION

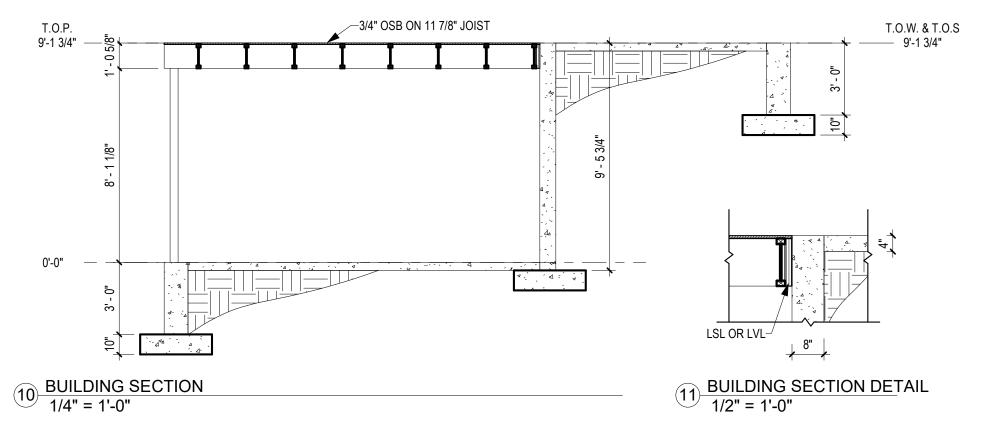
LEAVE APPROPRIATE GAP AND

-HARDIE-PLANK LAP SIDING STARTER

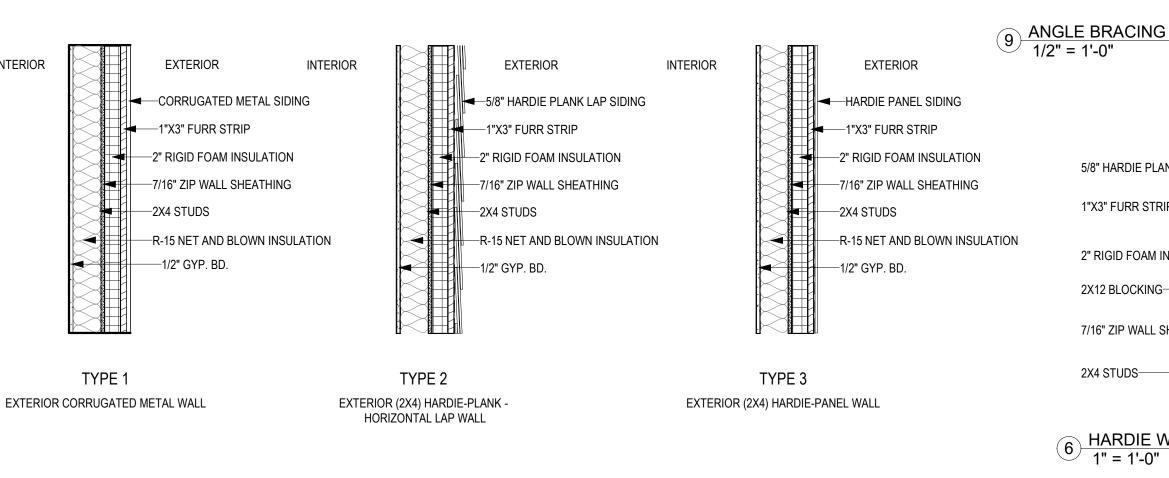
TLASH WINDOW PER MANUFACTURER

RAFTERS

BARRIER



**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



-2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

-1"X3" FURR STRIP

—2X6 STUDS

—1/2" GYP. BD.

TYPE 5

EXTERIOR (2X6) HARDIE-PLANK

INTERIOR

→ HARDIE PANEL SIDING

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

—1"X3" FURR STRIP

—2X6 STUDS

—1/2" GYP. BD.

TYPE 6

EXTERIOR (2X6) HARDIE-PANEL WALL

INTERIOR

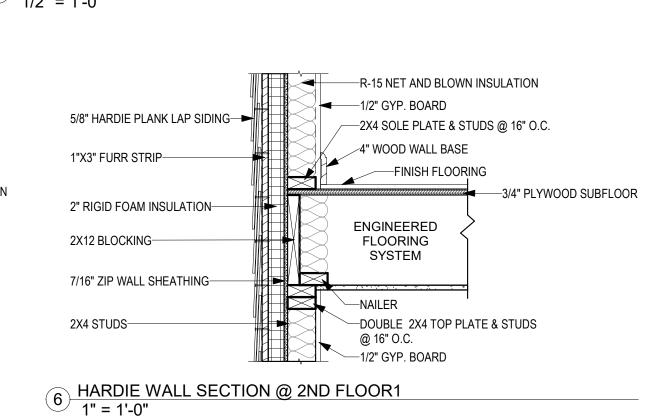
EXTERIOR

2X4 STUDS

TYPE 4

→ 5/8" GYP. BD. EACH SIDE

TWO LAYERS 5/8" GYP. BD.



INTERIOR

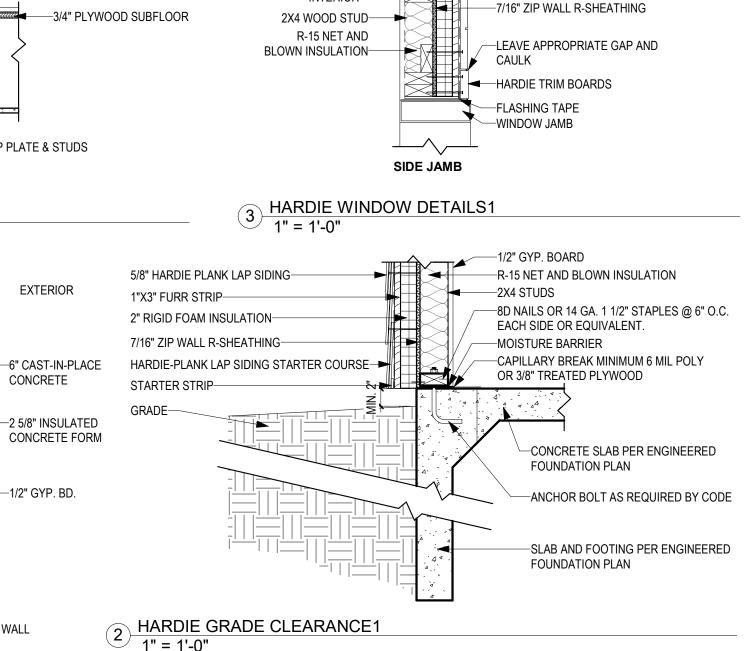
1/2" GYP. BD. EACH SIDE

—2X4 STUDS

TYPE 7

INTERIOR STUD WALL

3' - 6"



GENERAL NOTES:

APPROACH SHALL MEET CITY SPECIFICATIONS. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

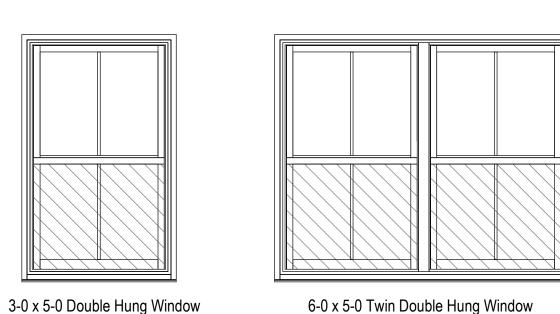
SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

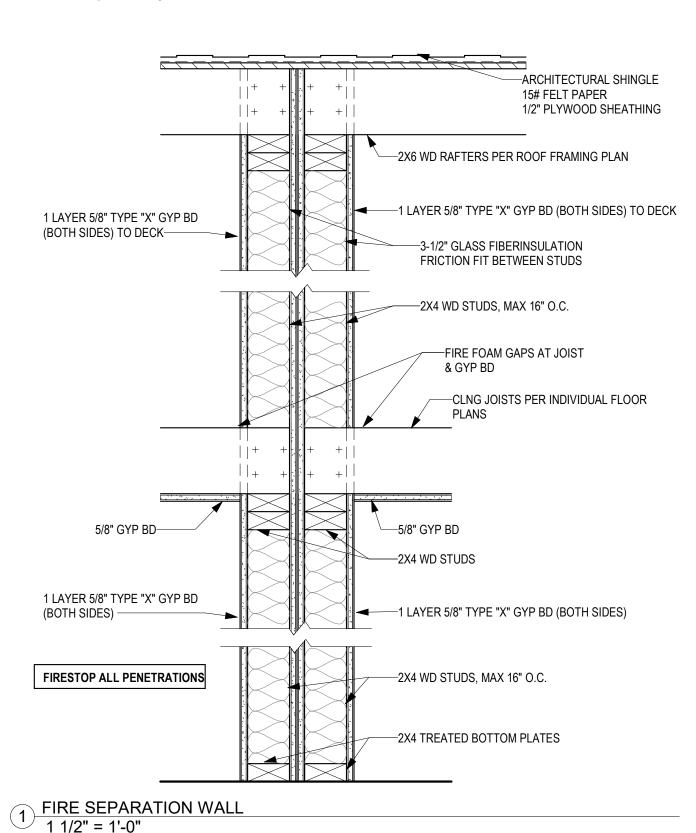
- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR **INSULATION REQUIREMENTS FOR ZONE 7



Egress area meets IRC Section 310.1.1 minimum of 5SF.

TYPICAL WINDOW EGRESS 1/2" = 1'-0"



No.	Description	Date



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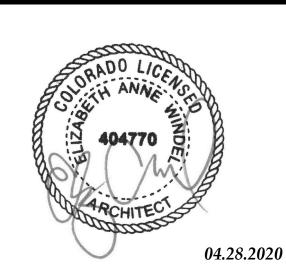
CONSULTANTS:

STRUCTURAL

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2017-5 **Project number** 04.28.2020 Checked by

> A-104 CONSTRUCTION **DETAILS**

SCALE:

As indicated

FIRE WALL WALL TYPE LEGEND 1" = 1'-0"

HORIZONTAL LAP WALL **REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

TYPE 8

EXTERIOR ICF FOUNDATION WALL

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT⁶

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d F-VALU E & DEPTH	SPACE ^C WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.

13

No.	Description	Date



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Project number 2017-5

Date 04.28.2020

Drawn by MML

Checked by EAW

A-104.1
PRESCRIPTIVE
TABLE

SCALE:

/17/2020 11:59:24 AM



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100% COMPLETE CONSTRUCTION

DOCUMENTS 2017-5

04.28.2020

As indicated

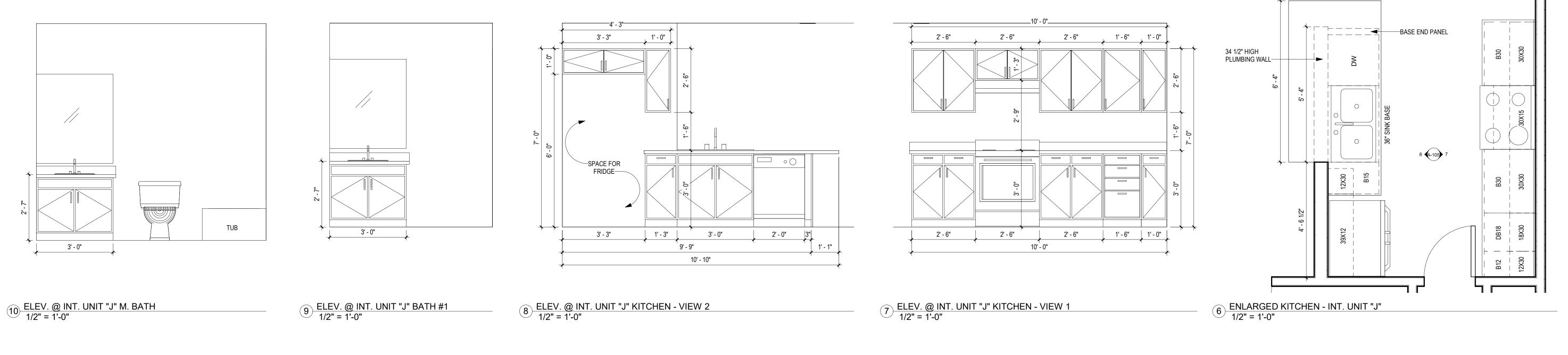
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Project number Checked by

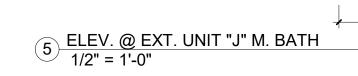
A-105

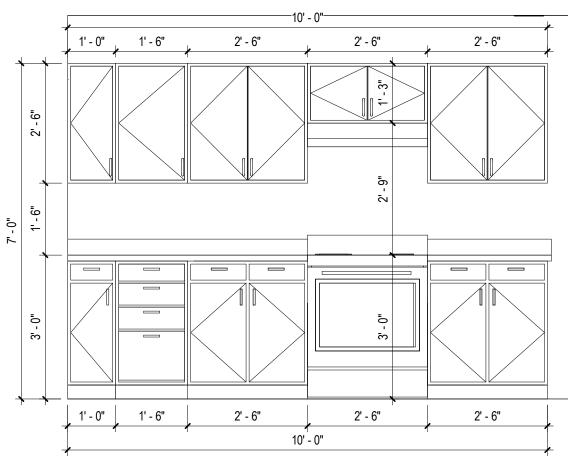
CABINET LAYOUT & **ELEVATIONS**

SCALE:



TUB 3' - 0"





2 ELEV. @ EXT. UNIT "J" KITCHEN - VIEW 1 1/2" = 1'-0"

BASE END PANEL 2 (A-105) 3

COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

3' - 0"

4 ELEV. @ EXT. UNIT "J" BATH #1 1/2" = 1'-0"

3 ELEV. @ EXT. UNIT "J" KITCHEN - VIEW 2 1/2" = 1'-0"

9' - 9"

10' - 10"

O . ___

2' - 0"

3' - 3"

SPACE FOR FRIDGE-

3' - 3"

BATHROOM VANITIES VANITY CABINETS WILL BE 30" HIGH COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER. NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH

34 1/2" HIGH PLUMBING WALL

3' - 7 1/2"

1 ENLARGED KITCHEN - EXT. UNIT "J" 1/2" = 1'-0"

Date

Description

FRONT ELEVATION BLDG HT. -22'-11" LEFT ELEVATION BLDG HT. -28'-00" 33'-01" REAR ELEVATION BLDG HT. -28'-00" RIGHT ELEVATION BLDG HT. -112'-00" TOTAL -BUILDING HT. -28'-00"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

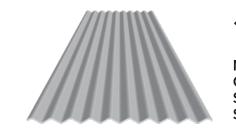
**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

3rd Floor Plate 27' - 10" 3rd Fl. Fin. Fl. 19' - 4" 2nd Floor Plate 18' - 2" Gas / Elec. Roof 2 16' - 2" 2nd Fl. Fin. Fl. 10' - 2" 1st Floor Plate 9' - 0" Gas / Elec. Roof 1 6' - 0" **G/M** 1st Fl. Fin. Fl. 0' - 0"

2 SIDE 1 ELEVATION 1/4" = 1'-0"



MATERIALS



A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales Color: Silver Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Deckorators Color: Black Style: Classic Aluminum Size: 8'x3' panels



C SHAKE SIDING

Manufacturer: Allura Color: Vary **Style:** Straight Edge **Size:** 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura Color: Vary **Style:** Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off Size: 17" x 12" x 11"



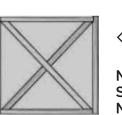
F EXTERIOR WINDOW

Manufacturer: Synergy



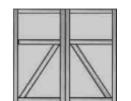
G EXTERIOR DOOR

Manufacturer: Therma-Tru Color: Vary Model: SFGEM2115Z30LB **Size:** 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108



GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams **Color:** Acacia Haze **Color ID:** SW 9132



PT-2 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Urban Putty Color ID: SW 7532



PT-4 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Granite Peak Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams Color: Urban Bronze Color ID: SW 7048



Southern Design Group, LLC

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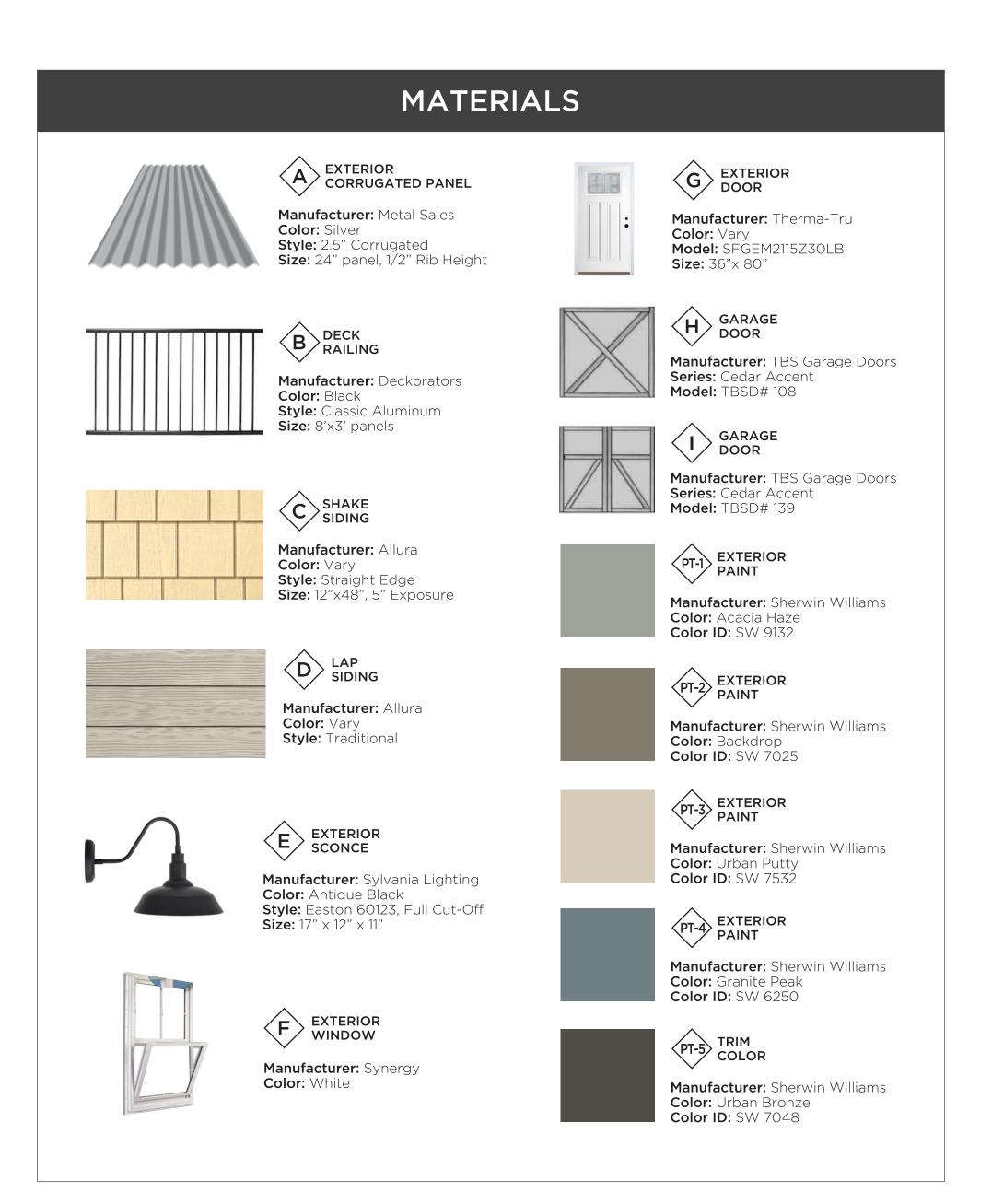
2017-5 04.28.2020 MML / IPT Checked by

> A-201 EXTERIOR **ELEVATIONS**

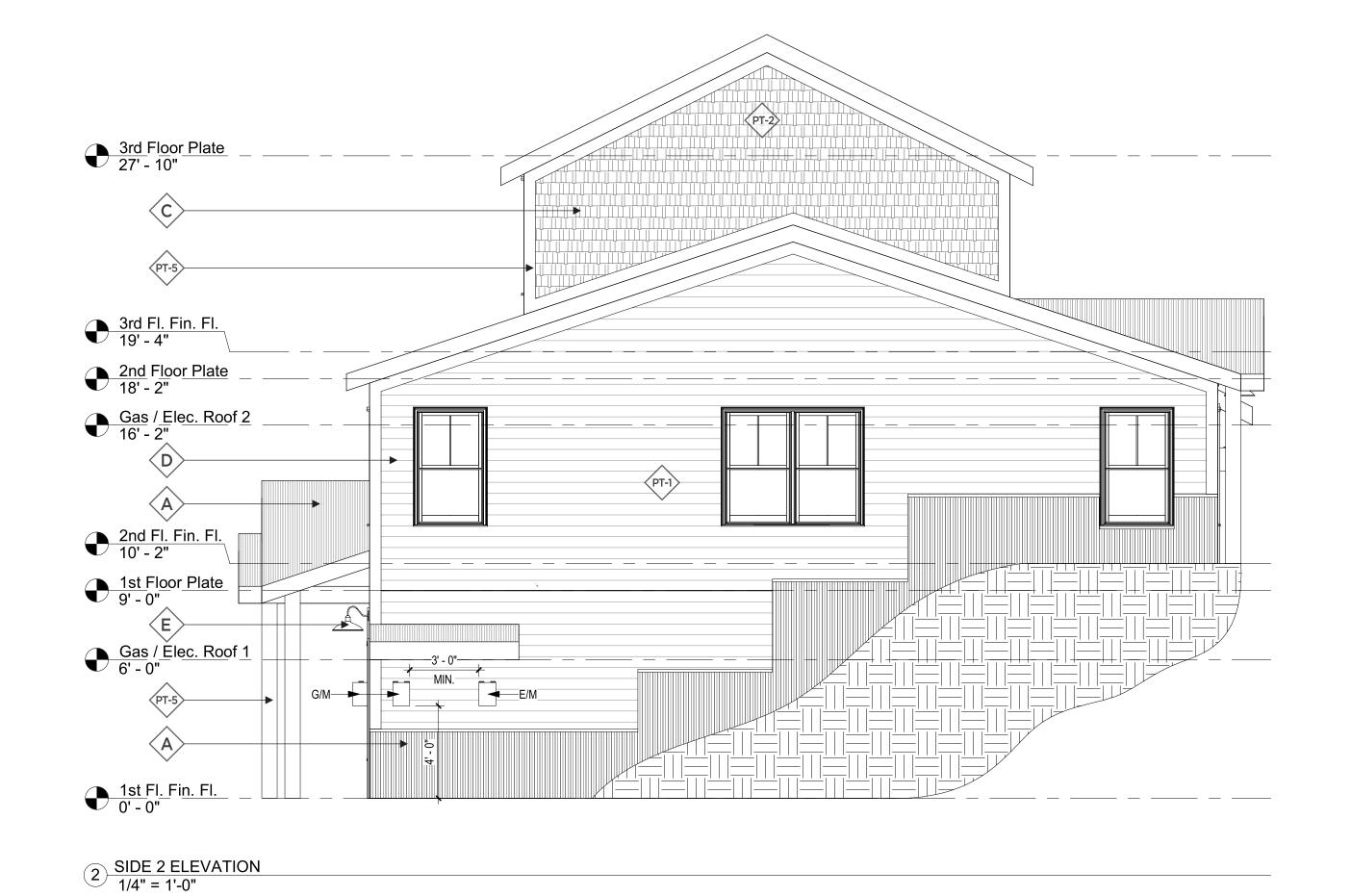
> > 1/4" = 1'-0"

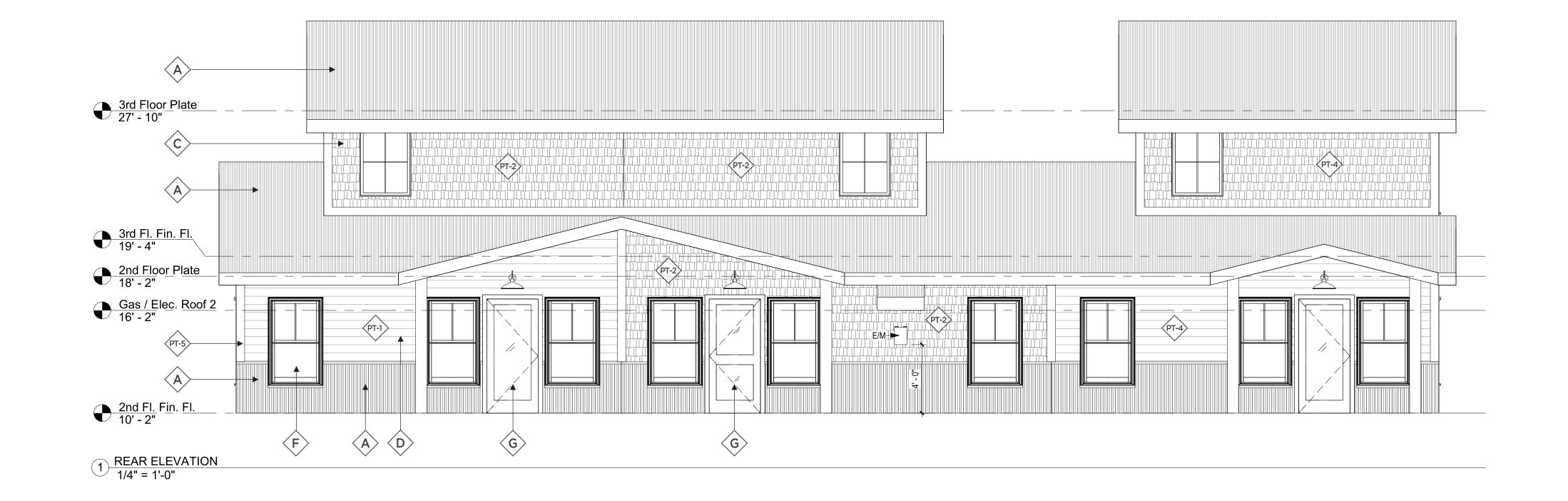
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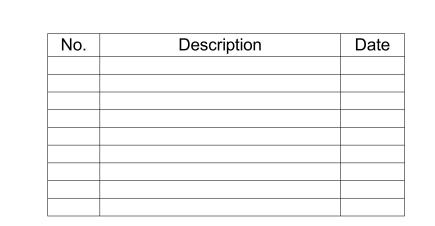
Description



**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING









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The Prospect Homestead Subdivision

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Project number 2017-5

Date 04.28.2020

Drawn by MML/IPT

Checked by EAW

A-202 EXTERIOR ELEVATIONS

1/4" = 1'-0"

SCALE:

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #2 - UNITS "E" & "H" 3 - BEDROOM PLANS LOTS 24-25



SUSP SUSPEND(ED ON CENTER COATING SQUARE YARD EARTH/ PREPARED SUBGRADE HDBD HEAD BOARD COUST ACOUSTICAL CENTER **OUTSIDE DIAMETER** SYMMETRICAL ACOUSTICAL CEILING TILE HDNR HARDENER OFFICE GRAVEL, STONE CONCRETE TOP AND BOTTOM DIAGONAL **TONGUE AND GROOVE** DIMENSION **TACKBOARD** CONCRETE MASONRY UNIT PUBLIC ADDRESS TELEPHONE DOOR PAAR PARALLEL **TERMINATE** DOWN SPOUT PARTN PARTITION TERRAZZO (TERRACE PORTLAND CEMENT PLASTE HANDICAPPED URINAL TOP OF CURB PERPENDICULAR TOP OF MASONRY PLAM PLASTIC LAMINAT EACH SAND,GROUT,MORTAR INTERCOM PLAS PLASTER EACH FACE INSIDE DIAMETER PLBG PLUMBING RON, STEEL PNLG PANELING ALUMINUM UNLESS NOTED OTHERWISE **EACH WAY** UTILITY SHELF **ELECTRIC WATER COOLER EXHAUST** PAINTED **EXISTING** VENTILATE PAPER TOWE **EXPANSION** JOINT WOOD BLOCKING RECEPTACLE EXTERIOR VENT THRU ROOF BLDG BUILDING VINYL COMPOSITE TILE CERAMIC TILE FIRE ALARM FLOOR DRAIN RETURN AIR **FOUNDATION** REFLECTED CEILING PLAN WATER CLOSET LAVATORY FIRE EXTINGUISHER ROOF DRAIN WOOD ACOUSTIC PANEL CEILING FIRE EXTINGUISHER BRACKET WINDOW RECEPTACLE **BEARING** WIDE FLANDE SYPSUM WALLBOARD FIRE HOSE T SECTION REQD REQUIRED WWF WELDED WIRE FABRIC BUILT UP ROOFING MAS BLK MASONRY BLOCK ROOFING ROLLED PAPER HOLDER FINISHED WOOD **CENTER TO CENTER** FLEX PLYWOOD SCHED SCHEDULE CEMENT(IOUS) SCR SHOWER CURTAIN ROD RIGID INSULATION **CONTROL JOINT** SECT SECTION SHOWER HEAD BATT INSULATION GALVANIZED

SHOWER

SP CTG SPECIAL COATING

SQUARE SEAMLESS STEA

PROJECT TEAM

SND SANITARY NAPKIN DISPENSER

SIMILAR

SMLS SEAMLESS

STL STEEL

STOR STORAGE

ARCHITECTS

Southern Design Group, LLC

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2017-05 Project number 04.28.2020

GENERAL NOTES

STANDARDS AND REGULATIONS

BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY, CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

ASSEMBLY TESTS AND STANDARDS.

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY. 4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY

CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7.CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME

OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT. 6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO

GENERAL CONSTRUCTION ISSUES

ACCOMMODATE ACTUAL CONDITIONS.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS. 4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH.

5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS GUIDELINES SET FORTH IN THESE DOCUMENTS.

6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE

AND OPERATION MANUALS. WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

COMB COMBINATION

CONN CONNECTION

LSRM CLASSROOM

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

GRAB BAR

GLZ TILE GLAZED TILE

GYP GYPSUM GYP BD GYPSUM BOARD

GENERAL CONTRACTO

GFRC GLASS FIBER REINFORCED

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

ABBREVIATIONS

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. DO NOT SCALE THESE DRAWINGS. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET ARDMORE, OK 73401

CONTACT: Lance Windel

PHONE: 580.226.0416

ARCHITECT

SOUTHERN DESIGN GROUP, LLC 207 CADDO STREET

ARDMORE, OK 73401

Elizabeth A. Windel, AIA CONTACT: PHONE: 580.798.0373

CONTRACTOR

600 SOUTH WASHINGTON STREET

MO

MTG HT MOUNTING HEIGHT

NOT IN CONTRACT

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

HOMESTEAD HOUSING, LLC

ARDMORE, OK 73401 CONTACT: Lance Windel

PHONE:

STRUCTURAL ENGINEER

580.226.0416

400 NORTH MAIN STREET GUNNISON, CO 81230

Bob Williams, PE PHONE: 970.641.2499

DUPLEX PLANS - 1ST FLOOR A-101.1 DUPLEX PLANS - 2ND & 3RD FLOOR A-101.2 UNIT "E" PLANS A-101.3 UNIT "H" PLANS **ROOF PLAN** A-103 BUILDING #2 - ELECTRICAL PLAN A-104 CONSTRUCTION DETAILS PRESCRIPTIVE TABLE A-104.1 A-105 CABINET LAYOUT & ELEVATIONS A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS 420 SF

SHEET INDEX

Sheet Name

MATERIAL INDICATIONS

TERRAZZO

JNIT PLANS SQUARE FOOTAGE PER UNIT	BUILDING PLANS SQUARE FOOTAGE
JNIT "E" (CONDITIONED)	BUILDING #2 (CONDITIONED)
3-BEDROOM	1ST FLOOR - 420 SF
1ST FLOOR - 198 SF	2ND FLOOR - 1,679 SF
2ND FLOOR - 839 SF	<u>3RD FLOOR - 913 SF</u>
<u>3RD FLOOR - 456 SF</u>	TOTAL (CONDITIONED) - 3,012 SF
TOTAL (CONDITIONED) - 1,493 SF	
	(UNCONDITIONED)
(UNCONDITIONED)	GARAGE - 654 SF
GARAGE - 311 SF	TOTAL (UNCONDITIONED) - 654 SF
TOTAL (UNCONDITIONED) - 311 SF	
JNIT "H" (CONDITIONED)	

222 SF

2ND FLOOR -839 SF 3RD FLOOR -TOTAL (CONDITIONED) -(UNCONDITIONED)

TOTAL (UNCONDITIONED) - 344 S

1ST FLOOR -

3-BEDROOM

Sheet #

A-100

COVER SHEET

PLOT PLAN

Date Description

DOCUMENTS

Drawn by Checked by



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

20
1L
W
1L

A-100 PLOT PLAN

SCALE:

1/8" = 1'-0"

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

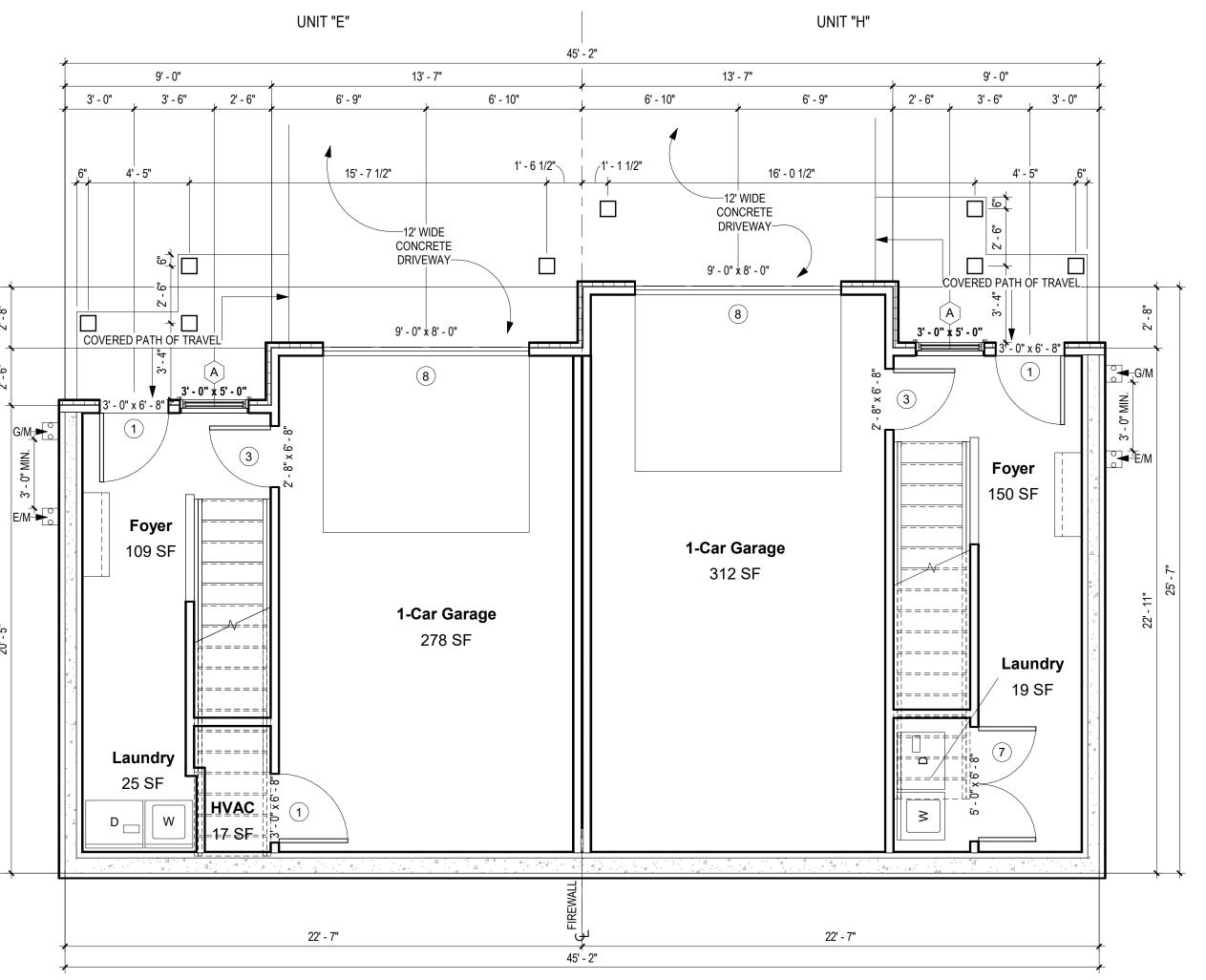
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			CURVE TAI	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	TON CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

1) SITE TABLE 1/8" = 1'-0"

No.	Description	Date

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



1 BUILDING #2 PLAN - 1ST FLOOR 1/4" = 1'-0"

WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE) GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE).
- 20-MIN. RATED MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR

GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM
- PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL. ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH
- ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL
- LOCATIONS PRIOR TO BEGINNING THE NEW WORK. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO
- END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE
- SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY
- TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE
- WITH 2015 IRC. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- **DOCUMENTS** COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER
- TRADES, EQUIPMENT AND PLUMBING FIXTURES COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL

NOT ALL CLEANOUTS AILE SHOWN FOR DIVAVING CLANTER. CONTINACTOR SHALL
INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH)

www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

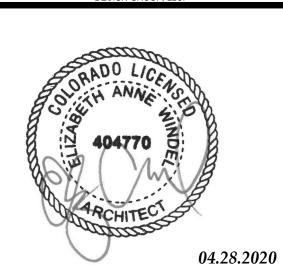
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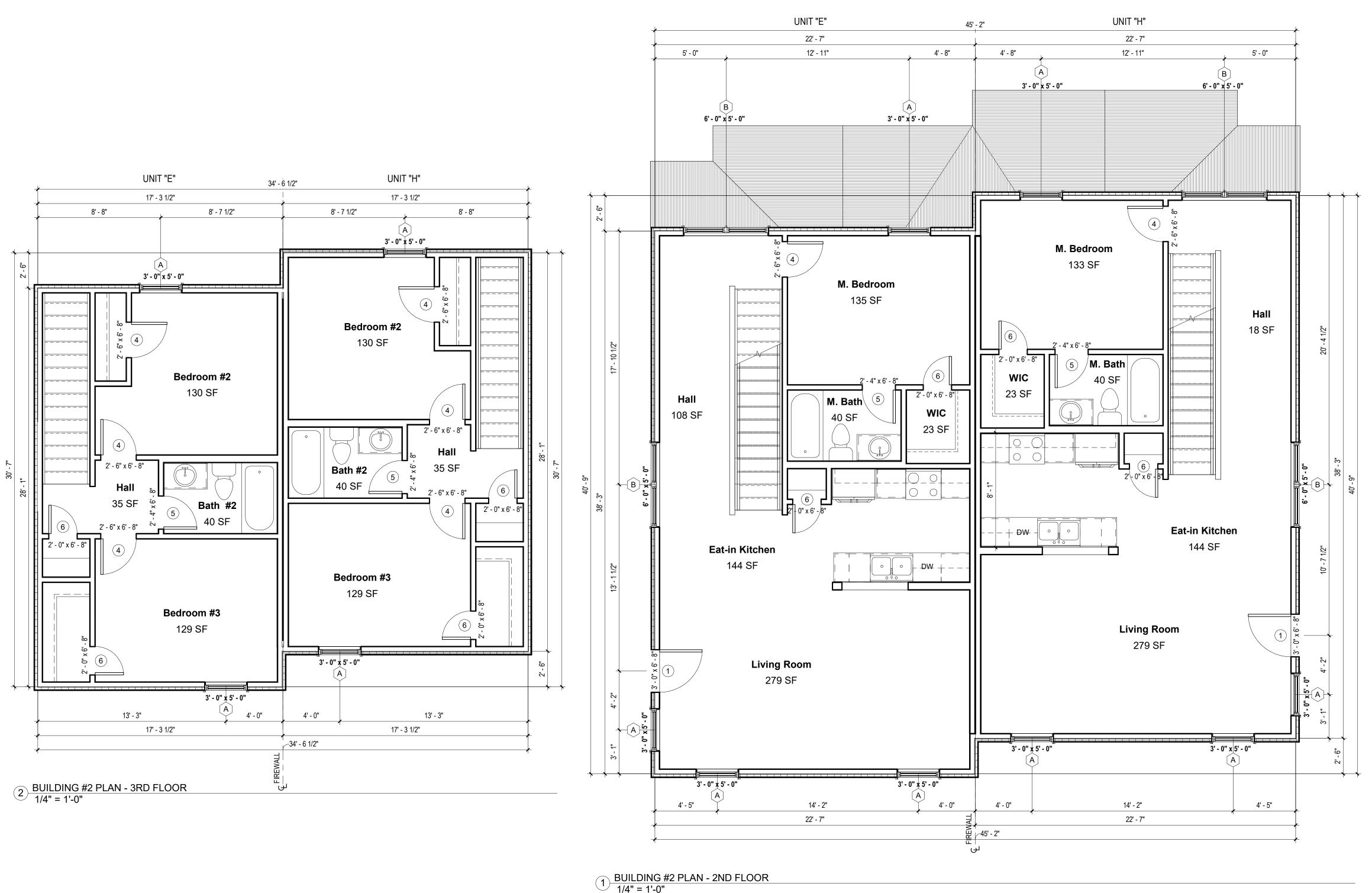
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A-101 **DUPLEX PLANS -**1ST FLOOR

SCALE:

NOTES *SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



1/4" = 1'-0"

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED

INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)

MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

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- REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF

PLAN GENERAL NOTES

FOUNDATION WALL, 3' BELOW SLAB

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
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- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
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- SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY
- TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR
- TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE
- DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.

NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING

- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL
- INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH)

www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

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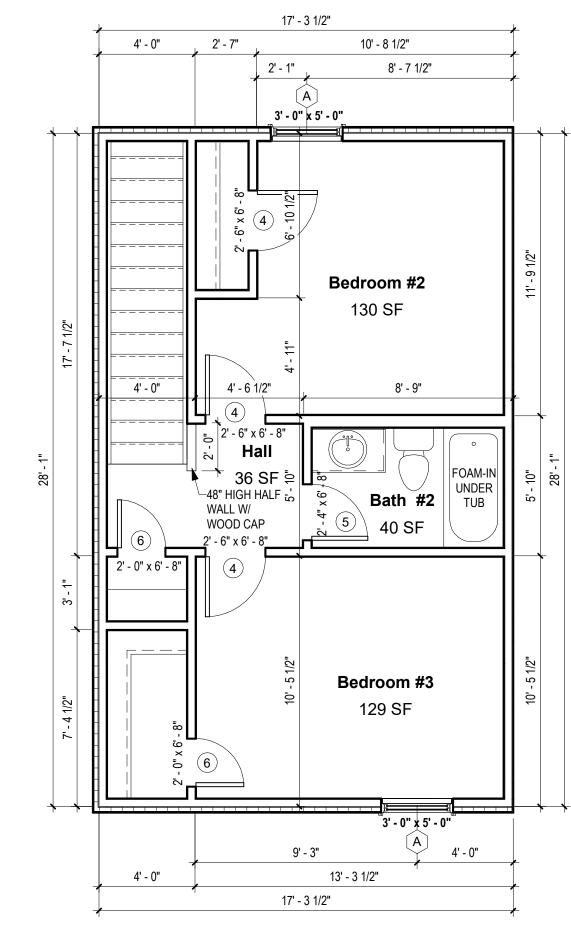
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Project number	2017-05
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-101.1 **DUPLEX PLANS -**2ND & 3RD FLOOR

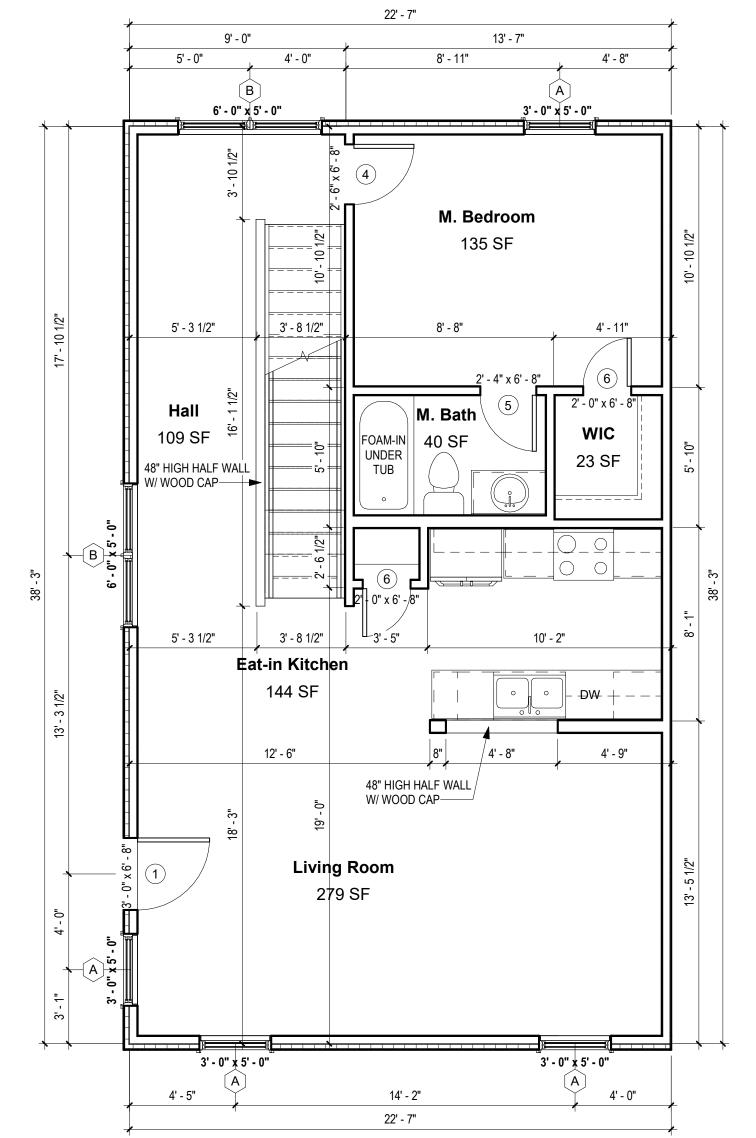
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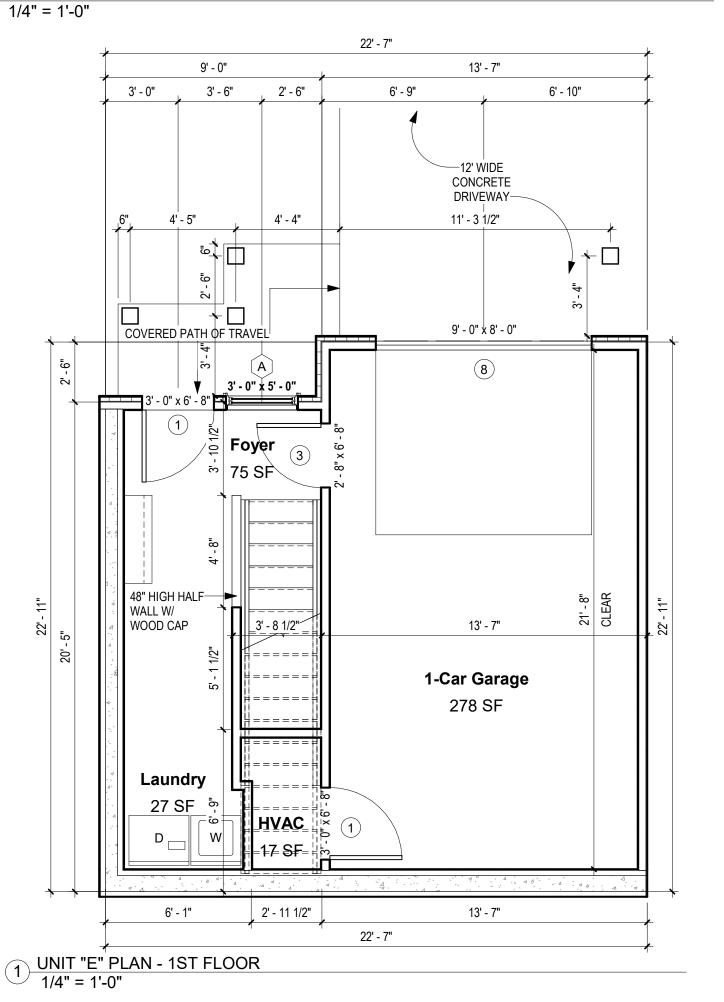
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



3 UNIT "E" PLAN - 3RD FLOOR 3/ 1/4" = 1'-0"



2 UNIT "E" PLAN - 2ND FLOOR 1/4" = 1'-0"



WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE) GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE).

MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR

GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

ATTIC: CLOSED CELL FOAM SPRAY @ R49

ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.

SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL

AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT,

WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.

- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE
- SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY
- TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE
- WITH 2015 IRC. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER
- TRADES, EQUIPMENT AND PLUMBING FIXTURES. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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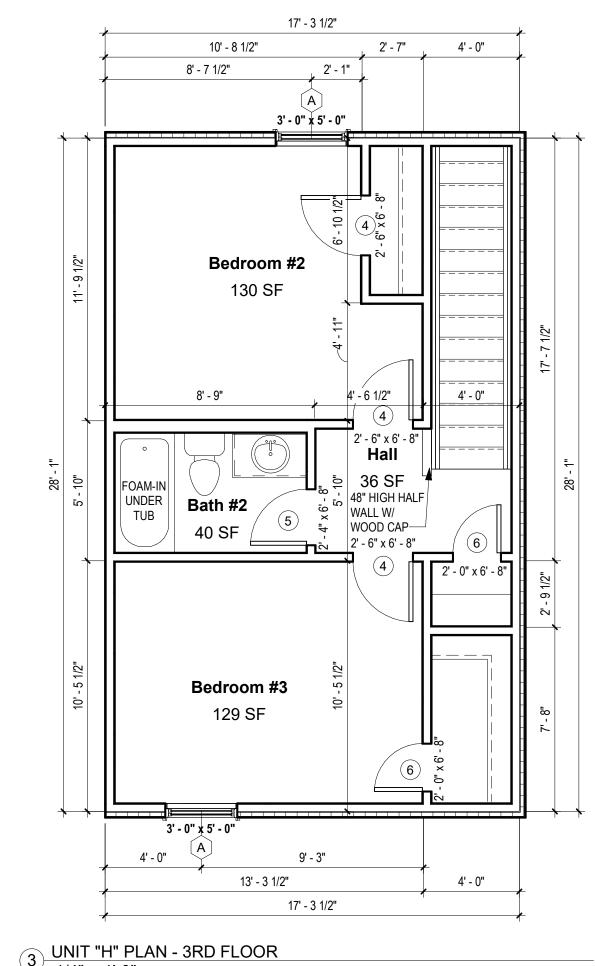
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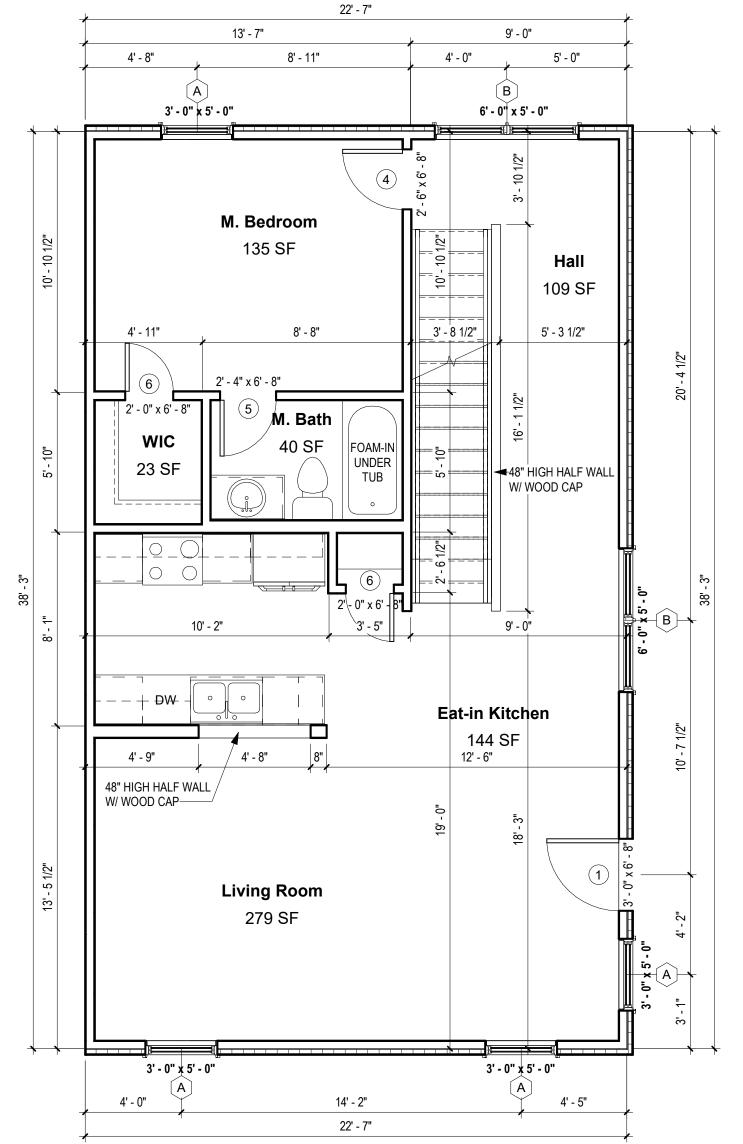
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A-101.2 UNIT "E" PLANS

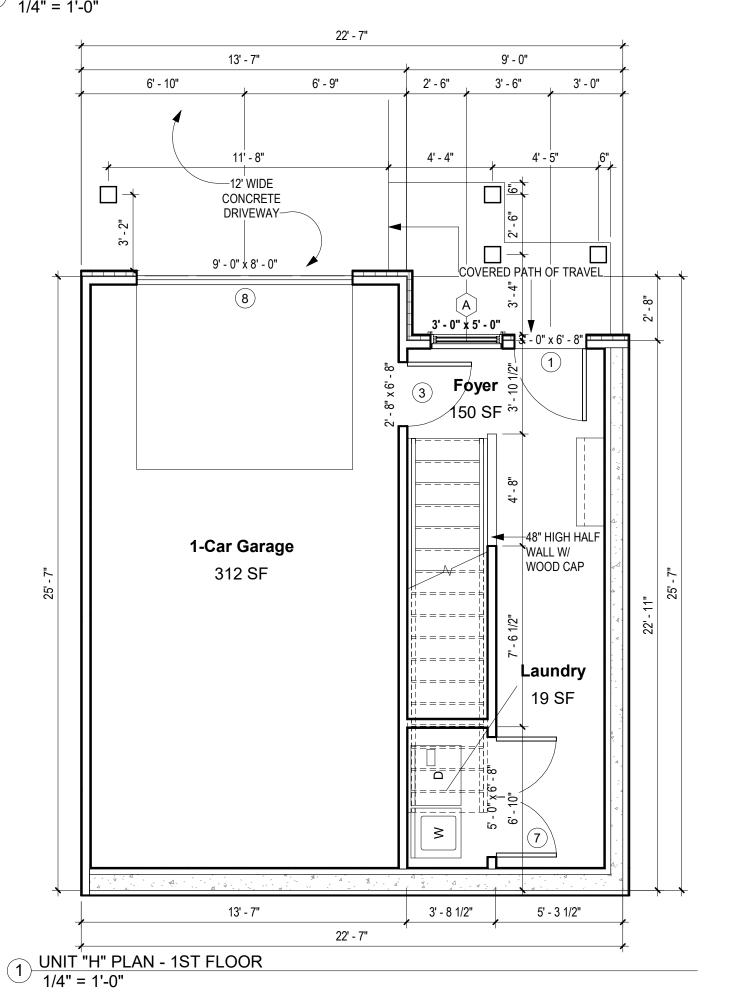
SCALE:

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE





2 UNIT "H" PLAN - 2ND FLOOR 1/4" = 1'-0"



WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

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- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION
- DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH
- ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL
- LOCATIONS PRIOR TO BEGINNING THE NEW WORK. 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT.
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON
- CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL
- APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE
- WITH 2015 IRC. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR
- TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION. 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED,
- INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE
- DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015

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- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS
- INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL
- INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH)

www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

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2017-05 **Project number** 04.28.2020 **Date** Drawn by Checked by

> A-101.3 UNIT "H" PLANS

SCALE:

GENERAL NOTES:

- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- 2. ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- PLAN
 3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.
 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

3" / 1'-0"

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

- ROOF STYLE:

 1. ALL ROOF PLANES WILL BE AS NOTED ON PLAN
 2. PLATE HEIGHTS ARE NOTED ON EXTERIOR
- ELEVATIONS (A-201)



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Project number 2017-05 04.28.2020 Drawn by Checked by

A-102 ROOF PLAN

Date

SCALE:

Description

As indicated



3" / 1'-0"

CONTRACTOR INSTALLED CRICKET—

GENERAL ELECTRICAL NOTES:

- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELEC	TRICAL LEGEND / SCHEDULE	
ΩA	WALL MOUNT FIXTURE, 36" WIDE	●K BATHROOM EXHAUST FAN
ЖВ	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	A PHONE / DATA
ЖC	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	
ΧD	WALL MOUNT FIXTURE, 24" WIDE	▲ CABLE
ΧE	5-LIGHT CHANDELIER	52" FAN, WITH LIGHT KIT
ΧF	EXTERIOR FLOODLIGHT	
ДH	GOOSENECK LIGHT FULL CUT-OFF	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	RECESSED CAN LIGHT, PROVIDE CFL BULBS	60W MAX PROVIDE CELBULBS
	SEE ARCHITECT SPECIFICATION	ONS FOR LIGHTING FIXTURE SELECTIONS



Southern Design Group, LLC

Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

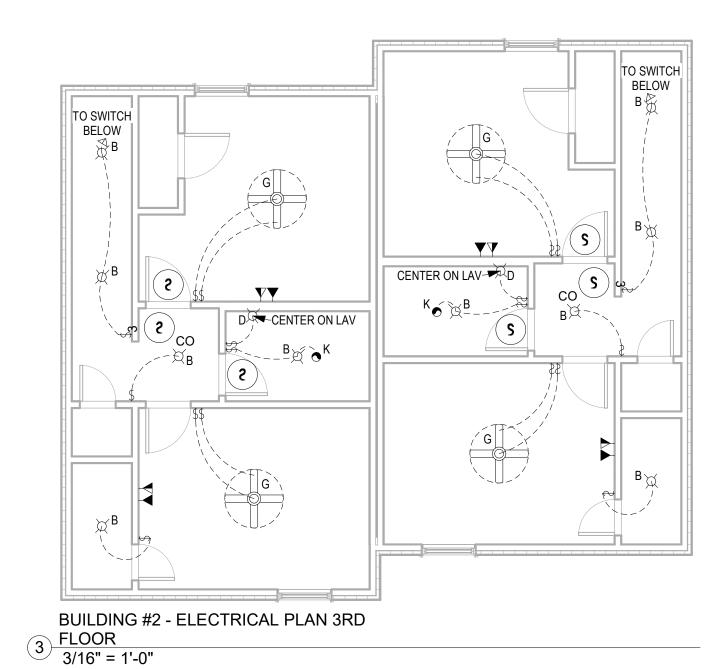
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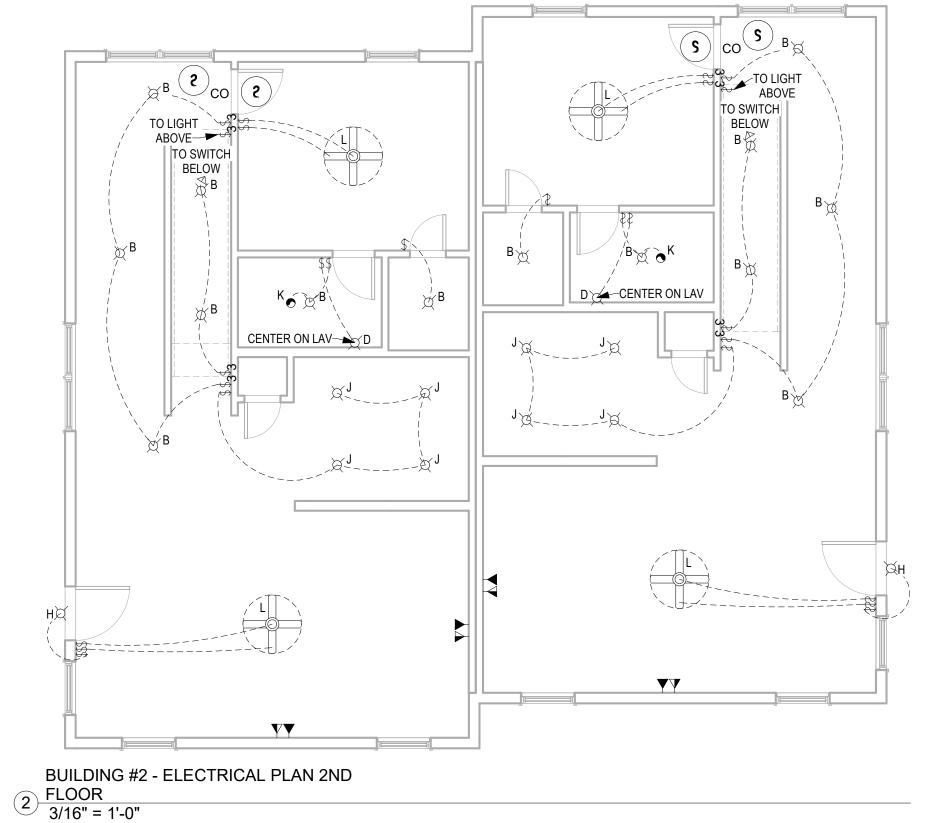
CONSULTANTS:

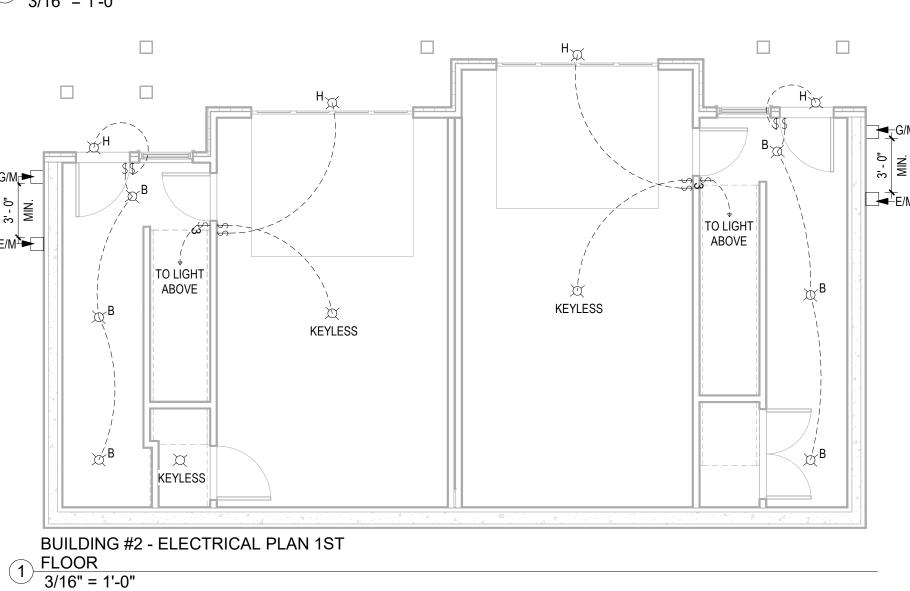
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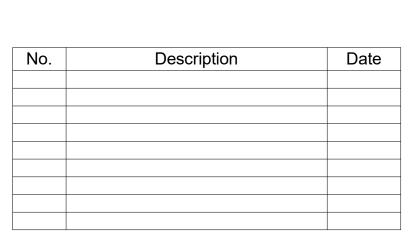
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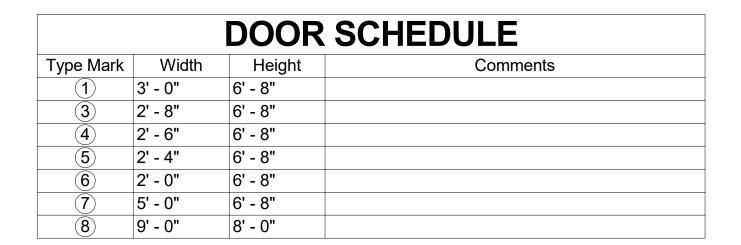


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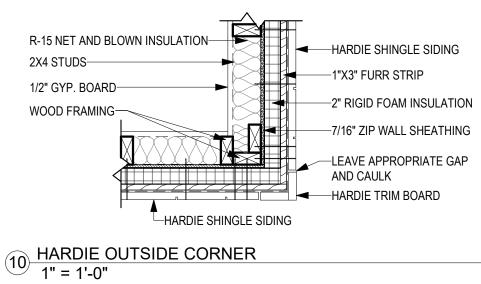
> A-103 BUILDING #2 -**ELECTRICAL PLAN**

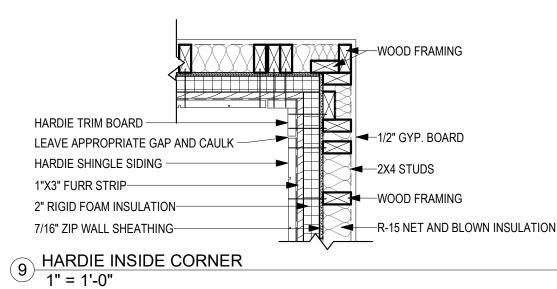
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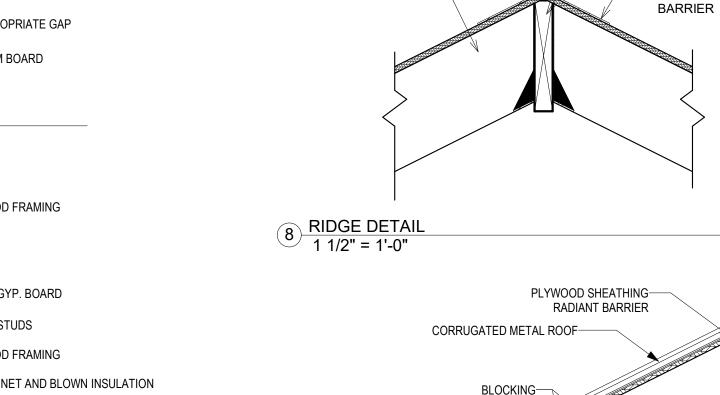


		WI	NDOW SCHEDULE
Type Mark	Width	Height	Туре
A	3' - 0"	5' - 0"	
(B)	6' - 0"	5' - 0"	

PLUMBING FIXTURE SCHEDULE				
Count	Description			
4	19" X 19" ROUND VANITY SINK			
2	36" X 21" DOUBLE KITCHEN SINK			
4	SHOWER/TUB COMBO			
4	TOILET - STANDARD HT.			



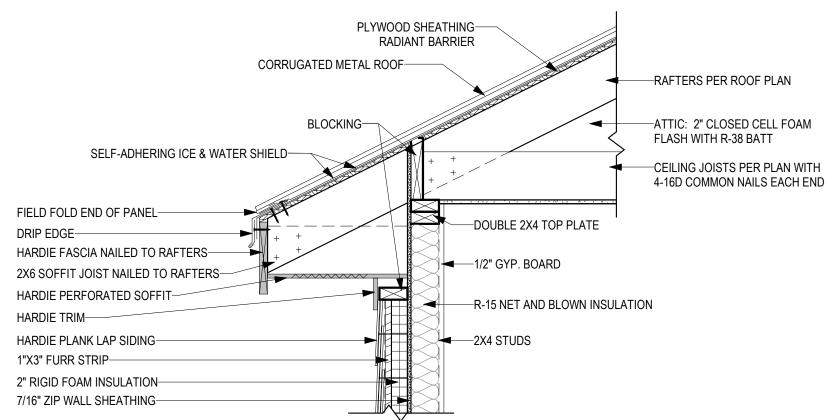




RAFTERS

PLAN

PER ROOF

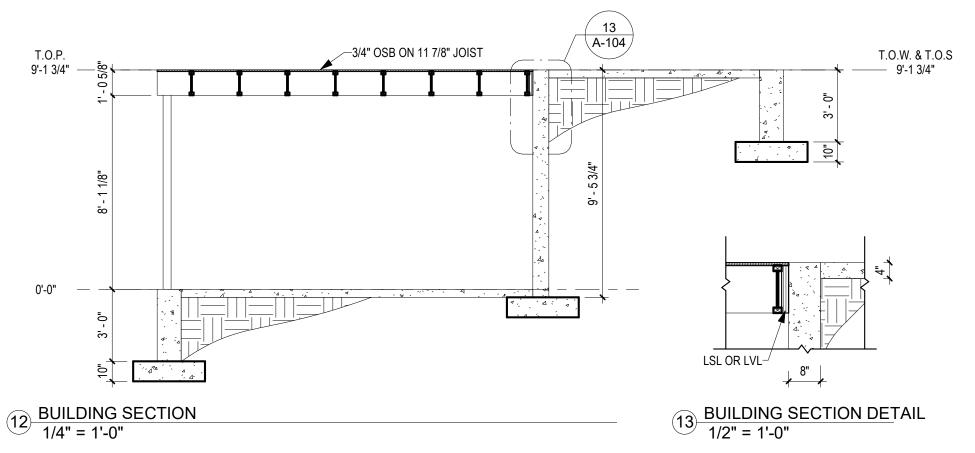


WOOD FRAMING-

2X4 WOOD STUD

4 HARDIE WINDOW DETAILS
1" = 1'-0"

3 HARDIE GRADE CLEARANCE 1" = 1'-0"



**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

CORRUGATED METAL SIDING

—2" RIGID FOAM INSULATION

---7/16" ZIP WALL SHEATHING

-----R-15 NET AND BLOWN INSULATION

1"X3" FURR STRIP

—2X4 STUDS

TYPE 1

EXTERIOR CORRUGATED METAL WALL

WALL TYPE LEGEND
1" = 1'-0"

—1/2" GYP. BD.

EXTERIOR

-1"X3" FURR STRIP

—2X4 STUDS

1/2" GYP. BD.

TYPE 2

EXTERIOR (2X4) HARDIE-PLANK

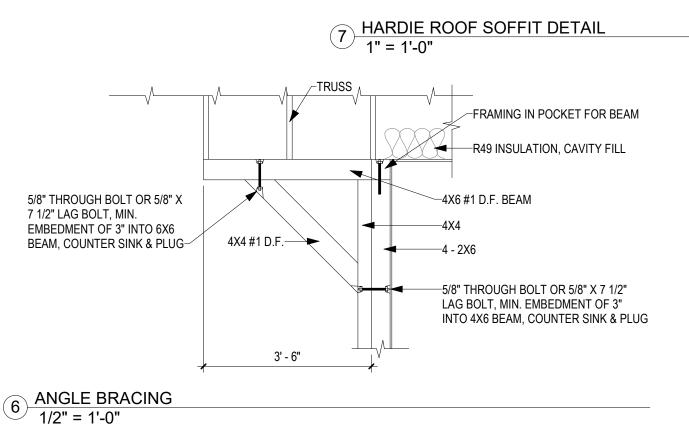
──5/8" HARDIE PLANK LAP SIDING

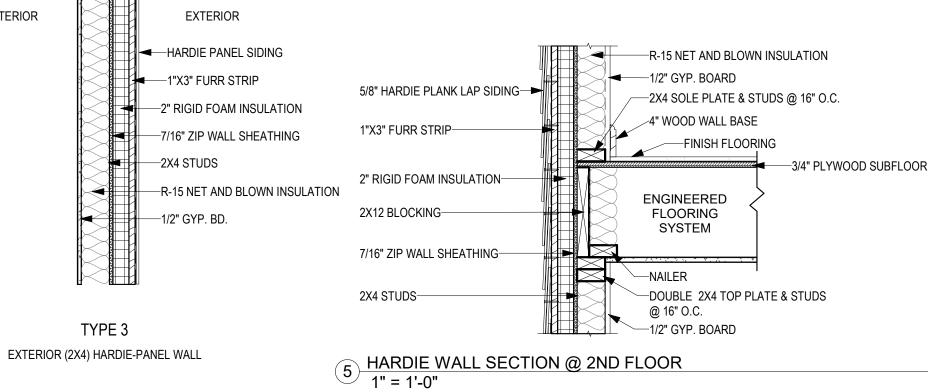
-2" RIGID FOAM INSULATION

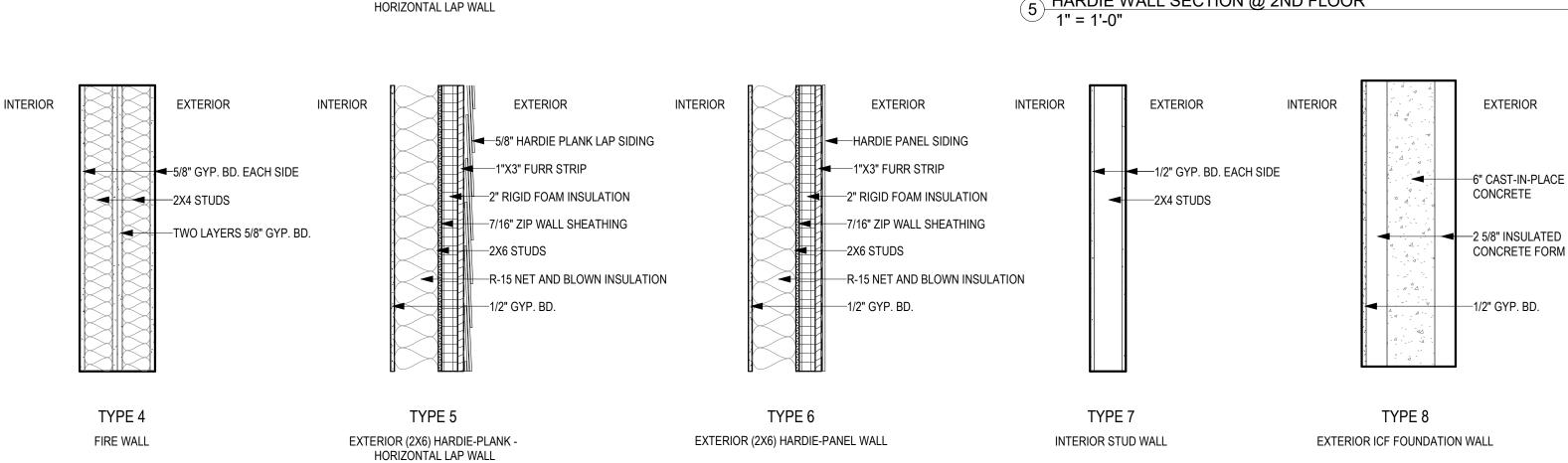
-7/16" ZIP WALL SHEATHING

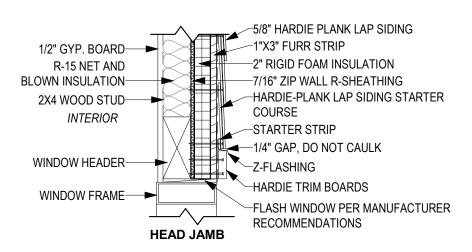
-R-15 NET AND BLOWN INSULATION

INTERIOR









FLASH WINDOW PER MANUFACTURER

SILL IT MUST BE FLASHED

HARDIE TRIM BOARDS

—IF TRIM IS PROTRUDING BEYOND WINDOW

RIDGE BD. PER ROOF

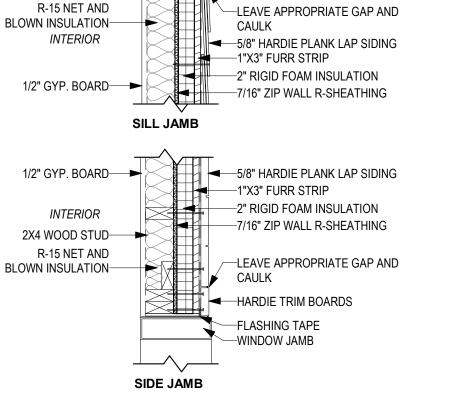
MIN. 1 DIMENSIONAL

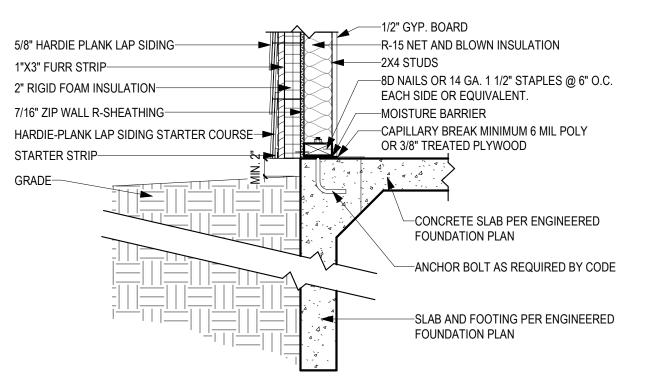
SIZE LARGER THAN

WITH RADIANT

- PLYWOOD SHEATHING

RAFTERS





**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED

SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

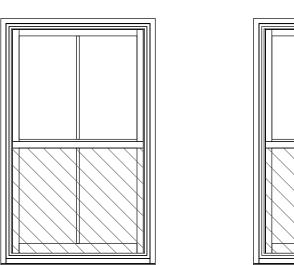
CONSTRUCTION NOTES:

INSULATION REQUIREMENTS FOR ZONE 7

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND
- TENDON ANCHORAGES. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM

**REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR

FOUNDATION TO PREVENT PONDING OF WATER

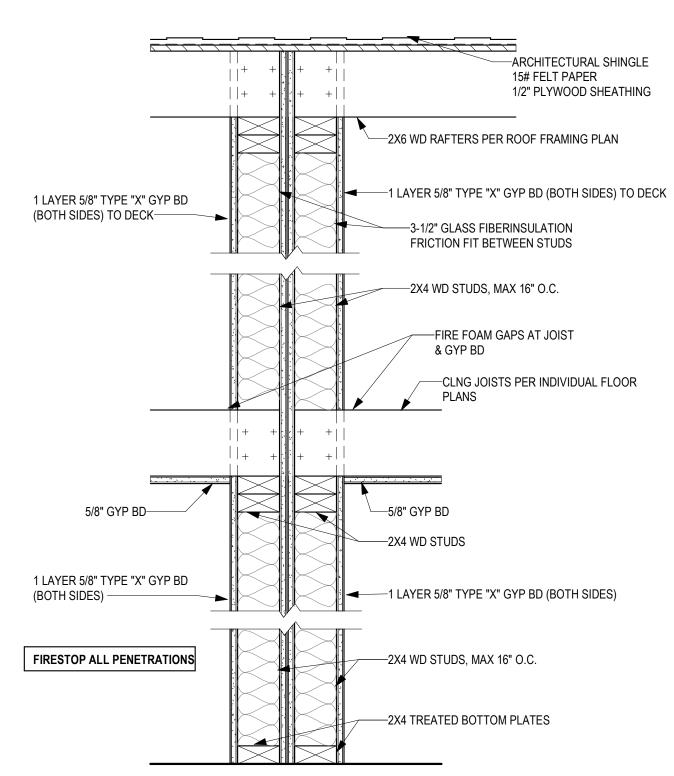


3-0 x 5-0 Double Hung Window

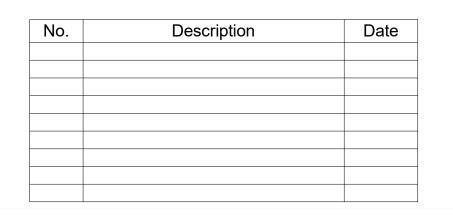
Egress area meets IRC Section 310.1.1 minimum of 5SF.

6-0 x 5-0 Twin Double Hung Window

2 TYPICAL WINDOW EGRESS 1/2" = 1'-0"



1 FIRE SEPARATION WALL [!]/ 1 1/2" = 1'-0"





Southern Design Group, LLC

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CONSULTANTS:

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> A-104 CONSTRUCTION **DETAILS**

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING Fi-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d F-VALU E & DEPTH	SPACE ^G WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
8	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.

ARCHITECTS

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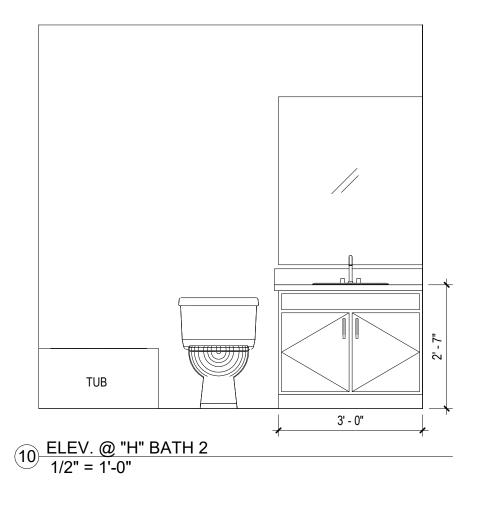
> A-104.1 **PRESCRIPTIVE**

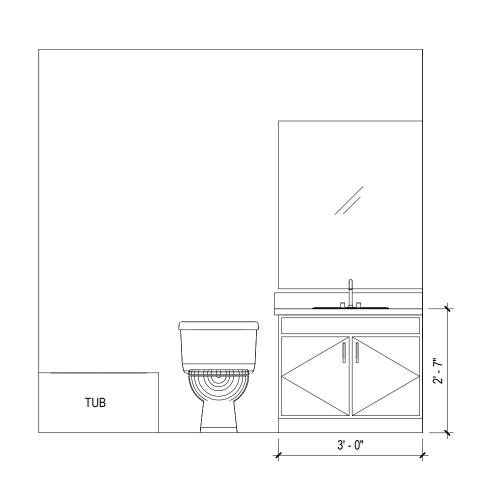
TABLE

SCALE:

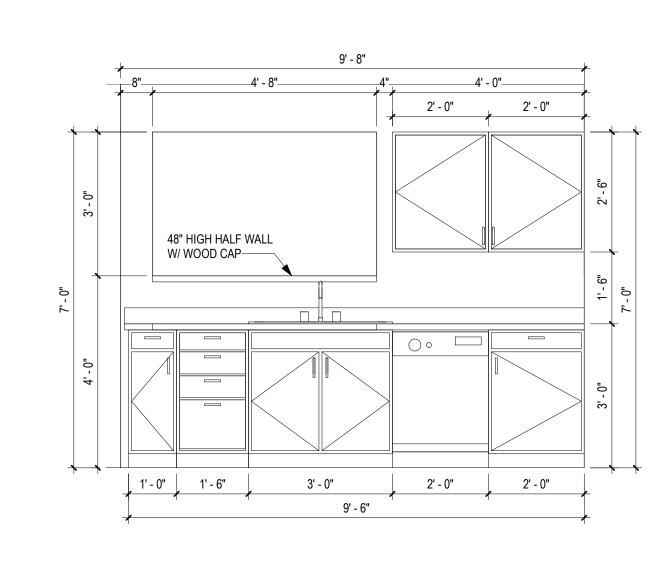
Description	Date
	Description

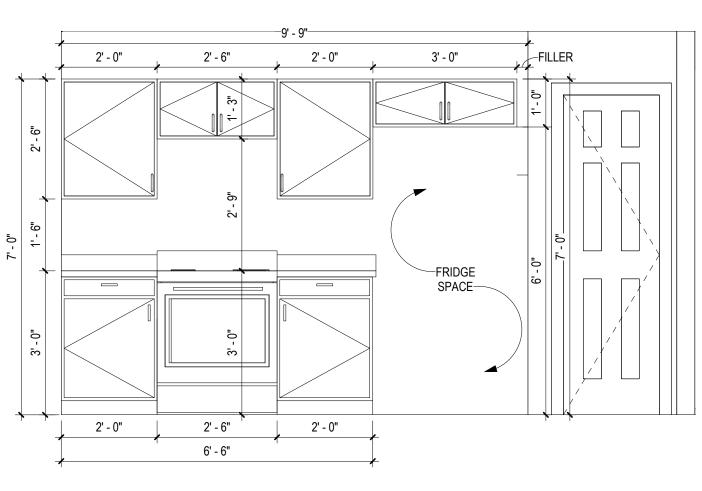
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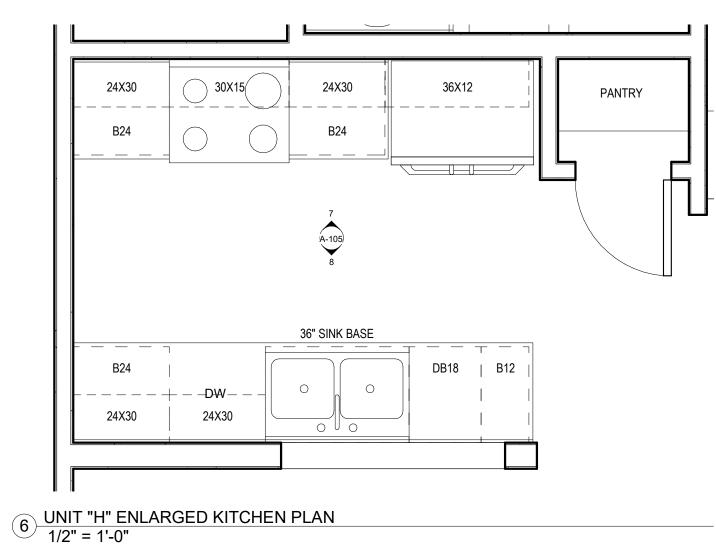




9 ELEV. @ "H" M. BATH 1/2" = 1'-0"

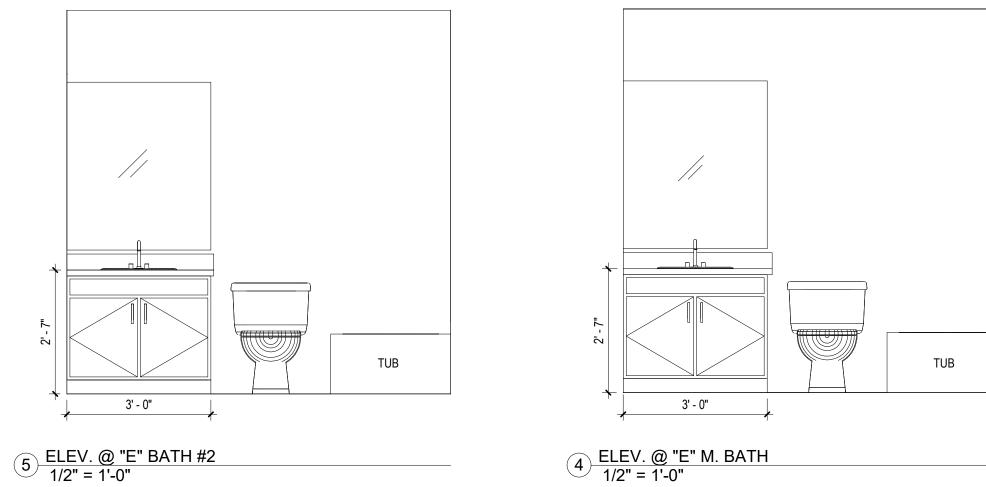




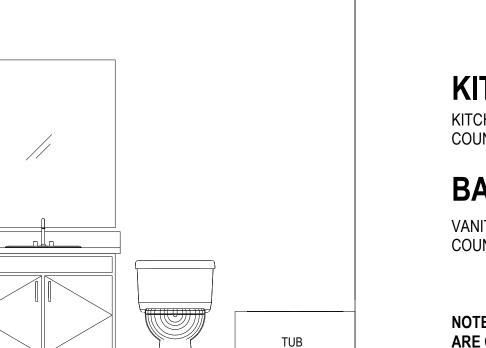




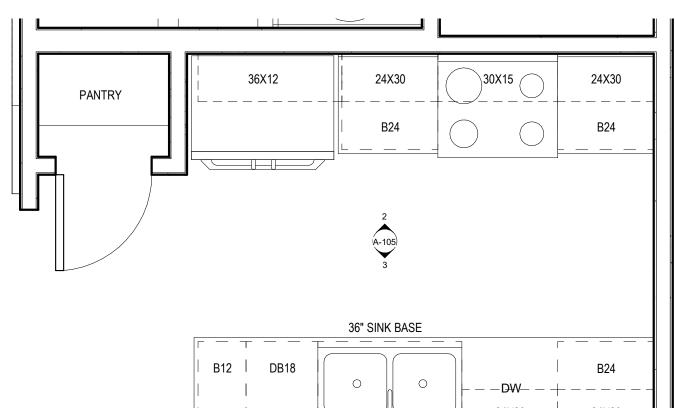
8 ELEV. @ "H" KITCHEN - VIEW 2 1/2" = 1'-0"



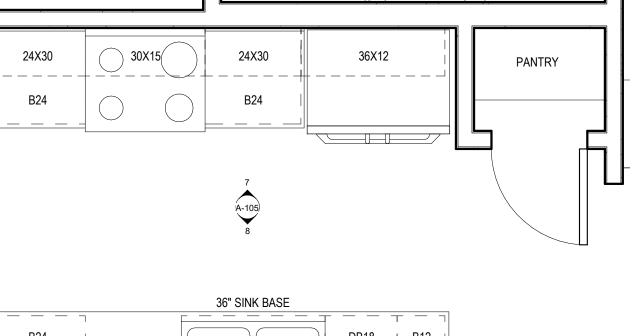
7 ELEV. @ "H" KITCHEN - VIEW 1 1/2" = 1'-0"







	No.	Description	Dat
			



KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE

ARCHITECTS

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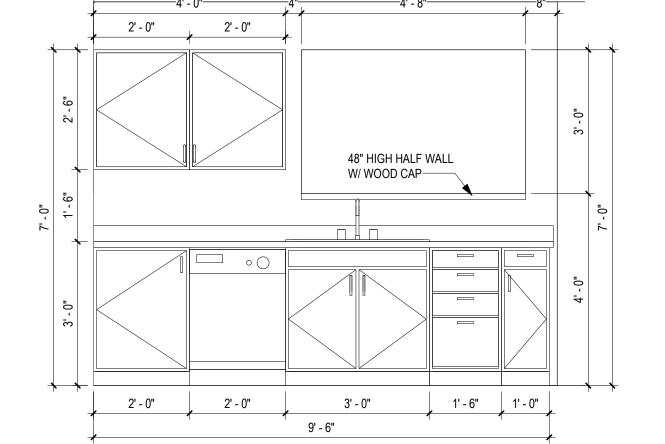
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Project number	2017-0
Date	04.28.202
Drawn by	MM
Checked by	EAV

A-105 CABINET LAYOUT & **ELEVATIONS**

SCALE:

As indicated



3 ELEV. @ "E" KITCHEN - VIEW 2 1/2" = 1'-0"

2 ELEV. @ "E" KITCHEN - VIEW 1 1/2" = 1'-0"

FILLER-

3' - 0"

SPACE-

2' - 0"

2' - 0"

2' - 6"

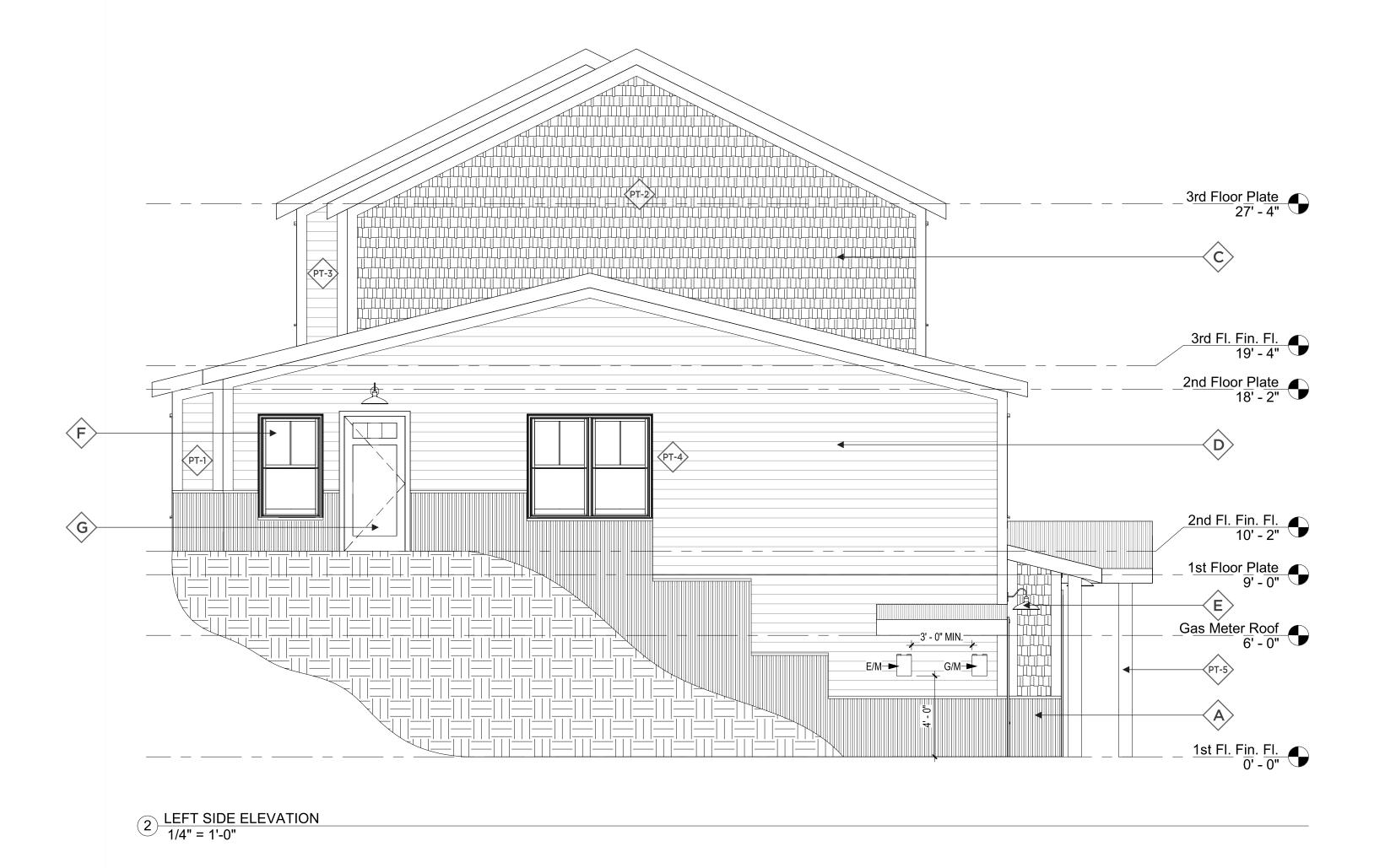
2' - 6"

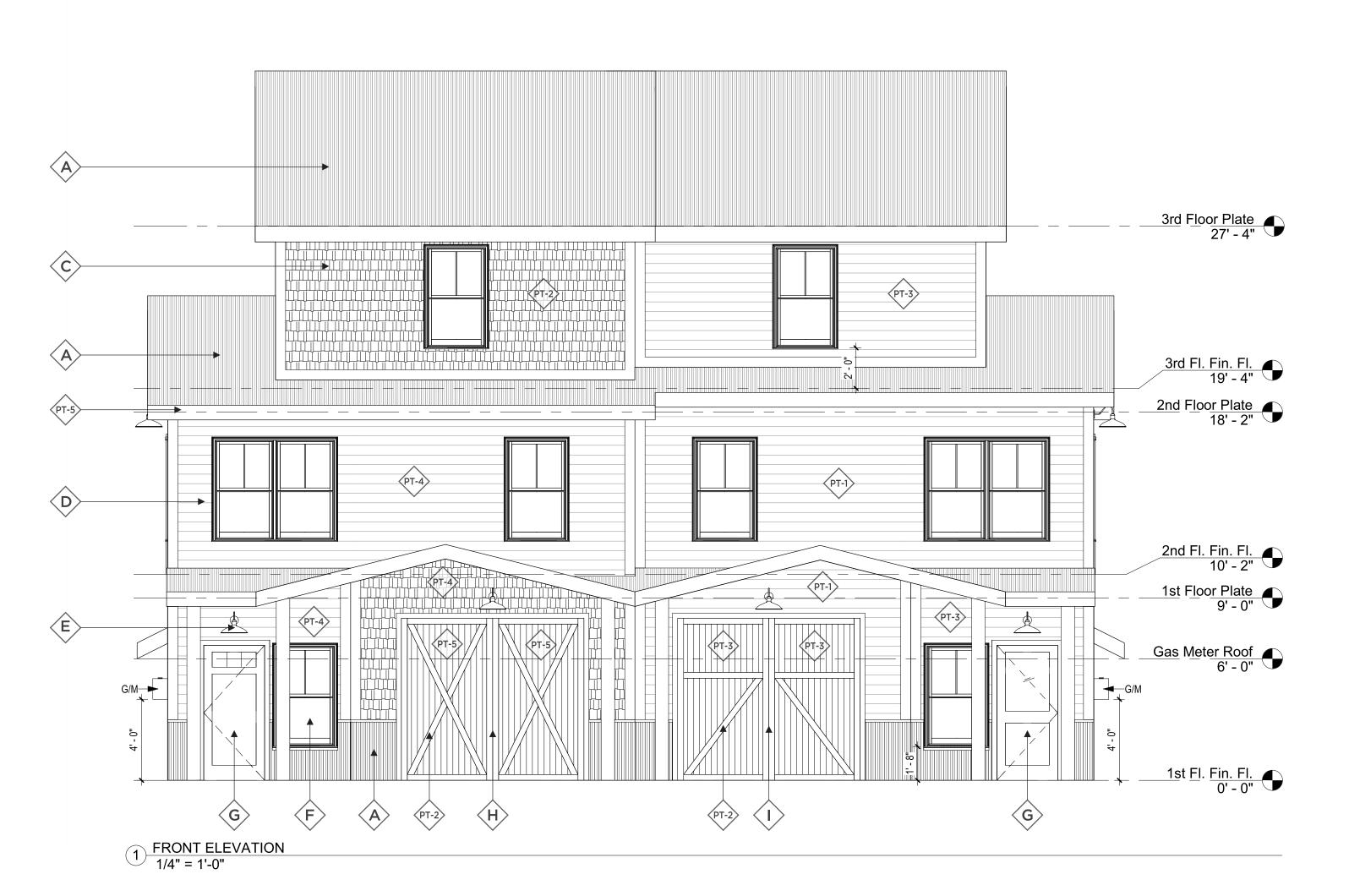
6' - 6"

2' - 0"

2' - 0"

1 UNIT "E" ENLARGED KITCHEN PLAN 1/2" = 1'-0"







FRONT ELEVATION BLDG HT. -LEFT ELEVATION BLDG HT. -REAR ELEVATION BLDG HT. -RIGHT ELEVATION BLDG HT. -TOTAL -**BUILDING HT. -**

35'-00"

29'-11"

24'-10"

29'-11"

119'-08"

29'-11"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

ARCHITECTS

Southern Design Group, LLC

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04.28.2020

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Project number	2017-0
Date	04.28.202
Drawn by	MM
Checked by	EA

A-201 EXTERIOR **ELEVATIONS**

SCALE:

Date

Description

1/4" = 1'-0"

MATERIALS A EXTERIOR CORRUGATED PANEL Manufacturer: Metal Sales Color: Silver Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height B DECK RAILING **Manufacturer:** Deckorators Color: Black **Style:** Classic Aluminum **Size:** 8'x3' panels SHAKE SIDING Manufacturer: Allura Color: Vary Style: Straight Edge Size: 12"x48", 5" Exposure D LAP SIDING Manufacturer: Allura Color: Vary Style: Traditional E EXTERIOR SCONCE Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off Size: 17" x 12" x 11"



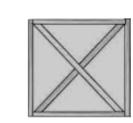
F EXTERIOR WINDOW

Manufacturer: Synergy



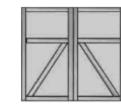
G EXTERIOR DOOR

Manufacturer: Therma-Tru Color: Vary Model: SFGEM2115Z30LB Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108



GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Backdrop **Color ID:** SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Urban Putty **Color ID:** SW 7532



PT-4 EXTERIOR PAINT

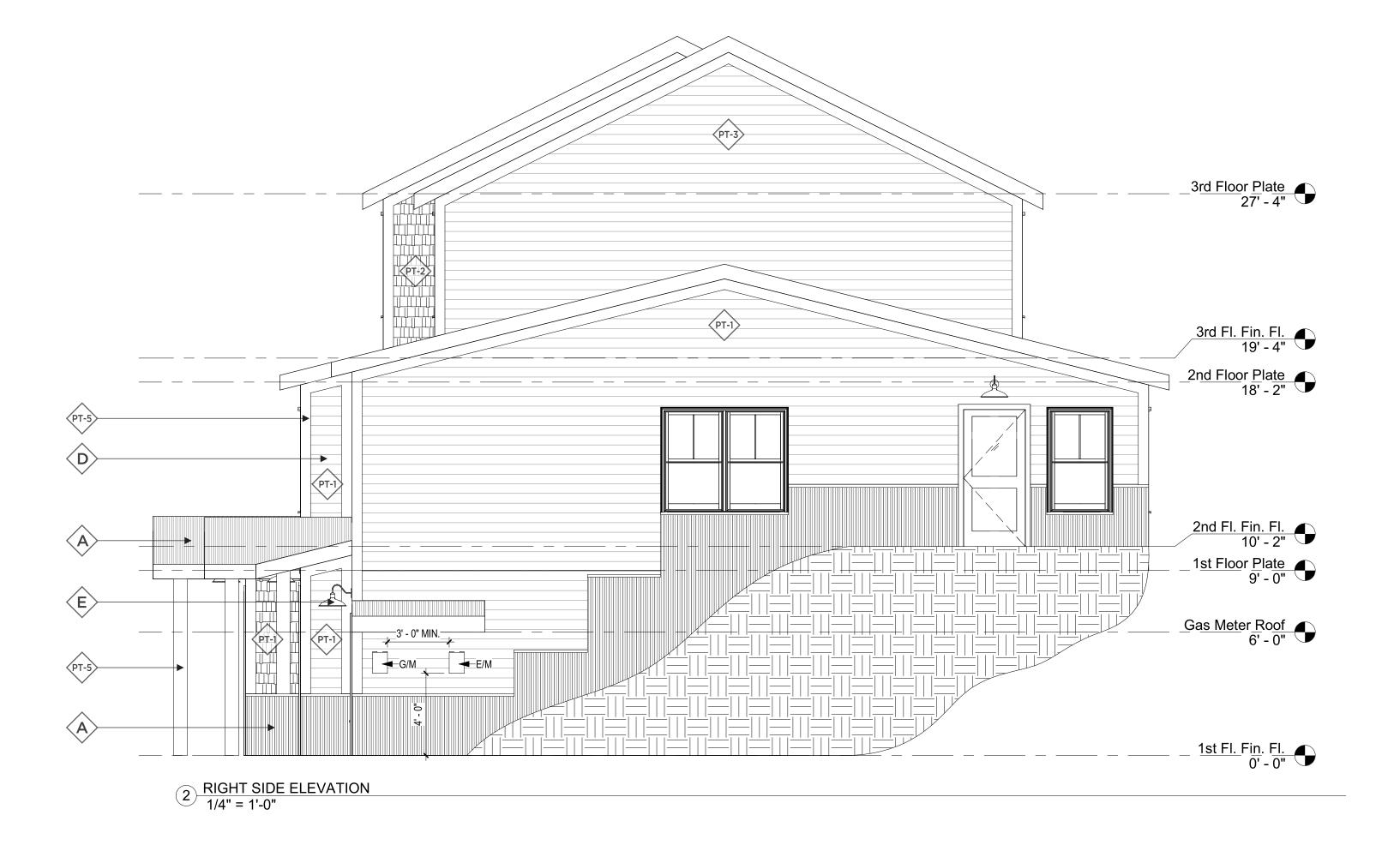
Manufacturer: Sherwin Williams Color: Granite Peak **Color ID:** SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams Color: Urban Bronze Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING





No.	Description	Date



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04.28.2020

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2017-05 Project number 04.28.2020 Drawn by Checked by

> A-202 EXTERIOR **ELEVATIONS**

SCALE:

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #3 - UNIT "J" 2 - BEDROOM PLANS LOTS 26-28



ABV ABOVE CT CERAMIC TILE HB HOSE BIBB OA OVERALL SUSP SUSPEND(ED) ACC ACCESSIBLE CTG COATING HD HEAD OC ON CENTER SY SQUARE YARD ACOUST ACOUSTICAL CTR CENTER HDBD HEAD BOARD OD OUTSIDE DIAMETER SYM SYMMETRICAL ACT ACOUSTICAL CEILING TILE CY CUBIC YARD(S) HDNR HARDENER OFF OFFICE	
AD AREA PRAIN DIA MARTER PADAGET DIA DIA MARTER PADRA PARTICION NETAL PADRA PADRA PARTICIPATION NETAL PADAGET DIA MARTER PADAGE	EARTH/ PREPARED SUBGRADE GRAVEL, STONE CONCRETE CONCRETE MASONRY UNIT STONE BRICK SAND, GROUT, MORTAR IRON, STEEL ALUMINUM SHIM WOOD BLOCKING CERAMIC TILE CARPET ACOUSTIC PANEL CEILING SYSTEM GYPSUM WALLBOARD PLASTER FINISHED WOOD PLYWOOD RIGID INSULATION BATT INSULATION TERRAZZO

ARCHITECTS

Southern Design Group, LLC

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Project number	2017-5
)ate	04.28.2020
rawn by	MML
Checked by	EAW

Project number	20
Date	04.28.
B	

PROJECT TEAM

STANDARDS AND REGULATIONS

GENERAL NOTES

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. 5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A

QUALIFIED, LICENSED ENGINEER. 6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS... ...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

HOMESTEAD HOUSING, LLC

ARDMORE, OK 73401

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Lance Windel PHONE: 580.226.0416

ARCHITECT

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STRUCTURAL ENGINEER

400 N. MAIN STREET GUNNISON, CO 81230

Bob Williams, PE PHONE: 970.641.2499

A-202	EXTERIOR ELEVATIONS	
A-201	EXTERIOR ELEVATIONS	
A-105	CABINET LAYOUT & ELE	VATIONS
A-104.1	PRESCRIPTIVE TABLE	
A-104	CONSTRUCTION DETAIL	S
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A-101.5	EXTERIOR LEFT - UNIT "	J" FLOOR PLANS
A-101.4	INTERIOR - UNIT "J" FLO	OR PLANS
A-101.3	EXTERIOR RIGHT - UNIT	"J" FLOOR PLANS
A-101.2	TRIPLEX - 3RD FLOOR P	LAN
A-101.1	TRIPLEX - 2ND FLOOR P	LAN
A-101	TRIPLEX - 1ST FLOOR PI	_AN
A-100	PLOT PLAN	
С	COVER SHEET	

SHEET INDEX

Sheet Name

A-201	EXTENSOR	CLEVATIONS	
A-202	EXTERIOR	RELEVATIONS	
UNIT PLANS S	QUARE FOOTAGE P	ER UNIT	BUILDING PLANS SQUARE FOOTAGE
UNIT "J" EXT. L	LEFT (CONDITIONED))	BUILDING #1 (CONDITIONED)
2-BEI	DROOM	•	1ST FLOOR - 627 SF
	1ST FLOOR -	193 SF	2ND FLOOR - 2,430 SF
	2ND FLOOR -	781 SF	3RD FLOOR - 997 SF
	3RD FLOOR -	328 SF	TOTAL (CONDITIONED) - 4,054 SF
TOTA	AL (CONDITIONED) -	1,302 SF	,
	,	,	(UNCONDITIONED)
(UNC	ONDITIONED)		HVAC - 75 SF
•	HVAC -	25 SF	GARAGE - 938 SF
	GARAGE -	309 SF	TOTAL (UNCONDITIONED) - 1,013 SF
TOTA	AL (UNCONDITIONED) - 334 SF	, , ,
UNIT "J" INT. (C	CONDITIONED)		
•	DROOM		
	1ST FLOOR -	241 SF	
	OND ELOOD	000.05	

2ND FLOOR -3RD FLOOR TOTAL (CONDITIONED) -(UNCONDITIONED) HVAC -

Sheet #

2112 1 20011 701 01		
<u>3RD FLOOR - 333 SF</u>		
TOTAL (CONDITIONED) - 1,303 SF		
(UNCONDITIONED)	No.	Description
HVAC - 25 SF		
GARAGE - 313 SF		
TOTAL (UNCONDITIONED) - 338 SF		

TOTAL (UNCONDITIONED) - 337 SF UNIT "J" EXT. RIGHT (CONDITIONED) 2-BEDROOM 1ST FLOOR -2ND FLOOR -781 SF



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The Prospect Homestead Subdivision

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AICTRUCTION

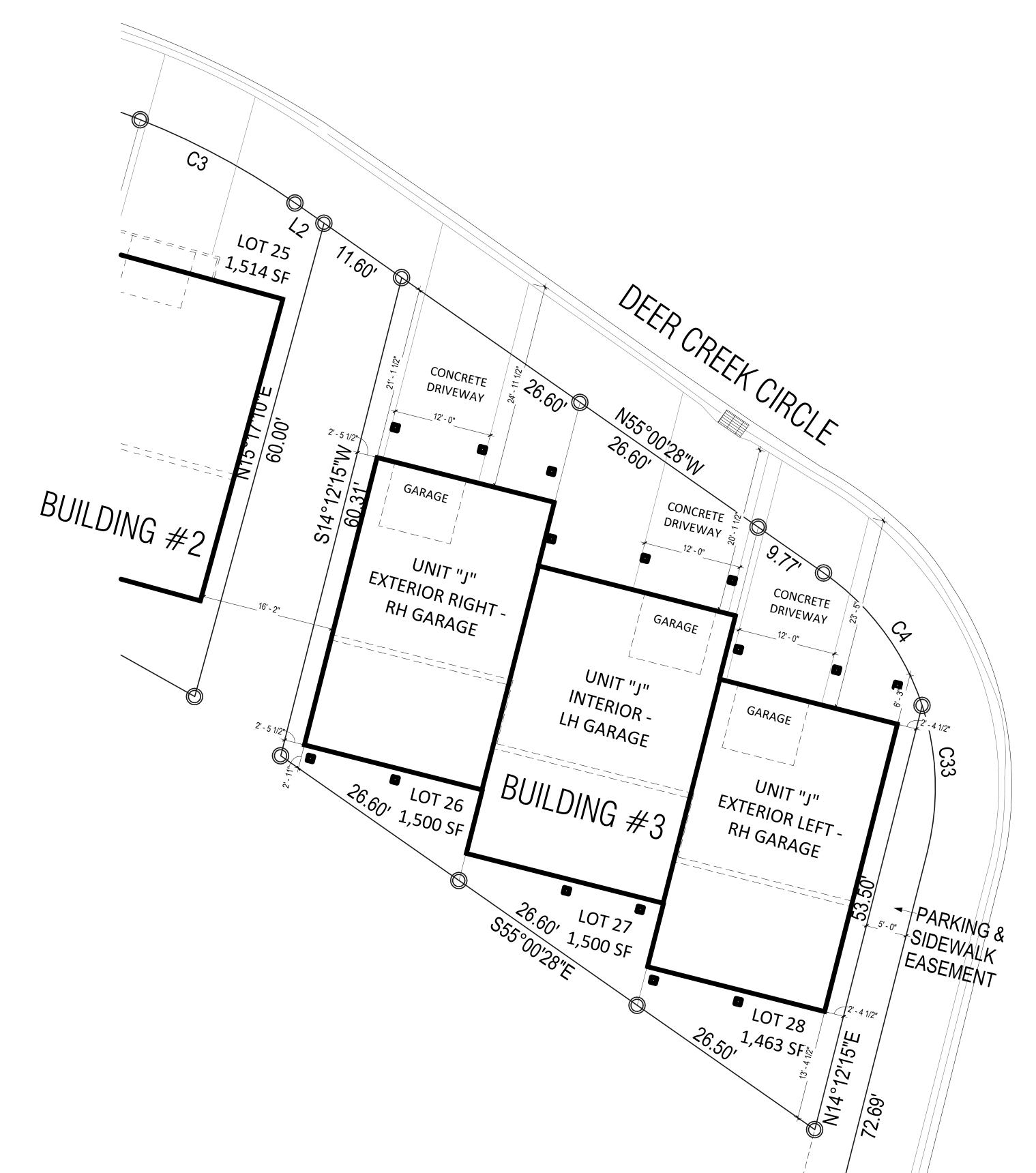
100% COMPLETE CONSTRUCTION DOCUMENTS

Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-100 PLOT PLAN

SCALE:

1/8" = 1'-0"



1 PLOT PLAN 1/8" = 1'-0"

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CURVE TABLE

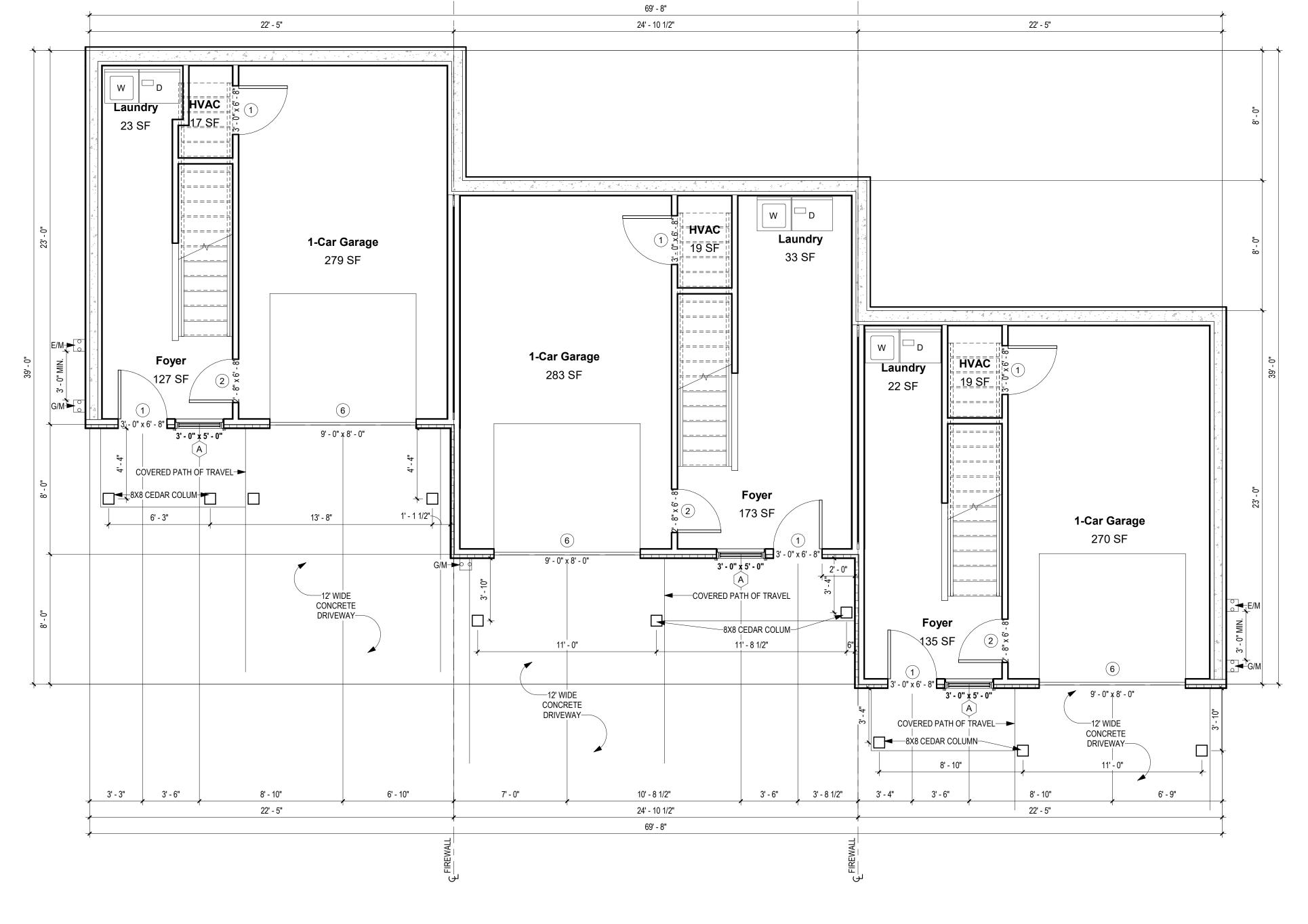
	CURVE TABLE				
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	ION CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'
					



No.	Description	Date

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM
- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT.

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5 **Project number** 04.28.2020 Date Drawn by **EAW** Checked by

> A-101 TRIPLEX - 1ST FLOOR PLAN

SCALE:

3' - 2 1/2"

3' - 0" x 5' - 0"

22' - 5"

3' - 0" ¥ 5' - 0"

/Bath #2

Guest Bedroom

130 SF

3' - 0" **x** 5' - 0"

6' - 10"

3' - 6"

1

3' - 0"

3' - 0" ¥ 5' - 0"

1' - 4 1/2"

3' - 0"

3' - 6"

3' - 6"

7' - 11"

Breakfast

72 SF

Kitchen

WIC

Guest Bedroom

132 SF

3' - 0" x 5' - 0"

4' - 0"

3' - 0" * 5' - 0" <u>-</u>

Bath #2

17' - 2 1/2"

24' - 10 1/2"

69' - 8"

3' - 6"

Breakfast

70 SF

Kitchen

9' - 2"

Living Room

210 SF

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

69' - 8"

24' - 10 1/2"

11' - 8 1/2"

Living Room

241 SF

3' - 2"

3' - 0" x 5' - 0"

3' - 0" 🗴 5' - 0"

3' - 8 1/2"

3' - 0" **x** 5' - 0"

3' - 4"

3' - 3 1/2"

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

22' - 5"

3' - 6"

10' - 8"

3' - 0" 🛊 5' - 0"

1' - 4 1/2"

3' - 0" 🗴 5' - 0"

Breakfast

69 SF

Kitchen

WIC

21 SF

3' - 0" **x** 5' - 0"

3' - 9"

Guest Bedroom

130 SF

15' - 4"

22' - 5"

3' - 6"

9' - 2"

Living Room

210 SF

DOOR INFORMATION: ALL DOOR SIZES ARE INDICATED ON PLANS:

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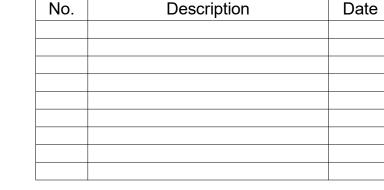
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- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.



ARCHITECTS

Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL

CO License #: 404770

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5 **Project number** 04.28.2020 **EAW** Checked by

A-101.1 TRIPLEX - 2ND FLOOR PLAN

SCALE: As indicated

1 BUILDING #3 PLAN - 2ND FLOOR 1/4" = 1'-0"

3' - 3"

12' - 4"

22' - 5"

3' - 0" **x** 5' - 0"

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

64' - 6 1/2" 17' - 3 1/2" 17' - 5 1/2" 12' - 7 1/2" 17' - 2 1/2" 12' - 10 1/2" 13' - 0 1/2" 12' - 9 1/2" 4' - 5" 4' - 5" 4' - 5" LINE OF 2ND FLOOR BELOW 3' - 0" x 5' - 0" Sitting Area M. Bath 50 SF _3' - 0" × 5' - 0"_ M. Bath Sitting Area 94 SF M. Bedroom 151 SF 3' - 0" x 5' - 0" Sitting Area 6' - 0" 🕱 5' - 0" M. Bedroom 6' - 0" 🕏 5' - 0" M. Bedroom 151 SF LINE OF 2ND FLOOR BELOW 8' - 11 1/2" 8' - 4" 8' - 8 1/2" 8' - 7 1/2" 8' - 7 1/2" 8' - 9" 17' - 3 1/2" 17' - 5 1/2" 12' - 7 1/2" | 17' - 2 1/2" 64' - 6 1/2"

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL **ENERGY ANALYSIS AND RATINGS SPECIFICATIONS**
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM
- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE. 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN

PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.

- ACCORDANCE WITH 2015 IRC.
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
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Date Description



Southern Design Group, LLC

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

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2017-5 **Project number** 04.28.2020 **EAW** Checked by

> A-101.2 TRIPLEX - 3RD FLOOR PLAN

> > As indicated

SCALE:

1 BUILDING #3 PLAN - 3RD FLOOR 1/4" = 1'-0"

17' - 2 1/2"

9' - 6"

UNDER

2' - 6" x 6' - 8'

6' - 1 1/2"

8' - 7 1/2"

M. Bedroom

151 SF

13' - 6"

3' - 0" x 5' - 0"

17' - 2 1/2"

7' - 8 1/2"

3' - 0" **x** 5' - 0"

Sitting Area

94 SF

=3' - 8 1/2"==

3' - 8 1/2"

3 3RD FLOOR 1/4" = 1'-0"

2-BEDROOM UNIT PLAN - EXT. RIGHT

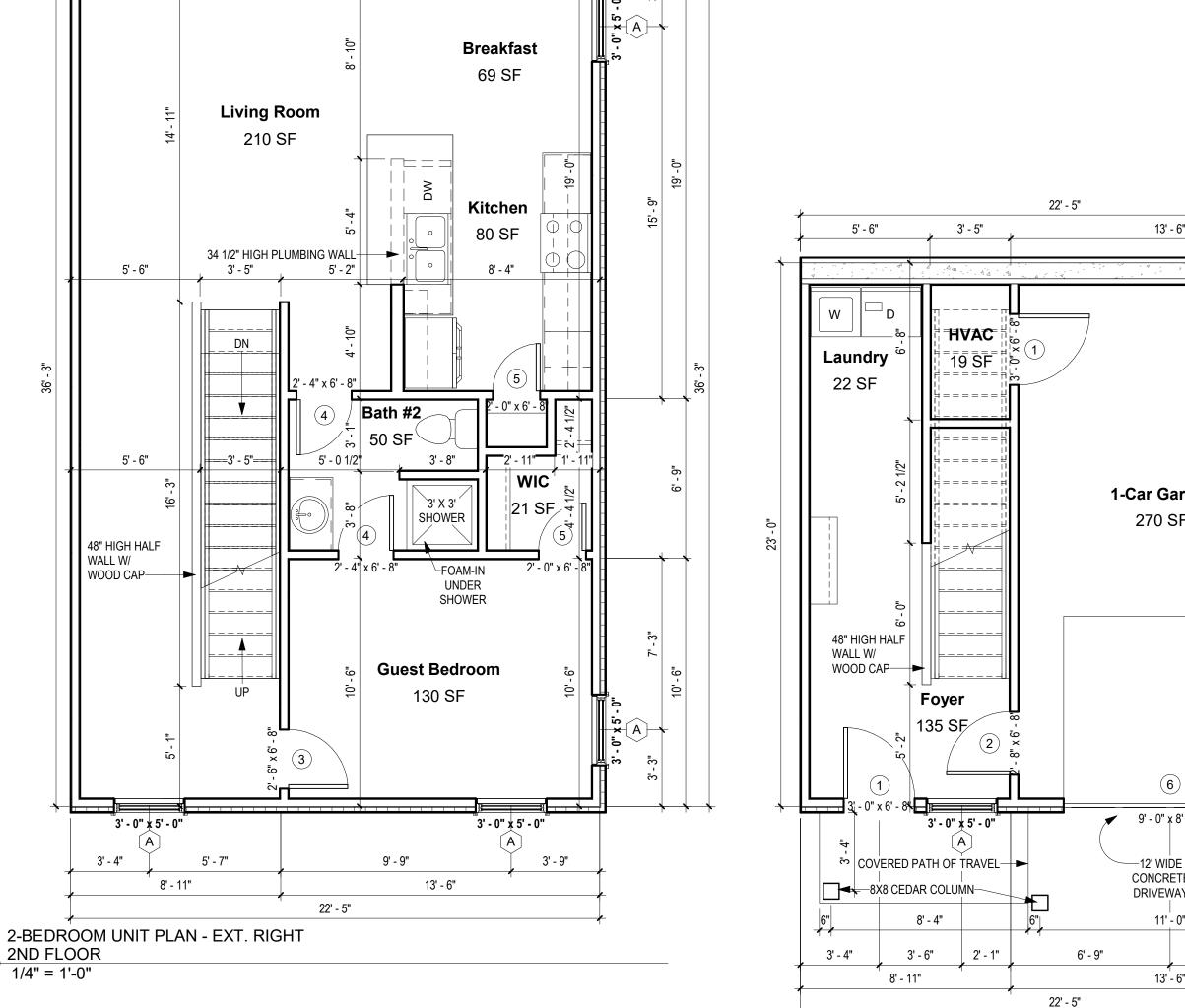
3' - 3 1/2"

4' - 5"

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



22' - 5"

3' - 0" × 5' - 0"

3' - 6"

3' - 6"

(1) 3' - 0" * 5' - 0"

2' - 11 1/2"

9' - 2"

3' - 3 1/2"

WALL W/

WOOD CAP-

3' - 4"

2ND FLOOR 1/4" = 1'-0"

3' - 0" 🛊 5' - 0"

13' - 6" 1-Car Garage 270 SF 9' - 0" x 8' - 0" -12' WIDE CONCRETE DRIVEWAY-11' - 0" 6' - 9" 13' - 6"

2-BEDROOM UNIT PLAN - EXT. RIGHT 1 1ST FLOOR 1/4" = 1'-0"

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
 - ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL **ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.**
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
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- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
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- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
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- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
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PLUMBING GENERAL NOTES

TRADES. EQUIPMENT AND PLUMBING FIXTURES.

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	WITH ARCHITECT.				
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6.	NOT ALL CLEANOUTS ARE	SHOWN	I FOR DRAWING (CLARITY. CONTRA	CTOR
_					
J.	COOKDINATE LOCATIONS	OF FLO	OK DKAINO WITH	MECHANICAL EQU	IPIVIEINI.

No.	Description	Date



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207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

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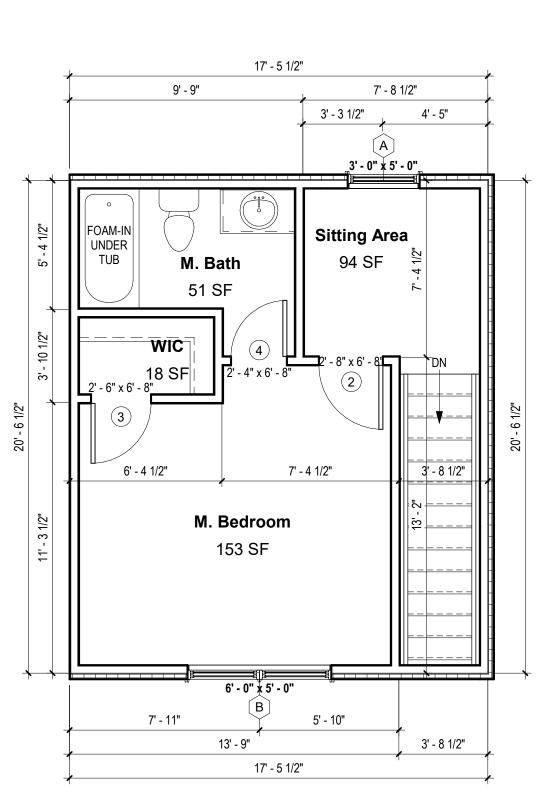
100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

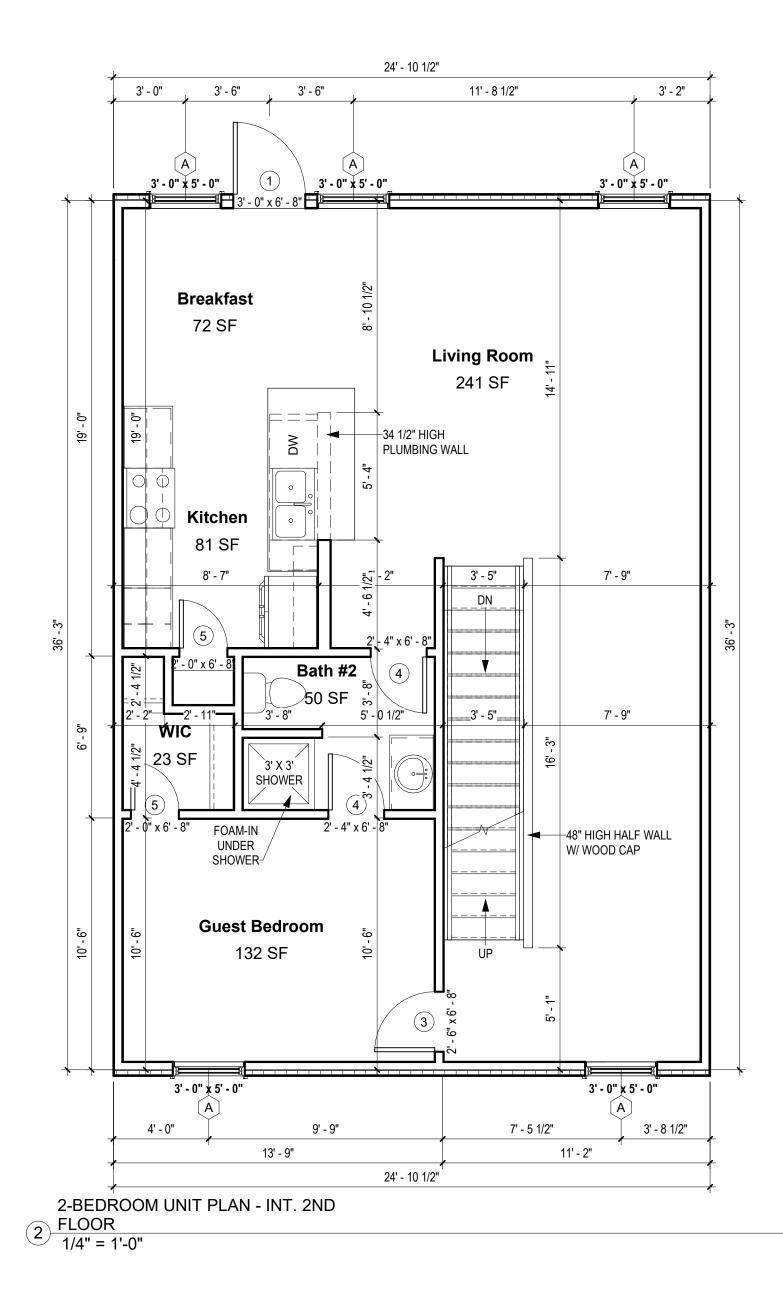
A-101.3 **EXTERIOR RIGHT -**UNIT "J" FLOOR **PLANS**

SCALE:

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



3-BEDROOM UNIT PLAN - INT. 3RD 3 FLOOR 1/4" = 1'-0"



ALL WINDOW SIZES ARE INDICATED ON PLANS:

24' - 10 1/2"

1-Car Garage

9' - 0" 🗴 8' - 0"

CONCRETE

DRIVEWAY-

13' - 9"

6' - 9"

24' - 10 1/2"

HVAC

-19-SF-

Laundry

33 SF

173,8F

3' - 0" **x** 5' - 0"

—COVERED PATH OF TRAVEL

-8X8 CEDAR COLUM-

11' - 2 1/2"

3' - 6"

3' - 9"

3' - 11"

- U-VALUES .32-.29

WINDOW INFORMATION:

- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

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- (SOLID CORE). 20-MIN. RATED
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INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
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- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
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- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
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- 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF

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- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
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- TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



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CONSULTANTS:

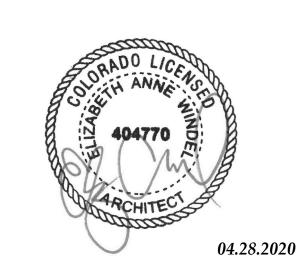
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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101.4 INTERIOR - UNIT "J" **FLOOR PLANS**

SCALE: As indicated

2-BEDROOM UNIT PLAN - INT. 1ST 1 FLOOR 1/4" = 1'-0"

7' - 0"

PLUMBING GENERAL NOTES

STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.

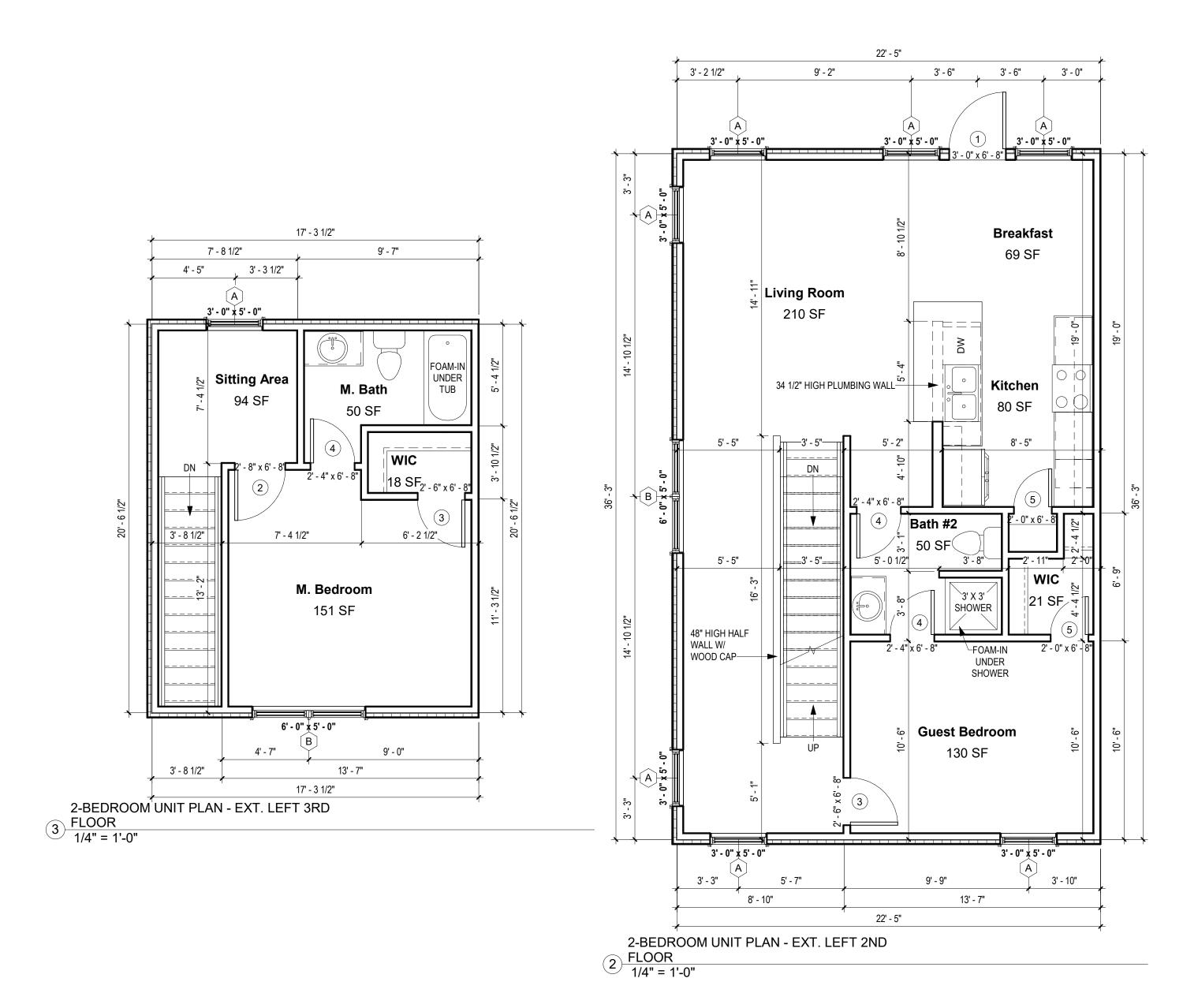
CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.

NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING

WITH ARCHITECT.

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

22' - 5" 13' - 7" 6' - 1" HVAC-EX Laundry 17 SF 23 SF 🖺 13' - 7" _____ 1-Car Garage ===== 279 SF WALL W/ WOOD CAP Foyer 9' - 0" x 8' - 0" 3' - 0" x 5' - 0" COVERED PATH OF TRAVEL ■ 8X8 CEDAR COLUM 11' - 0" CONCRETE DRIVEWAY-3' - 3" 3' - 6" 2' - 1" 6' - 9" 6' - 10" 13' - 7" 8' - 10"

22' - 5"

2-BEDROOM UNIT PLAN - EXT. LEFT 1ST 1 FLOOR 1/4" = 1'-0"

DOOR INFORMATION: **ALL DOOR SIZES ARE INDICATED ON PLANS:**

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL
- FIBER BATTS IN DOUBLE FRAMED WALL AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL
- ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL
- CHANGES SHOULD BE PART OF THE PROJECT COST. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS
- 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC, PERFORMANCE,
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS

REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY

- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE
- NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- 2015 IRC. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT.

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA CO License #: 404770

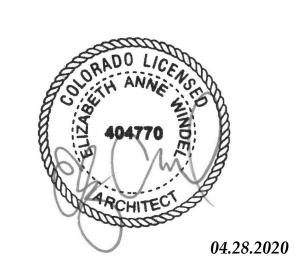
CONSULTANTS:

STRUCTURAL Williams Engineering

400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-
04.28.202
MM
EAV

A-101.5 **EXTERIOR LEFT -**UNIT "J" FLOOR **PLANS**

SCALE:

As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

3" / 1'-0"

3" / 1'-0"

GENERAL NOTES:

- 1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
- 2. ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON PLAN
- 3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS
- NOTED OTHERWISE.

 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

- ROOF STYLE:

 1. ALL ROOF PLANES WILL BE 6:12 PITCH
 2. PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



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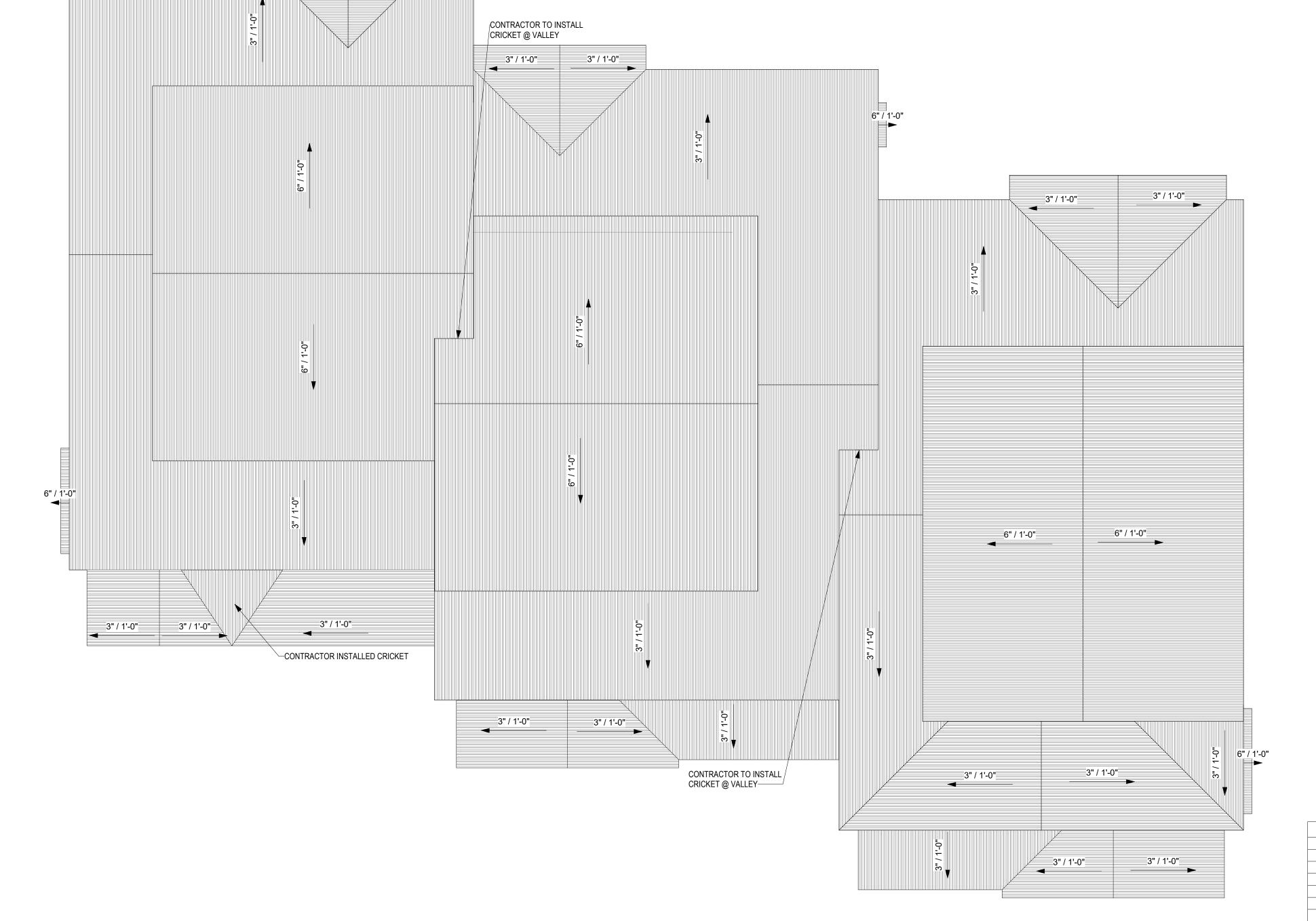
Project number	2017
Date	04.28.202
Drawn by	MM
Checked by	EA
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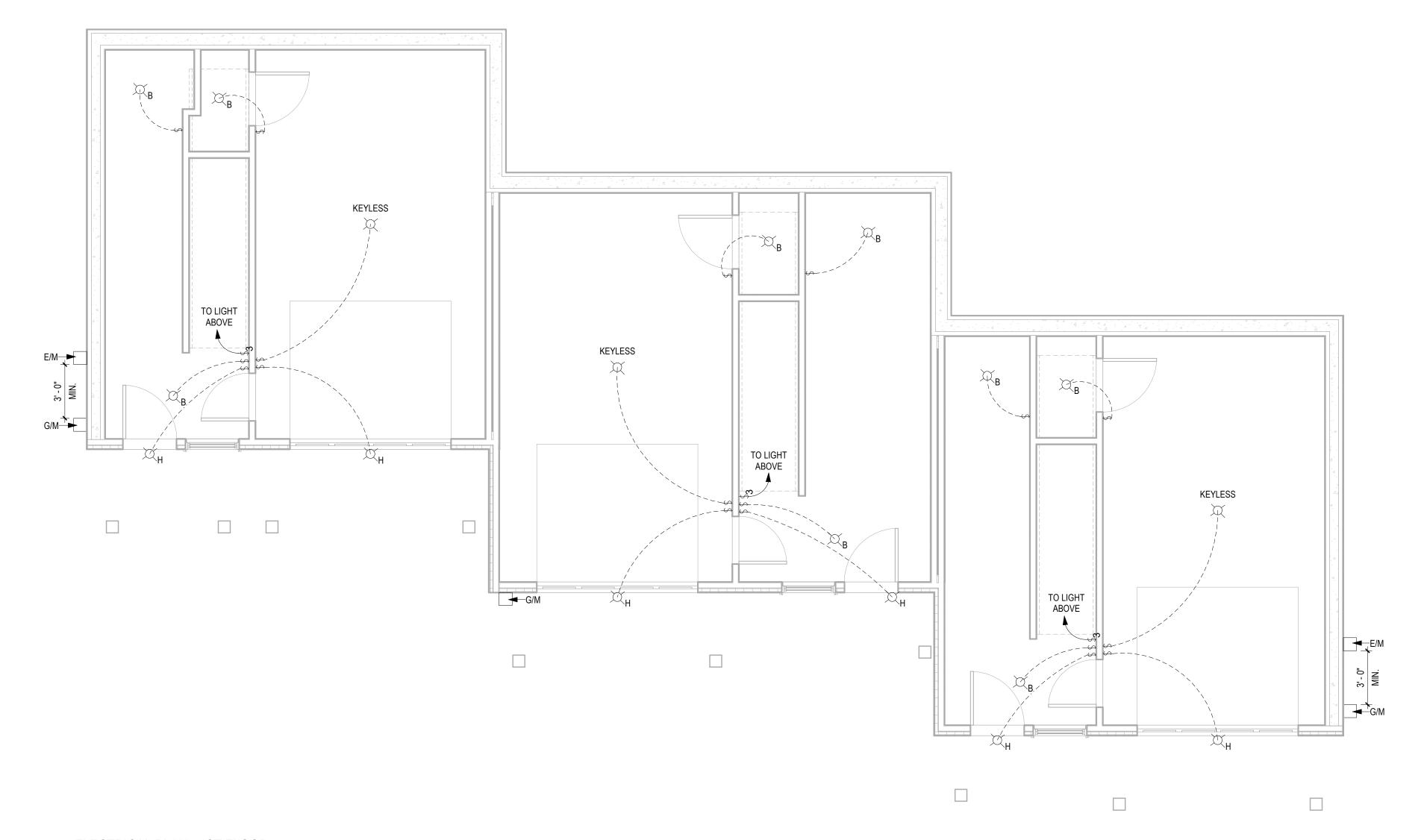
A-102 ROOF PLAN

Date

Description

As indicated





ELECTRICAL LEGEND / SCHEDULE XA WALL MOUNT FIXTURE, 36" WIDE ● K BATHROOM EXHAUST FAN ▲ PHONE / DATA ◯B SURFACE MOUNT FIXTURE, 11 1/4" DIA. C SURFACE MOUNT FIXTURE, 15 1/4" DIA. → PHONE ▲ CABLE D WALL MOUNT FIXTURE, 24" WIDE 52" FAN, WITH LIGHT KIT 52" CEILING FAN (ENERGY STAR CERTIFIED) H GOOSENECK LIGHT FULL CUT-OFF WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS XJ RECESSED CAN LIGHT, PROVIDE CFL BULBS *SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS*

GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5. INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6. CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8. REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- 9. COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- 1. OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED OTHERWISE.
- 2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3. THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS.
 PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5. TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



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Prospect Homestea Subdivision own of Mount Crested

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100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5

Date 04.28.2020

Drawn by MML

Checked by EAW

A-103 ELECTRICAL PLAN -1ST FLOOR

SCALE: As indicated

No. Description Date



1 ELECTRICAL PLAN - 2ND FLOOR 1/4" = 1'-0"

ELECTRICAL LEGEND / SCHEDULE

XA WALL MOUNT FIXTURE, 36" WIDE

●K BATHROOM EXHAUST FAN

B SURFACE MOUNT FIXTURE, 11 1/4" DIA.

△ PHONE / DATA

C SURFACE MOUNT FIXTURE, 15 1/4" DIA.

D WALL MOUNT FIXTURE, 24" WIDE

▲ CABLE

XF EXTERIOR FLOODLIGHT

52" FAN, WITH LIGHT KIT

H GOOSENECK LIGHT FULL CUT-OFF

52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS

□ RECESSED CAN LIGHT, PROVIDE CFL BULBS

SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS

GENERAL ELECTRICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- OUTSIDE AIR IS BROUGHT INTO THE BUILDING THROUGH OPERABLE WINDOWS UNLESS NOTED
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

2	
ARC	HITECTS

Southern Design Group, LLC

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number 2017-5 04.28.2020 Checked by

A-103.1 ELECTRICAL PLAN -2ND & 3RD FLOORS

SCALE:

Date

Description

As indicated

Southern Design Group, LLC 2020



WINDOW SCHEDULE					
Type Mark	Width	Height	Туре		
Â	3' - 0"	5' - 0"			
B	6' - 0"	5' - 0"			

PLUMBING FIXTURE SCHEDULE				
Count	Description			
3	3' X 3' SHOWER			
6	19" X 19" ROUND VANITY SINK			
3	36" X 21" DOUBLE KITCHEN SINK			
3	SHOWER/TUB COMBO			
6	TOILET - STANDARD HT.			

─3/4" OSB ON 11 7/8" JOIST

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

5/8" HARDIE PLANK LAP SIDING

—2" RIGID FOAM INSULATION

—7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

√
5/8" HARDIE PLANK LAP SIDING

-2" RIGID FOAM INSULATION

—7/16" ZIP WALL SHEATHING

—R-15 NET AND BLOWN INSULATION

—2X6 STUDS

—1/2" GYP. BD.

—1"X3" FURR STRIP

—2X4 STUDS

1/2" GYP. BD.

TYPE 2

EXTERIOR (2X4) HARDIE-PLANK

HORIZONTAL LAP WALL

TYPE 5

HORIZONTAL LAP WALL

EXTERIOR (2X6) HARDIE-PLANK

INTERIOR

INTERIOR

CORRUGATED METAL SIDING

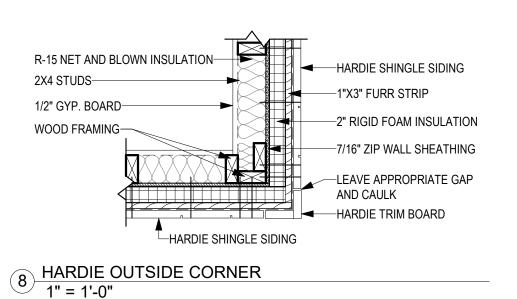
—2" RIGID FOAM INSULATION

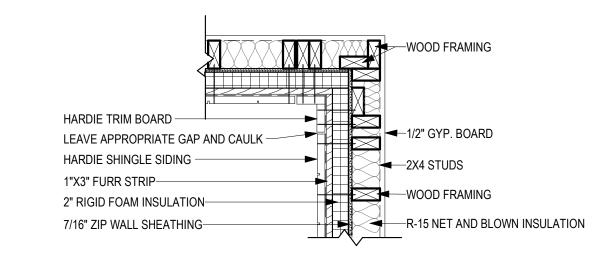
-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

—1"X3" FURR STRIP

—1/2" GYP. BD.





5/8" THROUGH BOLT OR 5/8" X

EMBEDMENT OF 3" INTO 6X6

BEAM, COUNTER SINK & PLUG 4X4 #1 D.F.

5/8" HARDIE PLANK LAP SIDING →

2" RIGID FOAM INSULATION-

7/16" ZIP WALL SHEATHING—

6 HARDIE WALL SECTION @ 2ND FLOOR 1" = 1'-0"

■—1/2" GYP. BD. EACH SIDE

—2X4 STUDS

INTERIOR

1"X3" FURR STRIP-

2X12 BLOCKING-

2X4 STUDS-

TYPE 7

INTERIOR STUD WALL

3' - 6"

7 1/2" LAG BOLT, MIN.

9 ANGLE BRACING 1/2" = 1'-0"

7 HARDIE INSIDE CORNER

T.O.W. & T.O.S

EXTERIOR

→ HARDIE PANEL SIDING

----1"X3" FURR STRIP

—2X4 STUDS

—1/2" GYP. BD.

EXTERIOR

──HARDIE PANEL SIDING

—1"X3" FURR STRIP

—2X6 STUDS

—1/2" GYP. BD.

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

----R-15 NET AND BLOWN INSULATION

TYPE 3

EXTERIOR (2X4) HARDIE-PANEL WALL

TYPE 6

EXTERIOR (2X6) HARDIE-PANEL WALL

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

----R-15 NET AND BLOWN INSULATION

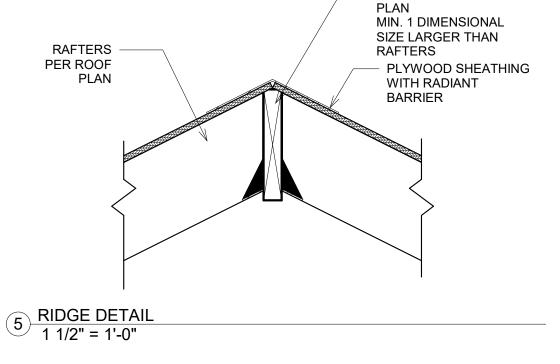
LSL OR LVL-

INTERIOR

INTERIOR

1/2" = 1'-0"

BUILDING SECTION DETAIL



RIDGE BD. PER ROOF

-5/8" HARDIE PLANK LAP SIDING

-7/16" ZIP WALL R-SHEATHING

-STARTER STRIP

RECOMMENDATIONS

HEAD JAMB

SIDE JAMB

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

1/2" GYP. BOARD

——2X4 STUDS

■ 1/4" GAP, DO NOT CAULK

HARDIE TRIM BOARDS

FLASH WINDOW PER MANUFACTURER

HARDIE TRIM BOARDS

1"X3" FURR STRIP

1"X3" FURR STRIP

CAULK

HARDIE TRIM BOARDS

-FLASHING TAPE ---WINDOW JAMB

SILL IT MUST BE FLASHED

──5/8" HARDIE PLANK LAP SIDING

—2" RIGID FOAM INSULATION

───5/8" HARDIE PLANK LAP SIDING

-2" RIGID FOAM INSULATION

-7/16" ZIP WALL R-SHEATHING

-LEAVE APPROPRIATE GAP AND

-----R-15 NET AND BLOWN INSULATION

EACH SIDE OR EQUIVALENT.

OR 3/8" TREATED PLYWOOD

——MOISTURE BARRIER

—CAPILLARY BREAK MINIMUM 6 MIL POLY

FOUNDATION PLAN

FOUNDATION PLAN

-CONCRETE SLAB PER ENGINEERED

-ANCHOR BOLT AS REQUIRED BY CODE

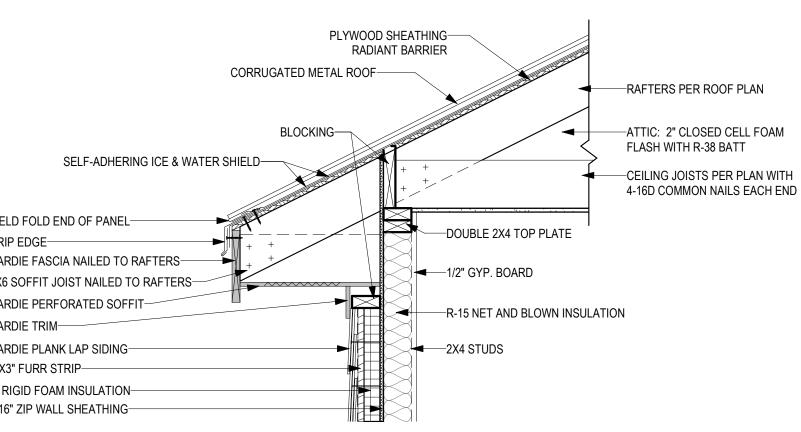
-SLAB AND FOOTING PER ENGINEERED

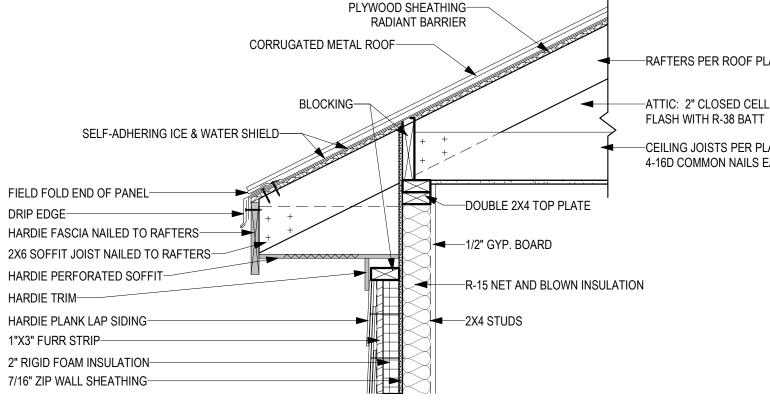
----7/16" ZIP WALL R-SHEATHING

LEAVE APPROPRIATE GAP AND

-HARDIE-PLANK LAP SIDING STARTER

TLASH WINDOW PER MANUFACTURER





1/2" GYP. BOARD → R-15 NET AND

2X4 WOOD STUD—

WINDOW HEADER →

WINDOW FRAME →

2X4 WOOD STUD

1/2" GYP. BOARD →

1/2" GYP. BOARD— ►

INTERIOR

2X4 WOOD STUD

3 HARDIE WINDOW DETAILS
1" = 1'-0"

R-15 NET AND

BLOWN INSULATION-

R-15 NET AND

BLOWN INSULATION— INTERIOR

INTERIOR

BLOWN INSULATION—

HARDIE ROOF SOFFIT DETAIL

1" = 1' 0"

FRAMING IN POCKET FOR BEAM

R49 INSULATION, CAVITY FILL

—5/8" THROUGH BOLT OR 5/8" X 7 1/2"

LAG BOLT, MIN. EMBEDMENT OF 3"

INTO 4X6 BEAM, COUNTER SINK & PLUG

-3/4" PLYWOOD SUBFLOOR

5/8" HARDIE PLANK LAP SIDING-

2" RIGID FOAM INSULATION-

7/16" ZIP WALL R-SHEATHING-

HARDIE-PLANK LAP SIDING STARTER COURSE →

1"X3" FURR STRIP-

STARTER STRIP-

─4X6 #1 D.F. BEAM

R-15 NET AND BLOWN INSULATION

-2X4 SOLE PLATE & STUDS @ 16" O.C.

-FINISH FLOORING

DOUBLE 2X4 TOP PLATE & STUDS

-6" CAST-IN-PLACE

-2 5/8" INSULATED

CONCRETE FORM

CONCRETE

-1/2" GYP. BD.

-1/2" GYP. BOARD

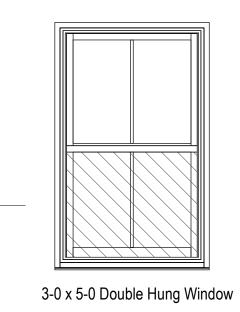
ENGINEERED

FLOORING

—1/2" GYP. BOARD

TYPE 8

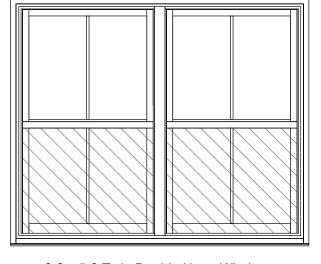
EXTERIOR ICF FOUNDATION WALL

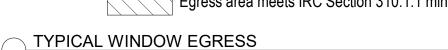


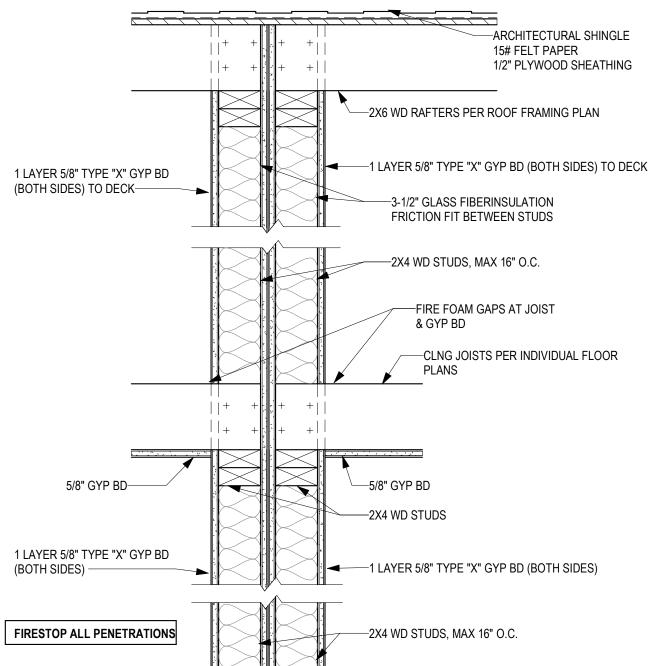
1/2" = 1'-0"

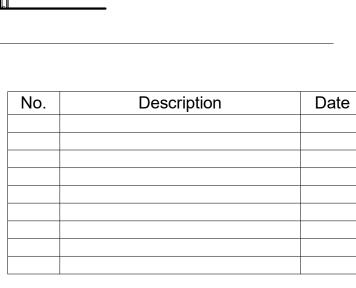
1 FIRE SEPARATION WALL

1 1/2" = 1'-0"









GENERAL NOTES:

APPROACH SHALL MEET CITY SPECIFICATIONS. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

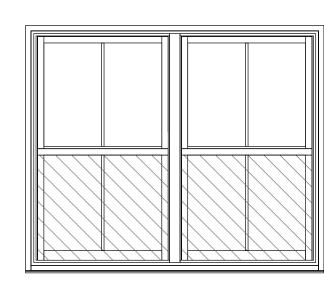
SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

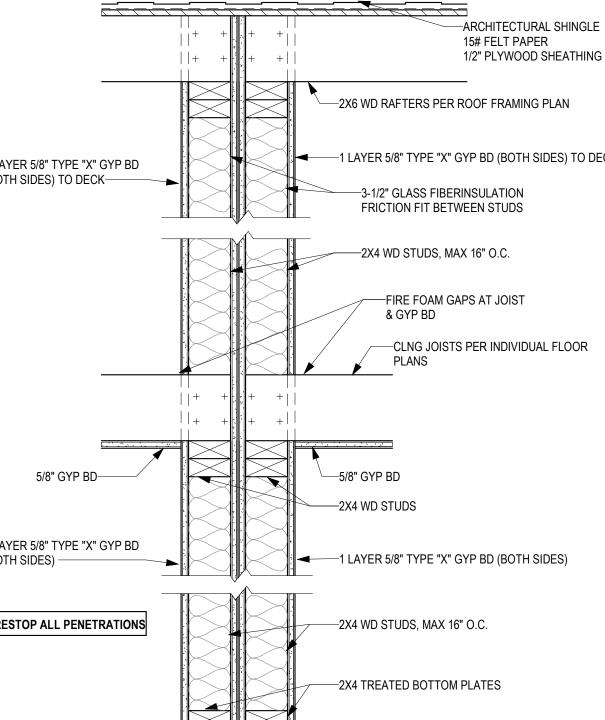
- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR **INSULATION REQUIREMENTS FOR ZONE 7



6-0 x 5-0 Twin Double Hung Window

Egress area meets IRC Section 310.1.1 minimum of 5SF.





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STRUCTURAL

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CONSULTANTS:

100% COMPLETE CONSTRUCTION DOCUMENTS

Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-104 CONSTRUCTION **DETAILS**

As indicated

EXTERIOR CORRUGATED METAL WALL - 5/8" GYP. BD. EACH SIDE 2X4 STUDS -TWO LAYERS 5/8" GYP. BD. TYPE 4

10 BUILDING SECTION

1/4" = 1'-0"

FIRE WALL WALL TYPE LEGEND ✓ 1" = 1'-0"

SCALE:

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT⁸

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d F-VALU E & DEPTH	SPACE ^C WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ¹	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second F-value applies when more than half the insulation is on the interior of the mass wall.

13

No.	Description	Date



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Prospect Homestea Subdivision

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 Project number
 2017-5

 Date
 04.28.2020

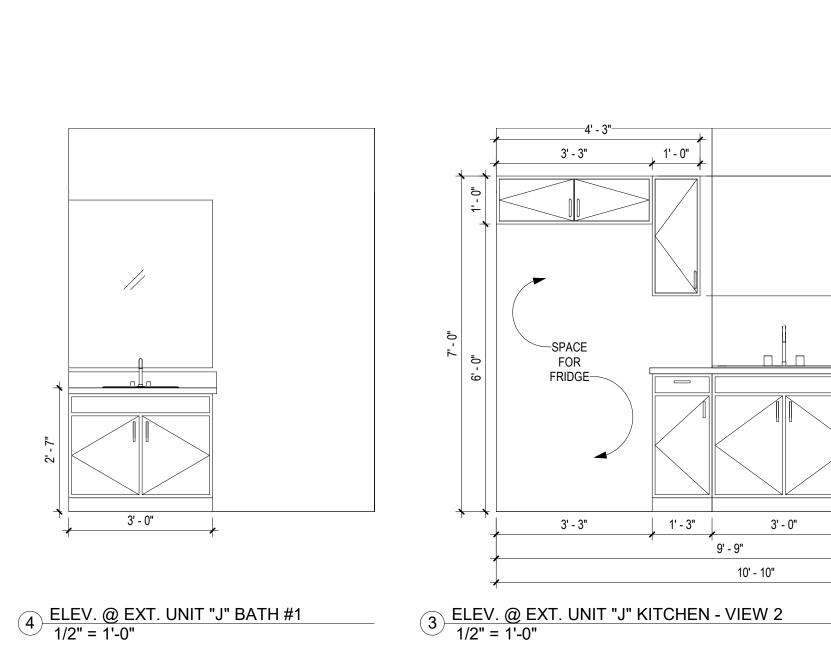
A-104.1 PRESCRIPTIVE TABLE

SCALE:

Checked by

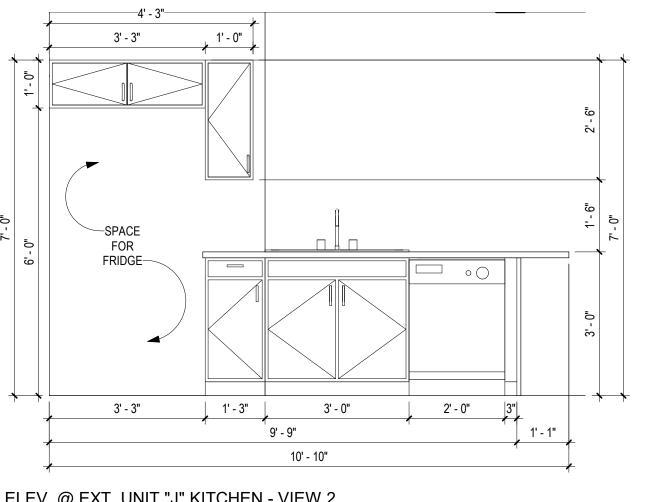
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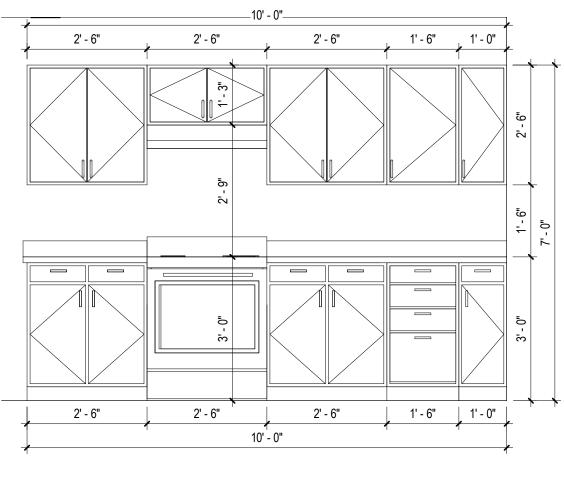
EAW

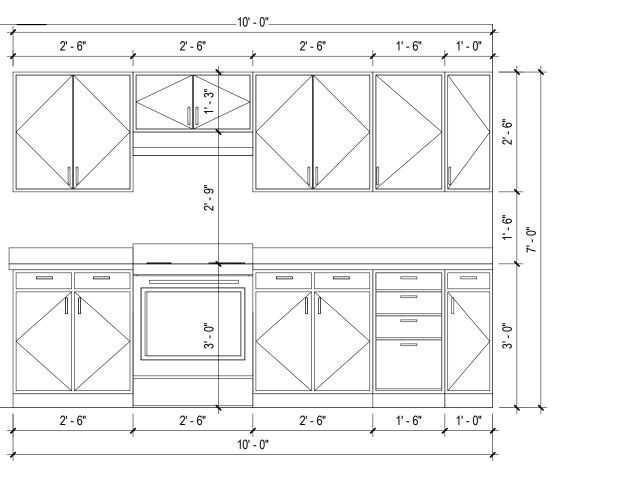


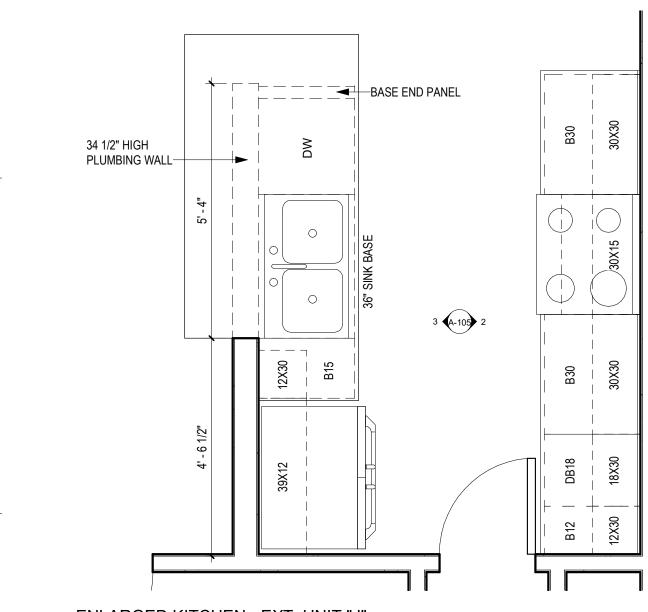
3' - 0"

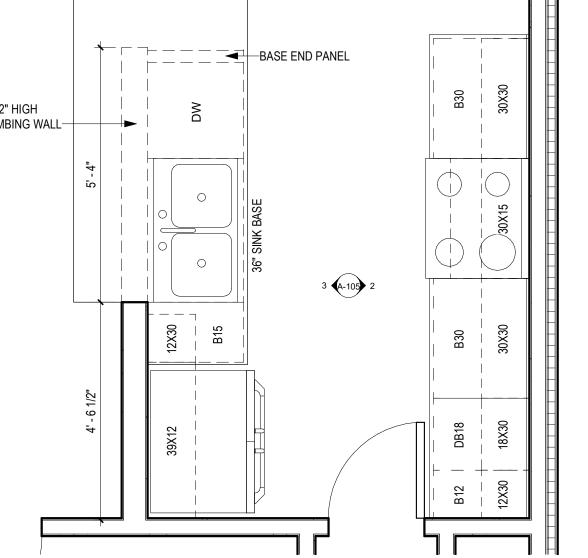
10 ELEV. @ INT. UNIT "J" M. BATH











Date Description



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

34 1/2" HIGH PLUMBING WALL

BASE END PANEL-

7 (A-105) 8

6 ENLARGED KITCHEN - INT. UNIT "J" 1/2" = 1'-0"

STRUCTURAL

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Gunnison, CO 81230 (PH) 970.641.2499

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04.28.2020

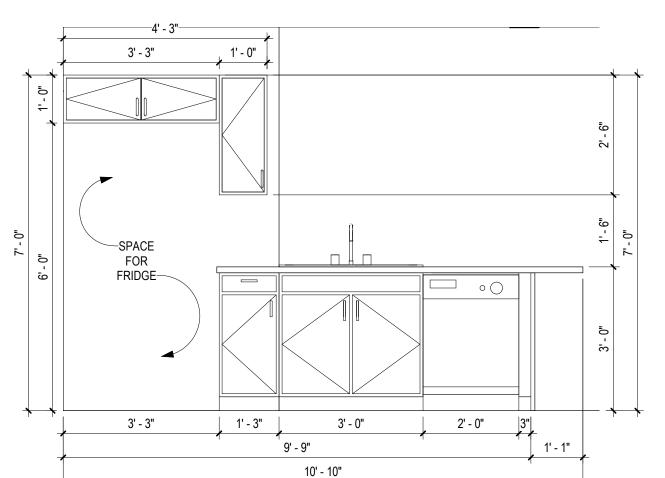
100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 **Project number** 04.28.2020 EAW Checked by

A-105 CABINET LAYOUT & **ELEVATIONS**

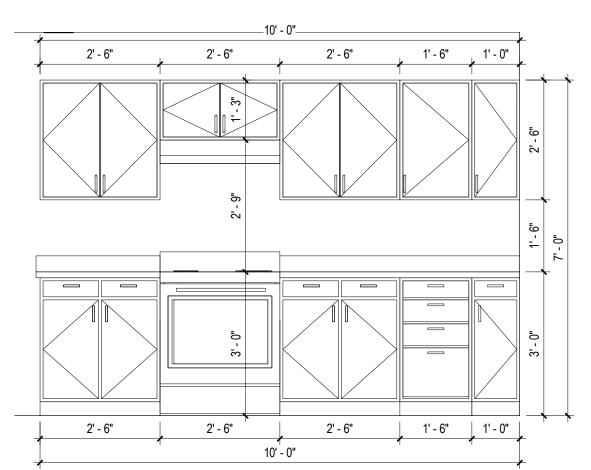
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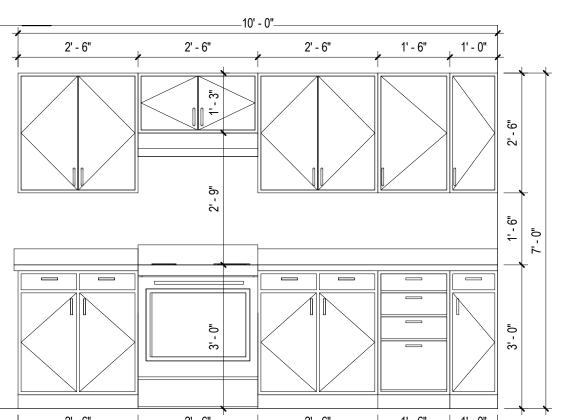
As indicated



3' - 0"

9 ELEV. @ INT. UNIT "J" BATH #1 1/2" = 1'-0"





2 ELEV. @ EXT. UNIT "J" KITCHEN - VIEW 1 1/2" = 1'-0"

3' - 0"

5 ELEV. @ EXT. UNIT "J" M. BATH 1/2" = 1'-0"

1' - 0"

2' - 0"

8 ELEV. @ INT. UNIT "J" KITCHEN - VIEW 2 1/2" = 1'-0"

3' - 0"

9' - 9"

10' - 10"

3' - 3"

SPACE FOR FRIDGE

3' - 3"

ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

2' - 6"

7 ELEV. @ INT. UNIT "J" KITCHEN - VIEW 1
1/2" = 1'-0"

TUB

2' - 6"

10' - 0"

2' - 6"

KITCHEN CABINETS

KITCHEN BASE CABINETS WILL BE 36" HIGH

BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH

MANUFACTURER.

COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE

MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM

1 ENLARGED KITCHEN - EXT. UNIT "J" 1/2" = 1'-0"

FRONT ELEVATION BLDG HT. -33'-01" 28'-00" LEFT ELEVATION BLDG HT. -REAR ELEVATION BLDG HT. -RIGHT ELEVATION BLDG HT. -22'-11" 28'-00" 112'-00" TOTAL -BUILDING HT. -

2 SIDE 1 ELEVATION 1/4" = 1'-0"

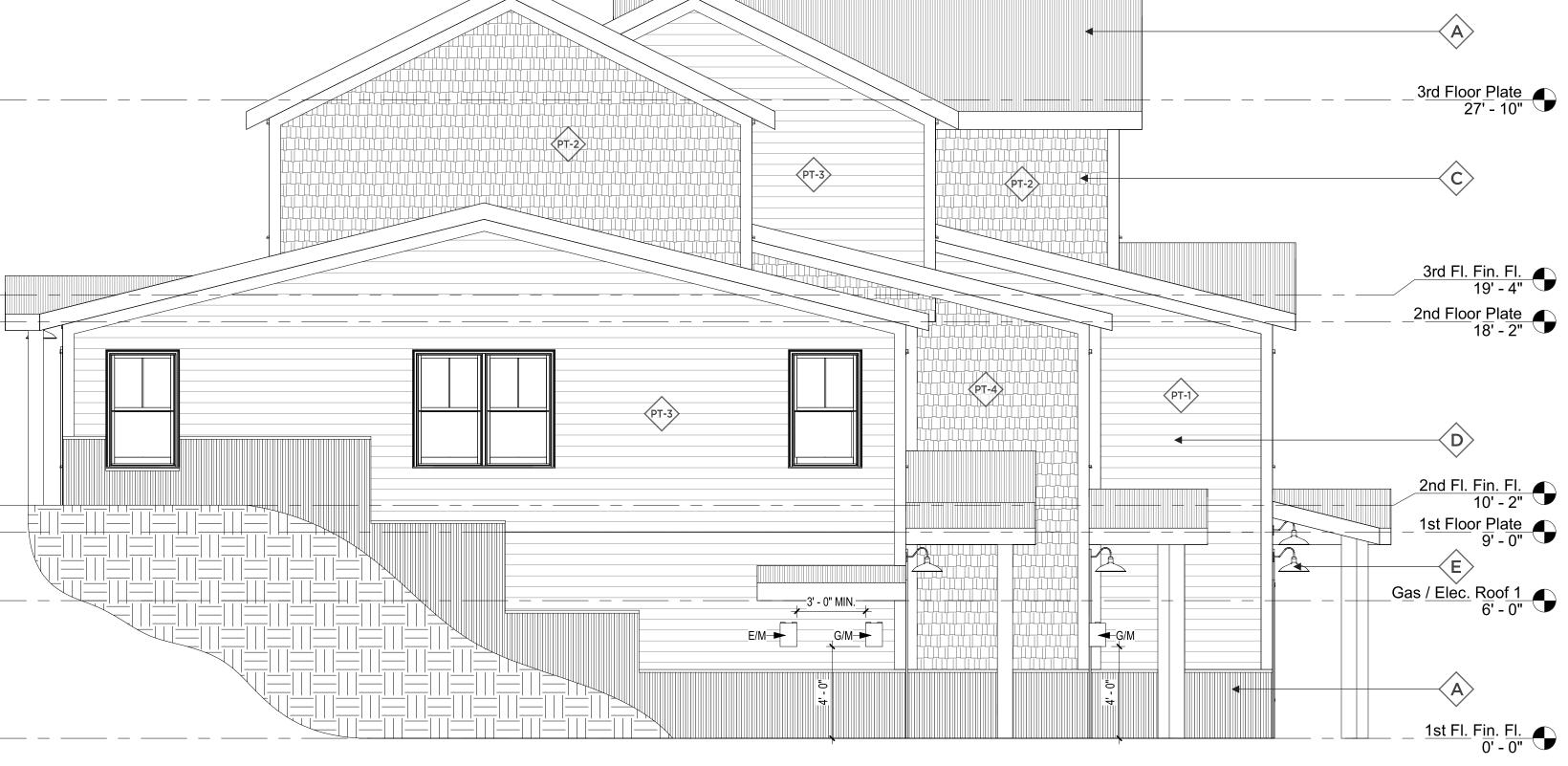
1 FRONT ELEVATION 1/4" = 1'-0"

28'-00"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

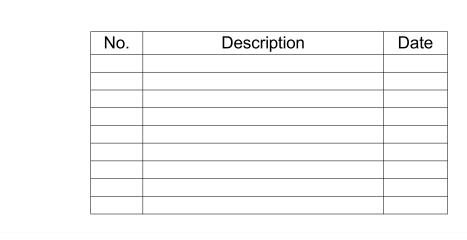
PT-2 2nd Floor Plate 18' - 2" PT-4 PT-1 \bigcirc D E/M G/M G/M





MATERIALS







Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

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2017-5 04.28.2020 MML / IPT Checked by

> A-201 EXTERIOR **ELEVATIONS**

> > 1/4" = 1'-0"

F EXTERIOR WINDOW Manufacturer: Synergy Color: White

MATERIALS

A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales Color: Silver Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height

B DECK RAILING Manufacturer: Deckorators

Size: 8'x3' panels C SHAKE SIDING

GARAGE DOOR Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139

PT-1 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132



PT-2 EXTERIOR PAINT

G EXTERIOR DOOR

H GARAGE DOOR

Manufacturer: Therma-Tru

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108

Color: Vary Model: SFGEM2115Z30LB Size: 36"x 80"

Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025



PT-3 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Urban Putty Color ID: SW 7532



PT-4 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Granite Peak Color ID: SW 6250



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams Color: Urban Bronze Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING





No.	Description	Date



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2017-5

EAW

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> A-202 EXTERIOR **ELEVATIONS**

> > 1/4" = 1'-0" है

SCALE:

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #4 - UNIT "F" 3+ BEDROOM PLANS LOTS 7-8



ABBREVIATI	MATERIAL INDICATION				
ABV ABOVE ACC ACCESSIBLE ACOUST ACOUSTICAL ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AEWC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SHOWER HEAD ATTEN ATTENUATION AU ACCESSIBLE URINAL B BEY BEYOND BD BOARD BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BENCH MARK BO BY OTHERS BOT BOTTOM (OF) BRG BEARING BRKT BRACKET BSMT BASEMENT BTWN BETWEEN BUILT UP ROOFING C CAB CABINET CB CHALKBOARD CC CENTER TO CENTER CEM CEMENT(IOUS) CI CAST IRON CFM CUBIC FEET PER MINUTE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLC CENTERLINE CLG CEILING CONC CONCRETE CONN CONNECTION CONC CONCRETE CONN CONNECTION CONT CONTROL OF CONT CONTROL OF CONTROL CONTROL OF CONT CONTROL OF CONT CONTROL OF CONTROL CONTROL OF CLESM CLASSROOM	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR FA FIRE ALARM FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEB FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE TOOT FIRE FIRE EXTINGUISHER FIRE TOOT FIRE TOOT FIRE TOOT FIRE TOOT FIRE TO	H HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDNR HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT I IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT M MAS MASONRY MAS BLK MASONRY BLOCK MATL MATERIAL MAX MAXIMUM MB MARKER BOARD MC MISC. CHANNEL MECH MECHANICAL MFR MANUFACTURE(R) MH MANHOLE MI MIRROR MIN MINIMUM MO MASONRY OPENING MTD MOUNTED MTG HT MOUNTING HEIGHT MTL METAL N N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAAR PARALLEL PARTN PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTD PAINTED PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER \$ S SOUTH SCHED SCHEDULE SCR SHOWER CURTAIN ROD SD SOAP DISPENSER SECT SECTION SH SHOWER SIM SIMILAR SMLS SEAMLESS SND SANITARY NAPKIN DISPENSER SP CTG SPECIAL COATING SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS SEAMLESS STEAL STD STANDARD STIL STEEL STOR STORAGE	S (CONT.) SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/WITHOUT	EARTH/ PREPARED SUBGRADE GRAVEL, STONE CONCRETE CONCRETE MASONRY UNIT STONE BRICK SAND, GROUT, MORTAR IRON, STEEL ALUMINUM SHIM WOOD BLOCKING CERAMIC TILE CARPET ACOUSTIC PANEL CEILING SYSTEM GYPSUM WALLBOARD PLASTER FINISHED WOOD RIGID INSULATION BATT INSULATION TERRAZZO

ARCHITECTS

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STRUCTURAL Williams Engineering

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2017-5 04.28.2020 Checked by

COVER SHEET

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABL BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

...50LBS LIVE LOAD

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

FLOOR LOADS...

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

OWNER

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET

ARDMORE, OK 73401

I ance Windel PHONE: 580.226.0416

PROJECT TEAM

ARCHITECT

SOUTHERN DESIGN GROUP, LLC 207 CADDO STREET

ARDMORE, OK 73401 Elizabeth A. Windel, AIA

PHONE: 580.798.0373

CONTRACTOR

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET ARDMORE, OK 73401

Lance Windel PHONE: 580.226.0416

STRUCTURAL ENGINEER

400 N. MAIN STREET GUNNISON, CO 81230

Bob Williams, PE PHONE: 970.641.2499

A-102 ROOF PLAN A-103 ELECTRICAL PLAN CONSTRUCTION DETAILS A-104.1 PRESCRIPTIVE TABLE CABINET LAYOUT & ELEVATIONS EXTERIOR ELEVATIONS A-201 **EXTERIOR ELEVATIONS** UNIT PLANS SQUARE FOOTAGE PER UNIT **BUILDING PLANS SQUARE FOOTAGE** UNIT "F" EXT. LEFT (CONDITIONED) 3+BEDROOM 1ST FLOOR -

COVER SHEET

A-101.1 DUPLEX - 2ND FLOOR PLAN

DUPLEX - 1ST FLOOR PLAN

UNIT "F" - 1ST FLOOR PLANS

UNIT "F" - 2ND FLOOR PLANS

PLOT PLAN

SHEET INDEX

Sheet Name

ND FLOOR -TOTAL (CONDITIONED) - 1,869 SF (UNCONDITIONED) HVAC -GARAGE -

Sheet #

A-100

UNIT "F" EXT. RIGHT (CONDITIONED) 1ST FLOOR -2ND FLOOR -1,055 SF TOTAL (CONDITIONED) - 1,869 SF

> (UNCONDITIONED) HVAC -TOTAL (UNCONDITIONED) - 410 SF

TOTAL (UNCONDITIONED) - 389 SF

BUILDING #5 (CONDITIONED) 1ST FLOOR -2ND FLOOR -TOTAL (CONDITIONED) -(UNCONDITIONED) HVAC -

TOTAL (UNCONDITIONED) - 800 SF

66 SF

Date Description



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017
Date	04.28.20
Drawn by	MN
Checked by	EA'

A-100 PLOT PLAN

1/8" = 1'-0" \(\frac{27}{27}\)

Description

Date

SCALE:

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CLIDVE TABLE

			CURVE TAE	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	ION CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE

1/8" = 1'-0"



1 PLOT PLAN 1/8" = 1'-0"

CONCRETE DRIVEWAY

BUILDING #4

LOTT

2,002 SF

UNIT "F"

EXTERIOR RIGHT -

N75°47'45"W

RH GARAGE

S75°47'45"E /

CONCRETE DRIVEWAY

UNIT "F"

EXTERIOR LEFT -RH GARAGE

32.83'

LOT 8

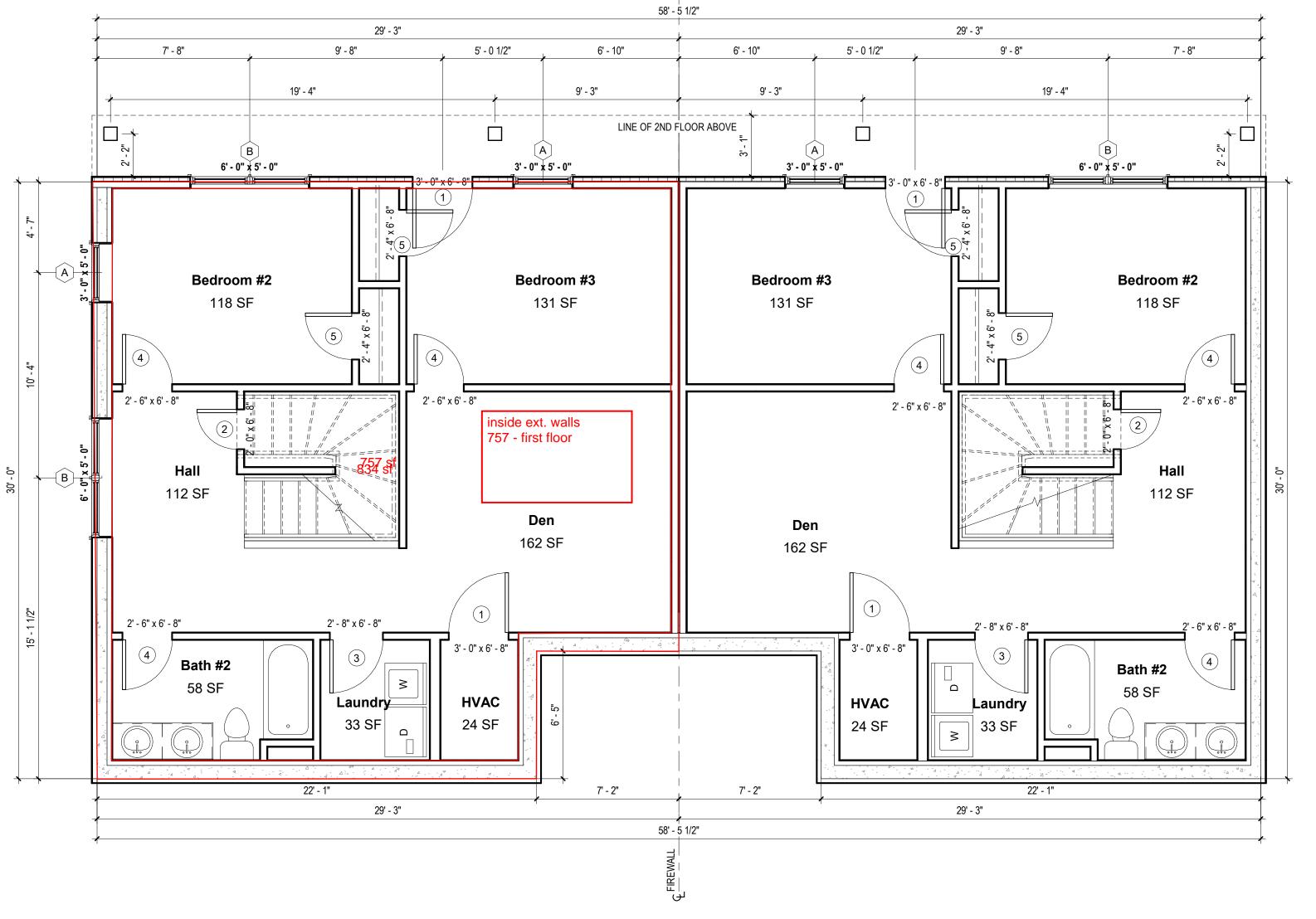
2,049 SF 😤

S75°47'45"E

20.00'

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION: **ALL DOOR SIZES ARE INDICATED ON PLANS:**

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

 - ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM
- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT.
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT.

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date	



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017-
Date	04.28.202
Drawn by	MM
Checked by	EAV
-	

A-101 **DUPLEX - 1ST FLOOR PLAN**

SCALE:

As indicated

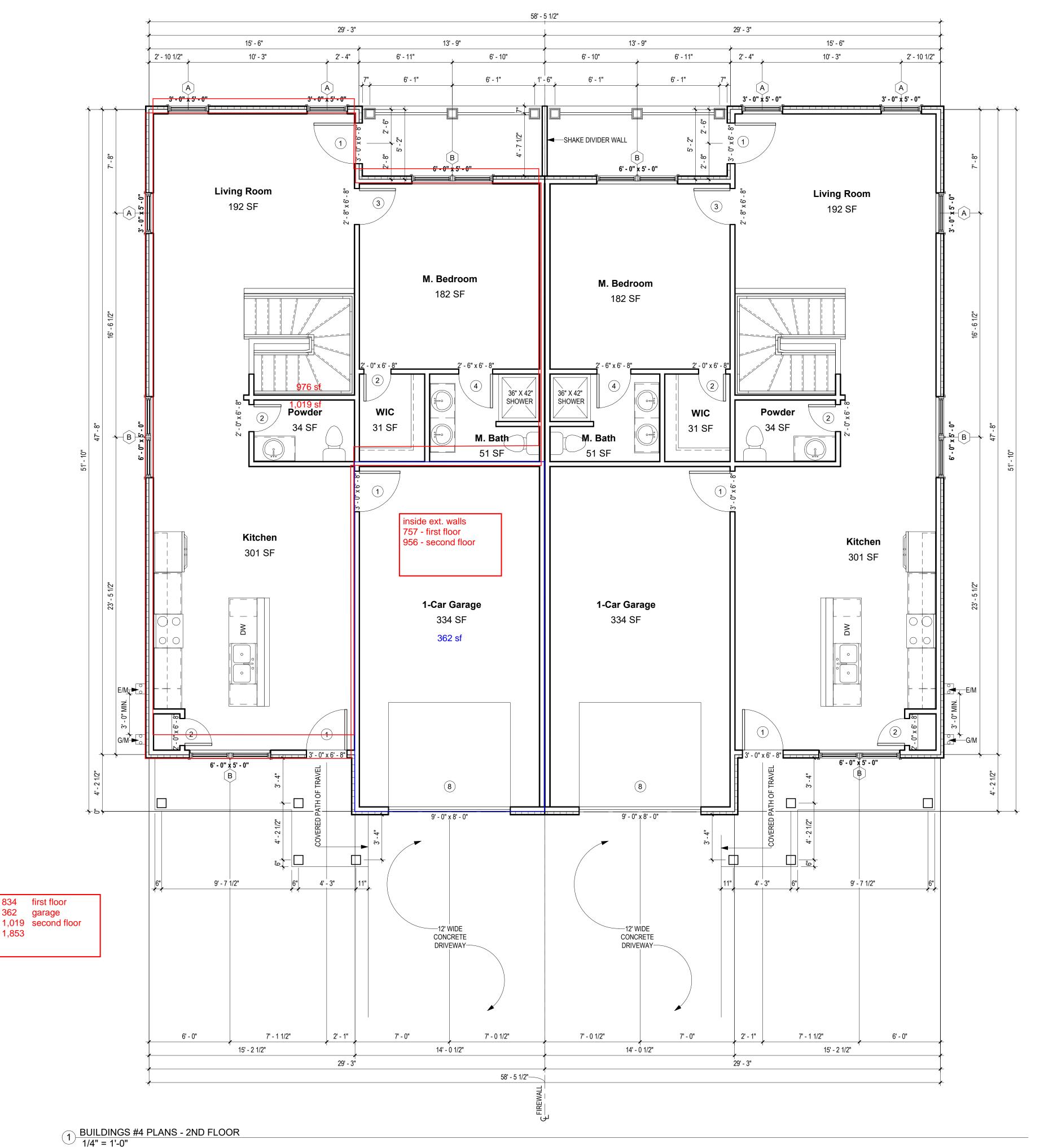
1 BUILDINGS #4 PLANS - 1ST FLOOR 1/4" = 1'-0"

1,853

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

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- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.

WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.

- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE.
- ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
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- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
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PLUMBING GENERAL NOTES

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WITH ARCHITECT.

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CONSULTANTS:

STRUCTURAL

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-
04.28.202
MM
EAV

A-101.1 **DUPLEX - 2ND FLOOR PLAN**

As indicated

SCALE:

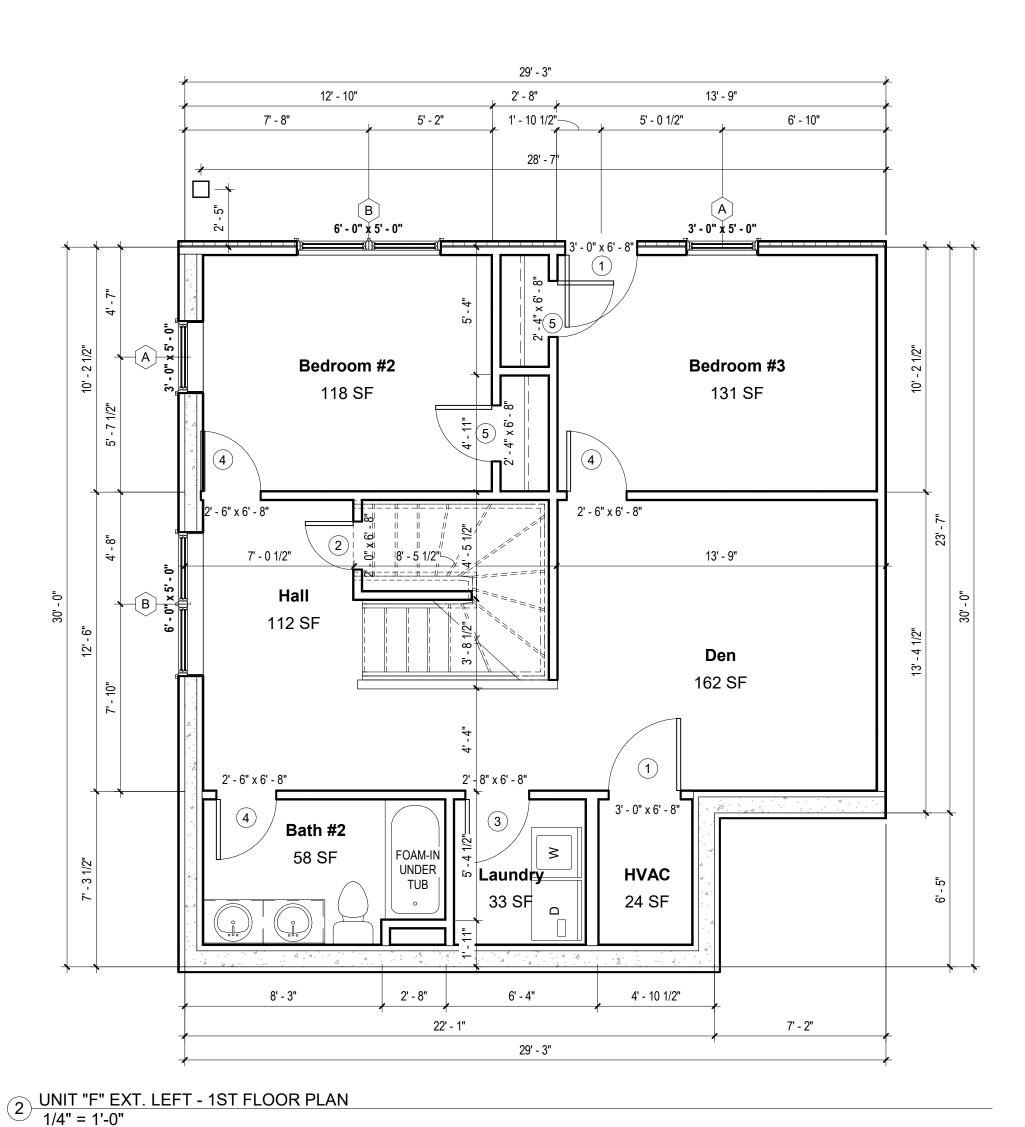
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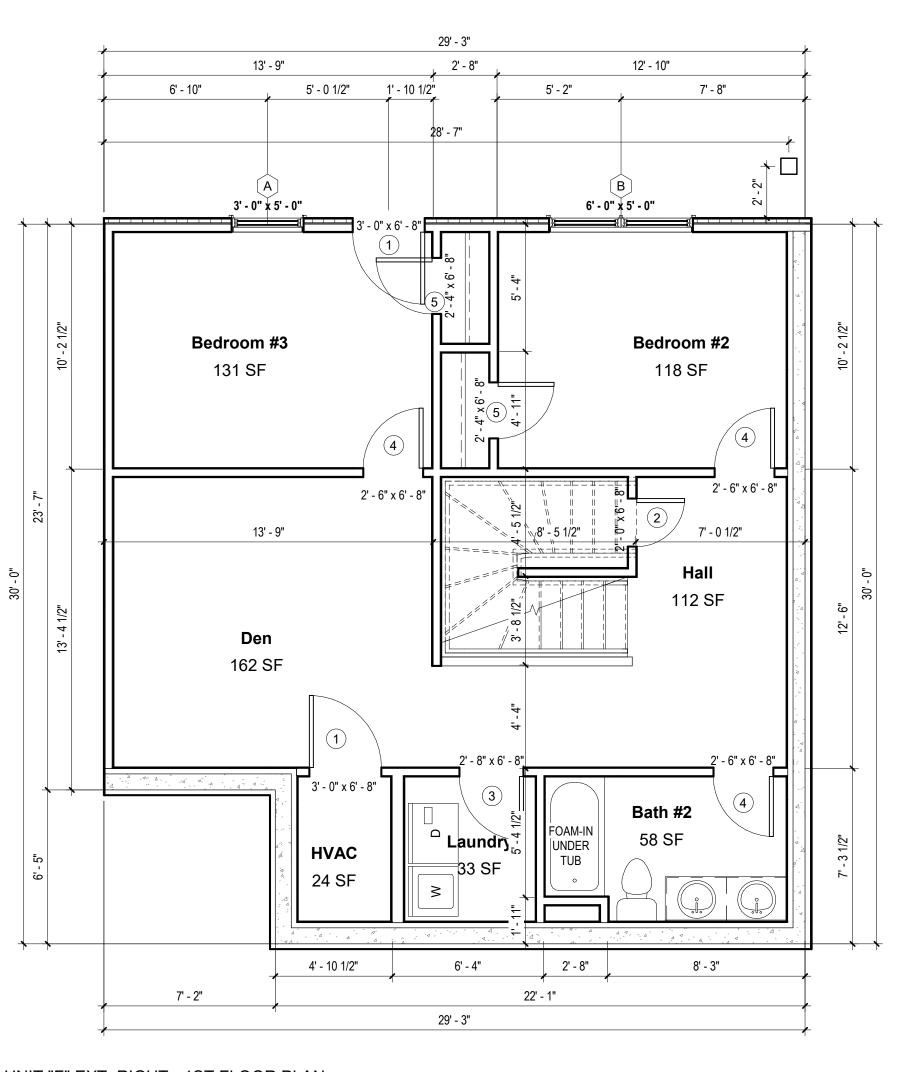
*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION:

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

ALL WINDOW SIZES ARE INDICATED ON PLANS:





/ 1/4" = 1'-0"

1 UNIT "F" EXT. RIGHT - 1ST FLOOR PLAN

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS. DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL FOUIPMENT

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	WITH ARCHITECT.	· INEQUI	INCED GEEN INGO 16. GOOK BINN THE EG	70/1110110
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6.	NOT ALL CLEANOUTS ARE	SHOW	/N FOR DRAWING CLARITY. CONTRA	ACTOR
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No.	Description	Date



Southern Design Group, LLC

CO License #: 404770

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL Williams Engineering

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5
04.28.2020
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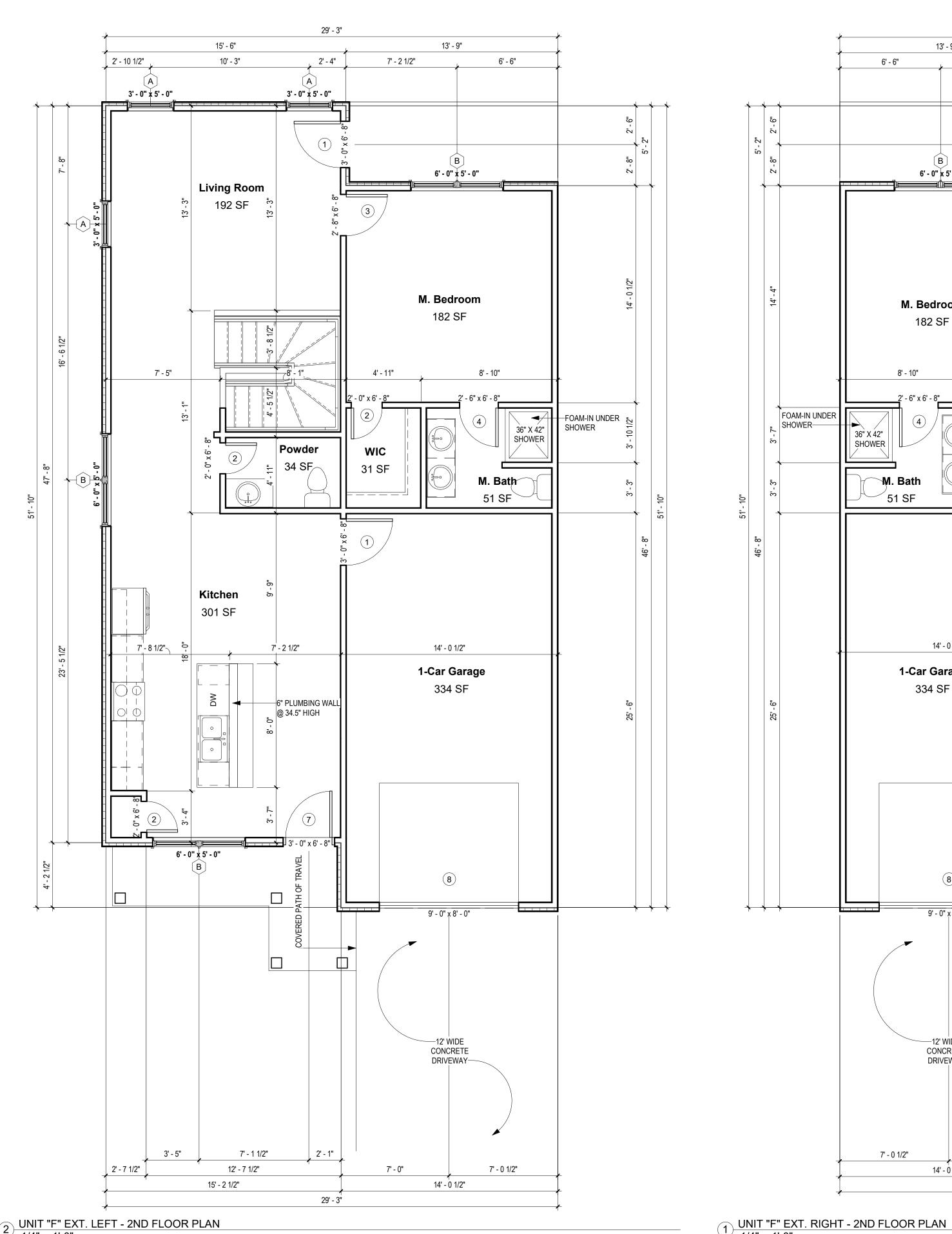
A-101.2 UNIT "F" - 1ST FLOOR PLANS

As indicated

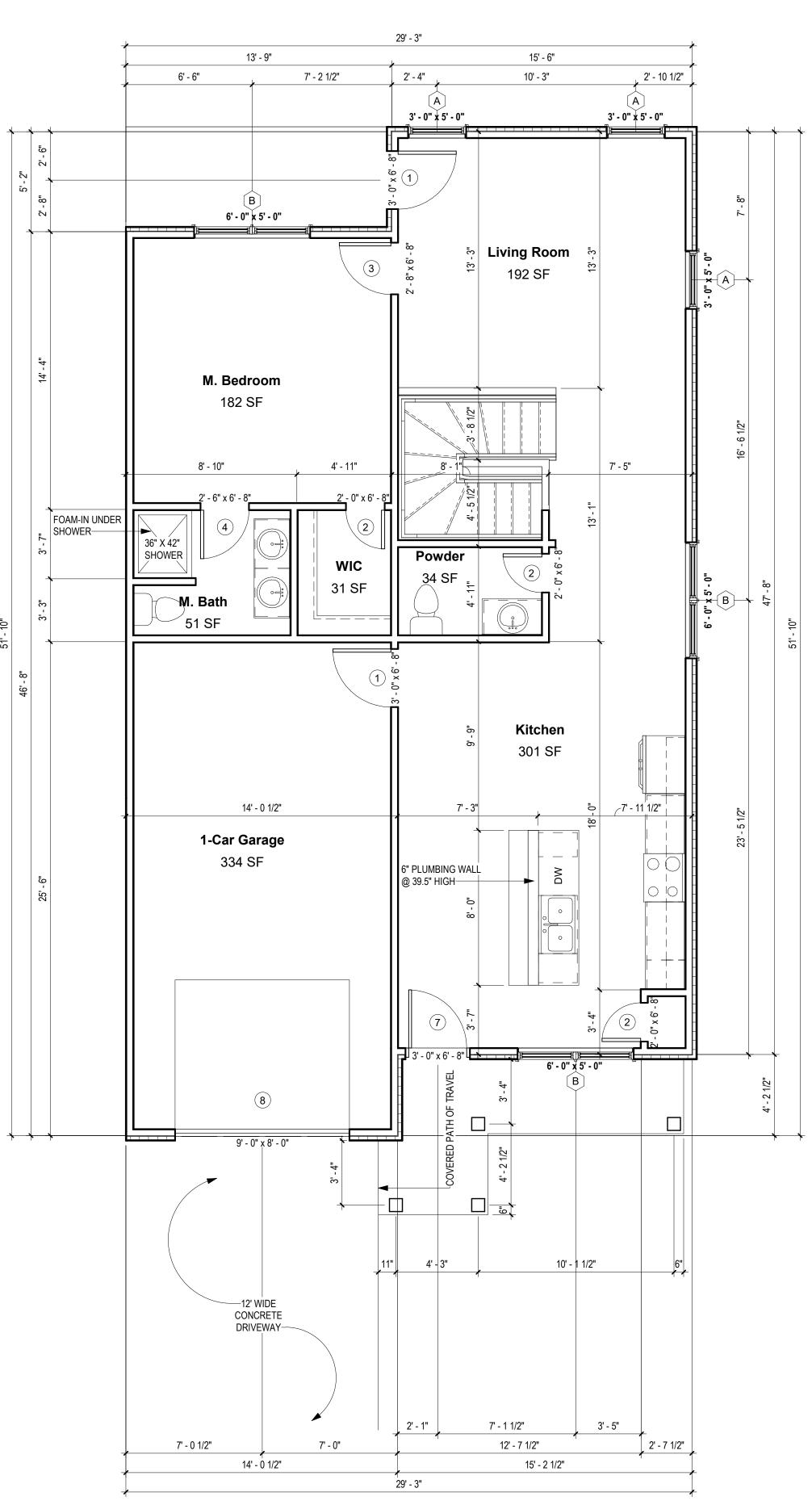
SCALE:

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



2 UNIT "F" EXT. LEFT - 2ND FLOOR PLAN 1/4" = 1'-0"



1/4" = 1'-0"

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
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INSULATION

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FIBER BATTS IN DOUBLE FRAMED WALL

- ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
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- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
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- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
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- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS,
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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PLUMBING GENERAL NOTES

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- STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
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- TRADES, EQUIPMENT AND PLUMBING FIXTURES COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR
- SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 Project number 04.28.2020 Checked by

> A-101.3 UNIT "F" - 2ND **FLOOR PLANS**

SCALE: As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

6" / 1'-0"_6" / 1'-0"_

1 ROOF PLAN 3/16" = 1'-0"

- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
 ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.

 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

 ALL ROOF PLANES WILL BE 6:12 PITCH
 PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



Southern Design Group, LLC

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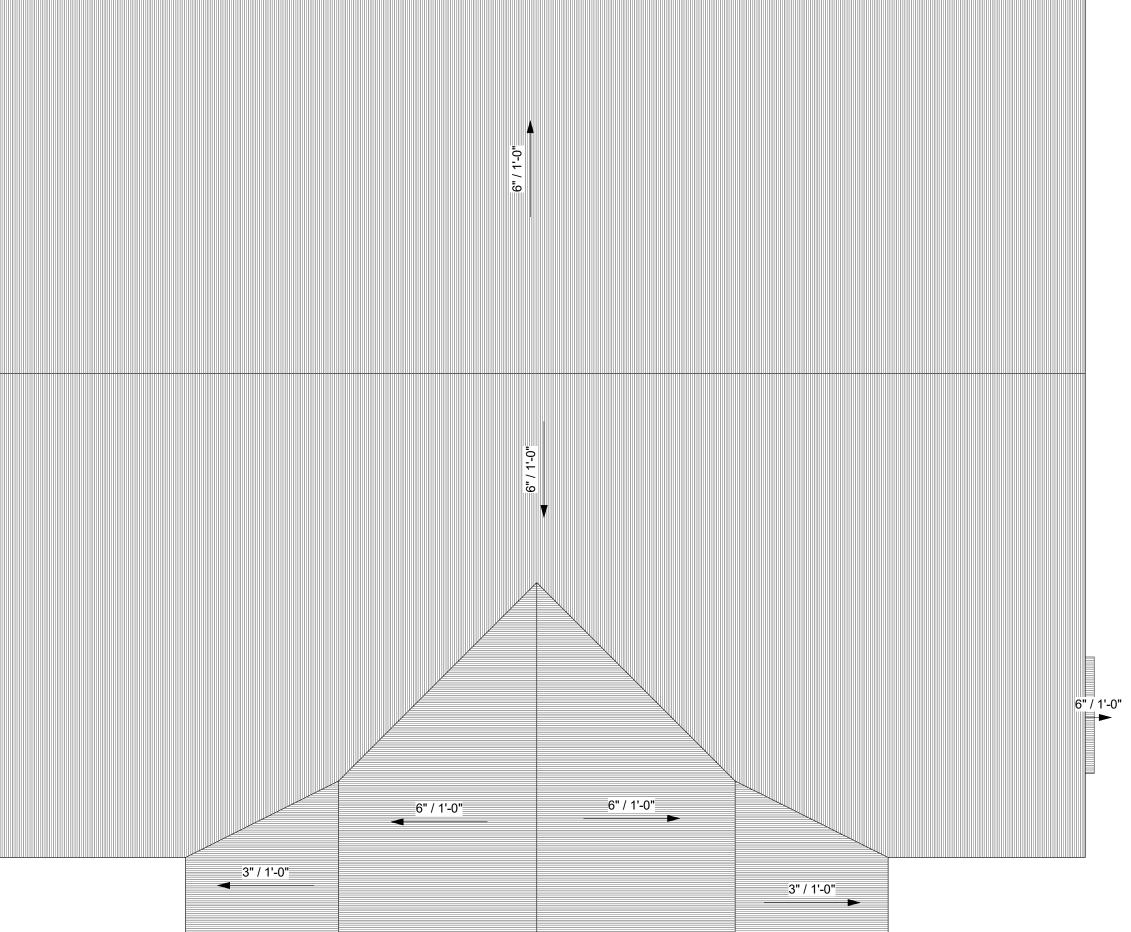
Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-102 ROOF PLAN

Date

Description

As indicated



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	v , . v		
			+

6" / 1'-0" 6" / 1'-0"

GENERAL ELECTRICAL NOTES:

- 1 OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4. ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT **EQUIPMENT BEING FURNISHED.**
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY..
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELEC1	TRICAL LEGEND / SCHEDULE				
ŒΑ	WALL MOUNT FIXTURE, 36" WIDE	●K BATHROOM EXHAUST FAN			
ДВ	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	A PHONE / DATA			
ЖС	SURFACE MOUNT FIXTURE, 15 1/4" DIA.				
¤D	WALL MOUNT FIXTURE, 24" WIDE	▲ CABLE			
ŒΕ	5-LIGHT CHANDELIER	G 52" FAN, WITH LIGHT KIT			
ΧF	EXTERIOR FLOODLIGHT				
ЖH	GOOSENECK LIGHT FULL CUT-OFF	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,			
ДJ	RECESSED CAN LIGHT, PROVIDE CFL BULBS	60W MAX PROVIDE CEL BULBS			
SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS					



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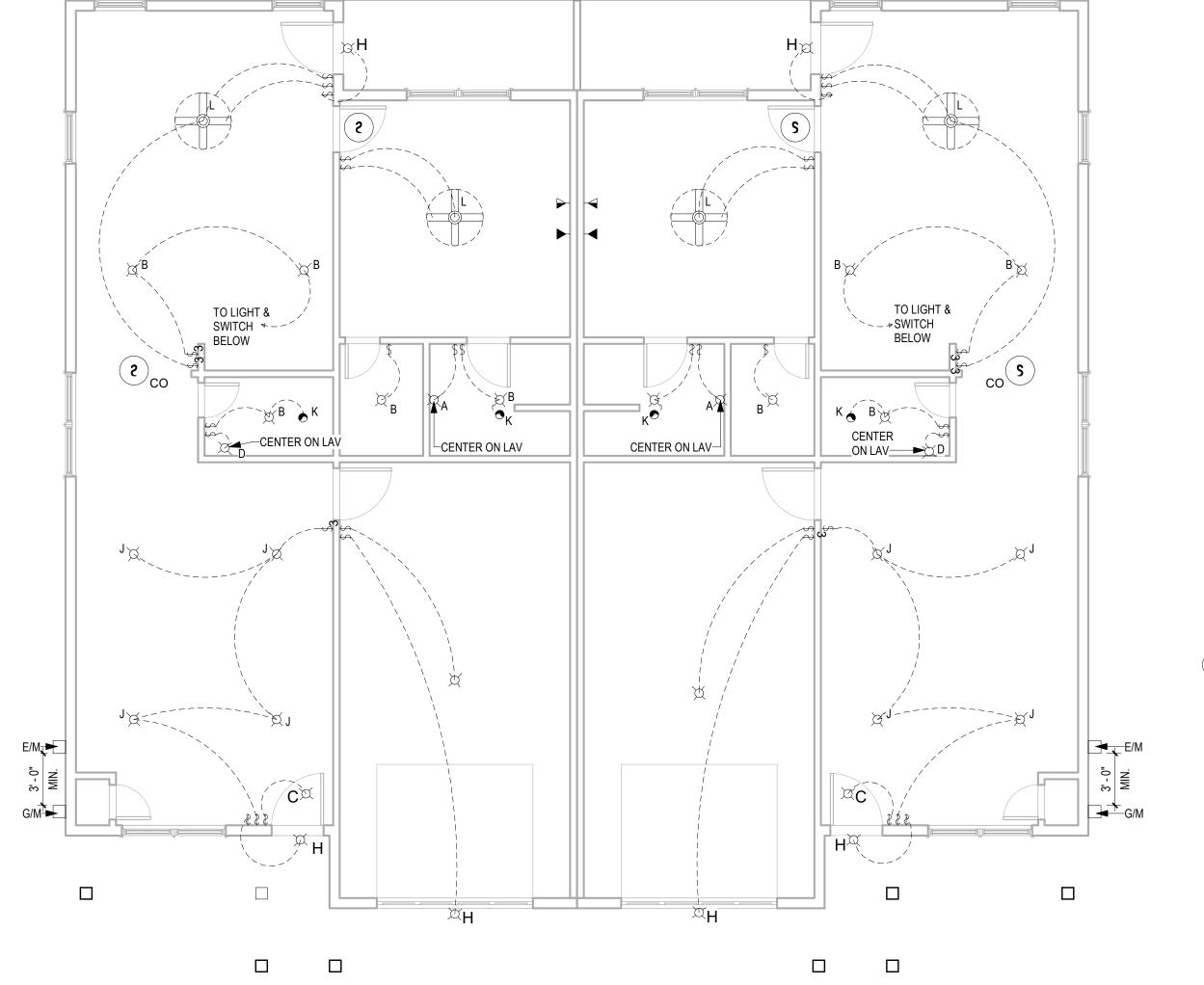
100% COMPLETE CONSTRUCTION **DOCUMENTS**

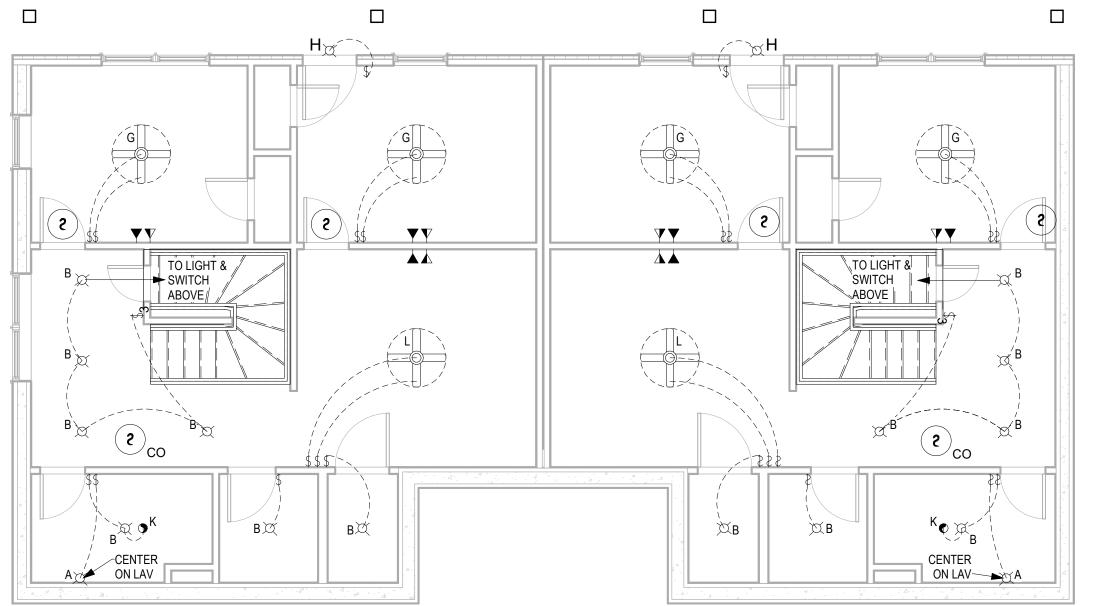
2017-5 04.28.2020 Checked by

> A-103 **ELECTRICAL PLAN**

SCALE:

As indicated





1 ELECTRICAL PLAN - 1ST FLOOR 3/16" = 1'-0"

Date Description



WINDOW SCHEDULE					
Type Mark	Width	Height	Туре		
Â	3' - 0"	5' - 0"			
(B)	6' - 0"	5' - 0"			

PLUMBING FIXTURE SCHEDULE				

12 BUILDING SECTION 1/4" = 1'-0"

─3/4" OSB ON 11 7/8" JOIST

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

EXTERIOR

—1"X3" FURR STRIP

—2X4 STUDS

1/2" GYP. BD.

EXTERIOR (2X4) HARDIE-PLANK

EXTERIOR (2X6) HARDIE-PLANK

HORIZONTAL LAP WALL

HORIZONTAL LAP WALL

5/8" HARDIE PLANK LAP SIDING

—2" RIGID FOAM INSULATION

7/16" ZIP WALL SHEATHING

R-15 NET AND BLOWN INSULATION

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

----R-15 NET AND BLOWN INSULATION

-1"X3" FURR STRIP

—2X6 STUDS

INTERIOR

INTERIOR

CORRUGATED METAL SIDING

-2" RIGID FOAM INSULATION

---7/16" ZIP WALL SHEATHING

5/8" GYP. BD. EACH SIDE

-TWO LAYERS 5/8" GYP. BD.

2X4 STUDS

FIRE WALL

(11) WALL TYPE LEGEND

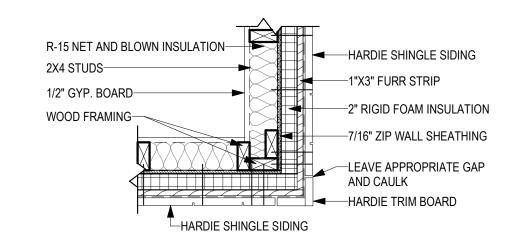
-R-15 NET AND BLOWN INSULATION

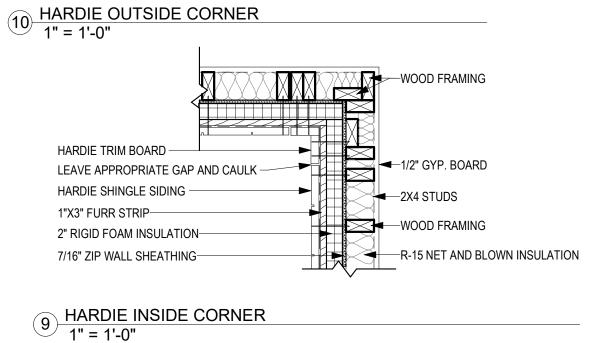
≠---1"X3" FURR STRIP

-2X4 STUDS

—1/2" GYP. BD.

EXTERIOR CORRUGATED METAL WALL





5/8" THROUGH BOLT OR 5/8" X

BEAM, COUNTER SINK & PLUG-

4X4 #1 D.F.

3' - 6"

R-15 NET AND BLOWN INSULATION

-2X4 SOLE PLATE & STUDS @ 16" O.C.

-FINISH FLOORING

—DOUBLE 2X4 TOP PLATE & STUDS

EXTERIOR

---6" CAST-IN-PLACE

-2 5/8" INSULATED

CONCRETE FORM

-1/2" GYP. BD.

CONCRETE

√ 1/2" GYP. BOARD

ENGINEERED

FLOORING SYSTEM

-NAILER

TYPE 8

EXTERIOR ICF FOUNDATION WALL

@ 16" O.C.

-1/2" GYP. BOARD

7 1/2" LAG BOLT, MIN. EMBEDMENT OF 3" INTO 6X6

6 ANGLE BRACING 1/2" = 1'-0"

1"X3" FURR STRIP-

2X12 BLOCKING-

2X4 STUDS-

INTERIOR

5/8" HARDIE PLANK LAP SIDING →

2" RIGID FOAM INSULATION-

7/16" ZIP WALL SHEATHING-

■ 1/2" GYP. BD. EACH SIDE

✓ 2X4 STUDS

TYPE 7

INTERIOR STUD WALL

5 HARDIE WALL SECTION @ 2ND FLOOR 1" = 1'-0"

T.O.W. & T.O.S

LSL OR LVL-

INTERIOR

INTERIOR

BUILDING SECTION DETAIL

EXTERIOR

──HARDIE PANEL SIDING

-1"X3" FURR STRIP

-2X4 STUDS

—1/2" GYP. BD.

☐ HARDIE PANEL SIDING

-1"X3" FURR STRIP

—2X6 STUDS

—1/2" GYP. BD.

-2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

TYPE 3

EXTERIOR (2X4) HARDIE-PANEL WALL

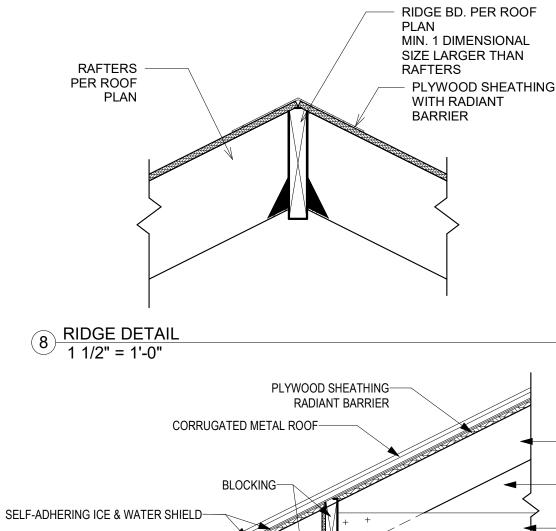
TYPE 6

EXTERIOR (2X6) HARDIE-PANEL WALL

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION



7 HARDIE ROOF SOFFIT DETAIL 1" = 1'-0"

-FRAMING IN POCKET FOR BEAM

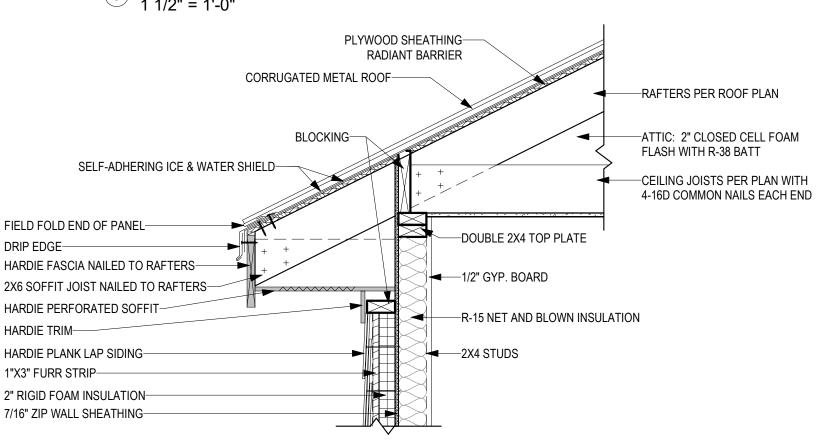
R49 INSULATION, CAVITY FILL

—5/8" THROUGH BOLT OR 5/8" X 7 1/2" LAG BOLT, MIN. EMBEDMENT OF 3"

—3/4" PLYWOOD SUBFLOOR

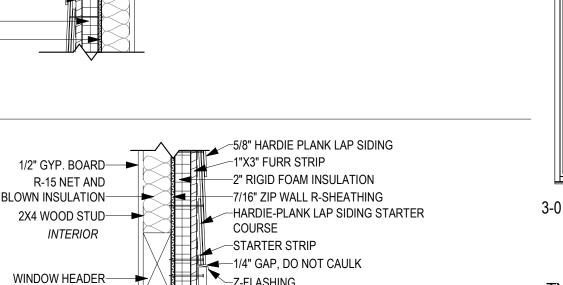
INTO 4X6 BEAM, COUNTER SINK & PLUG

-4X6 #1 D.F. BEAM



WINDOW FRAME →

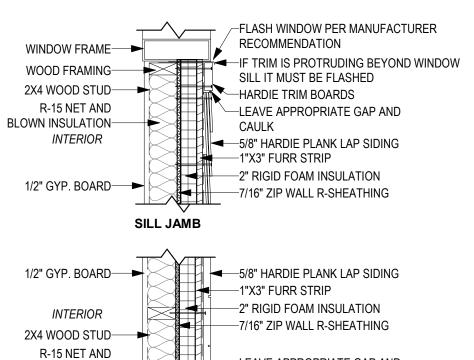
HEAD JAMB

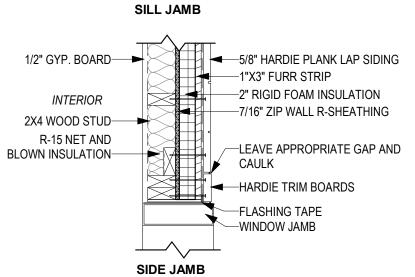


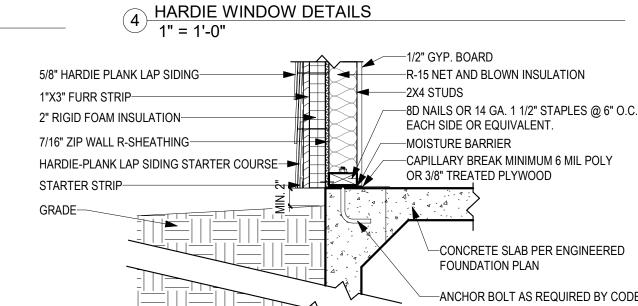
HARDIE TRIM BOARDS

RECOMMENDATIONS

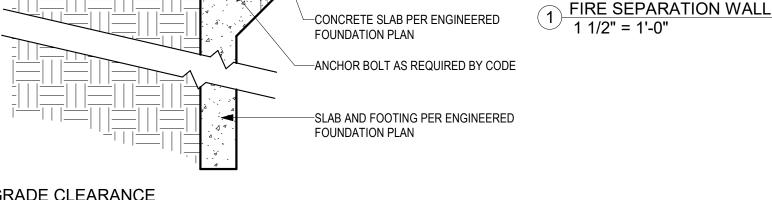
-FLASH WINDOW PER MANUFACTURER







**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

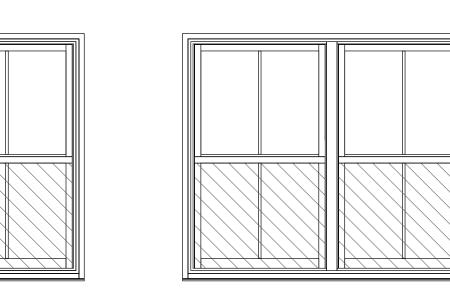
SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

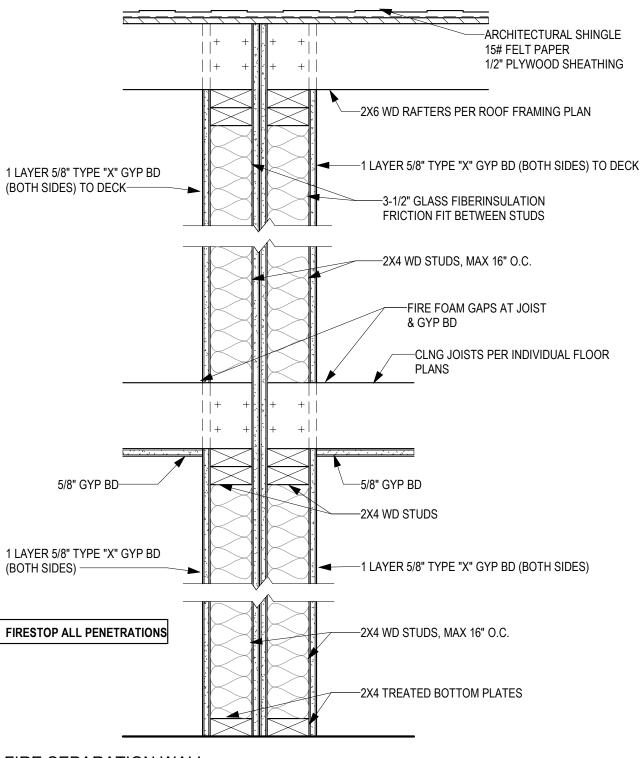
- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR **INSULATION REQUIREMENTS FOR ZONE 7



3-0 x 5-0 Double Hung Window 6-0 x 5-0 Twin Double Hung Window

Egress area meets IRC Section 310.1.1 minimum of 5SF. 2 TYPICAL WINDOW EGRESS 1/2" = 1'-0"



A-104 CONSTRUCTION **DETAILS**

Date

SCALE:

Description

As indicated

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04.28.2020

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Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

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400 N. Main Street

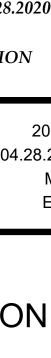
Gunnison, CO 81230

(PH) 970.641.2499

CONSULTANTS:

100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5 **Project number** 04.28.2020 Checked by



2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d R-VALU E & DEPTH	SPACE WALL
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed F-value of the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.

ARCHITECTS Southern Design Group, LLC 207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

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Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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2017-5 **Project number** 04.28.2020 Drawn by Checked by

> A-104.1 **PRESCRIPTIVE TABLE**

SCALE:

No.	Description	Date



Southern Design Group, LLC

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2017-5

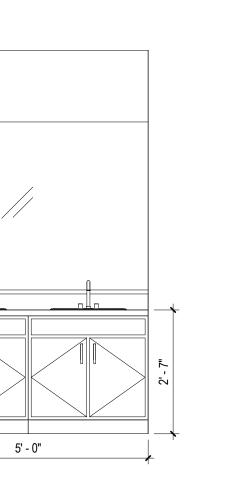
100% COMPLETE CONSTRUCTION **DOCUMENTS**

04.28.2020 Checked by

A-105 CABINET LAYOUT & **ELEVATIONS**

SCALE:

As indicated





TUB

1' - 6 1/2" 2' - 0"

3' - 6 1/2"

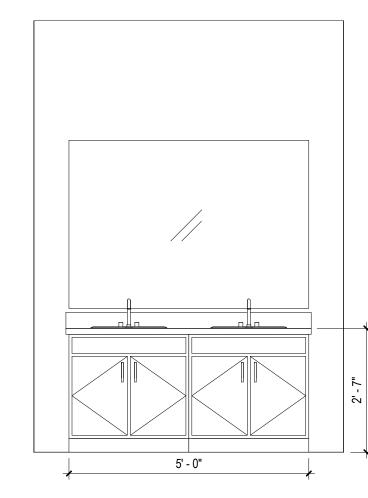
ELEV. @ UNIT "F" EXT. LEFT ISLAND - VIEW 2

1/2" = 1'-0"

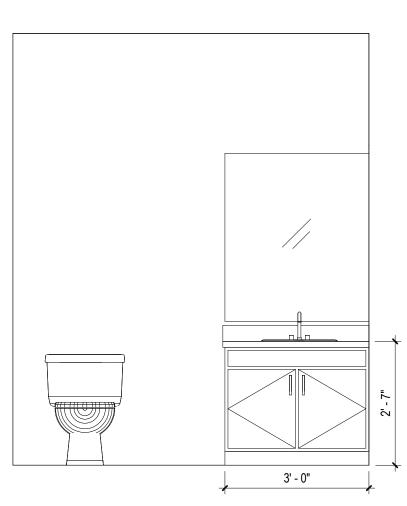
3' - 7 1/2"

9' - 2"

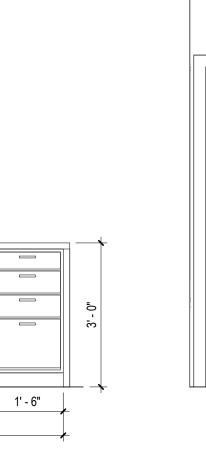
2' - 0"



6 ELEV. @ UNIT "F" EXT. LEFT M. BATH 1/2" = 1'-0"



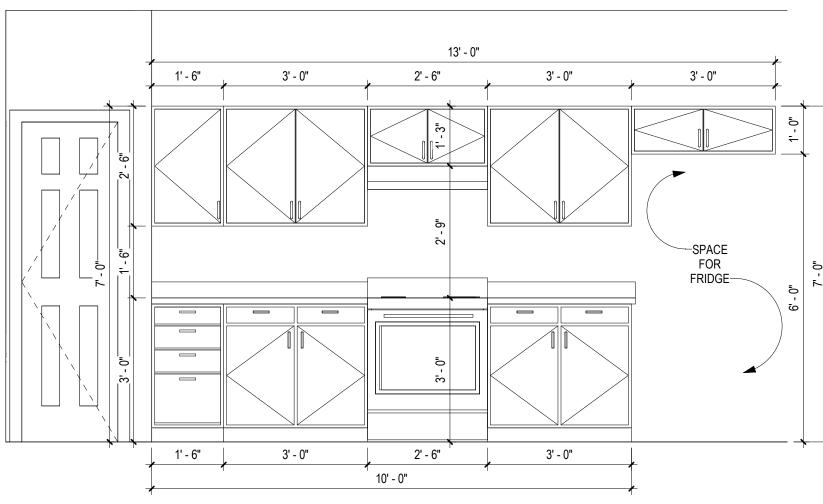
5 ELEV. @ UNIT "F" EXT. LEFT POWDER 1/2" = 1'-0"



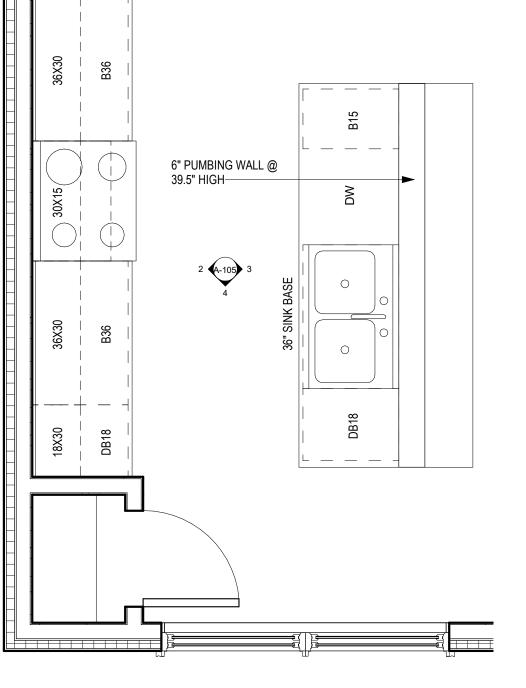
ELEV. @ UNIT "F" EXT. LEFT KITCHEN - VIEW 1 1/2" = 1'-0"

7' - 9"

2' - 0"







**MIRROR CABINET ELEVATIONS FOR UNIT "F" EXT. RIGHT

KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM

KITCHEN CABINETS

BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH

MANUFACTURER.

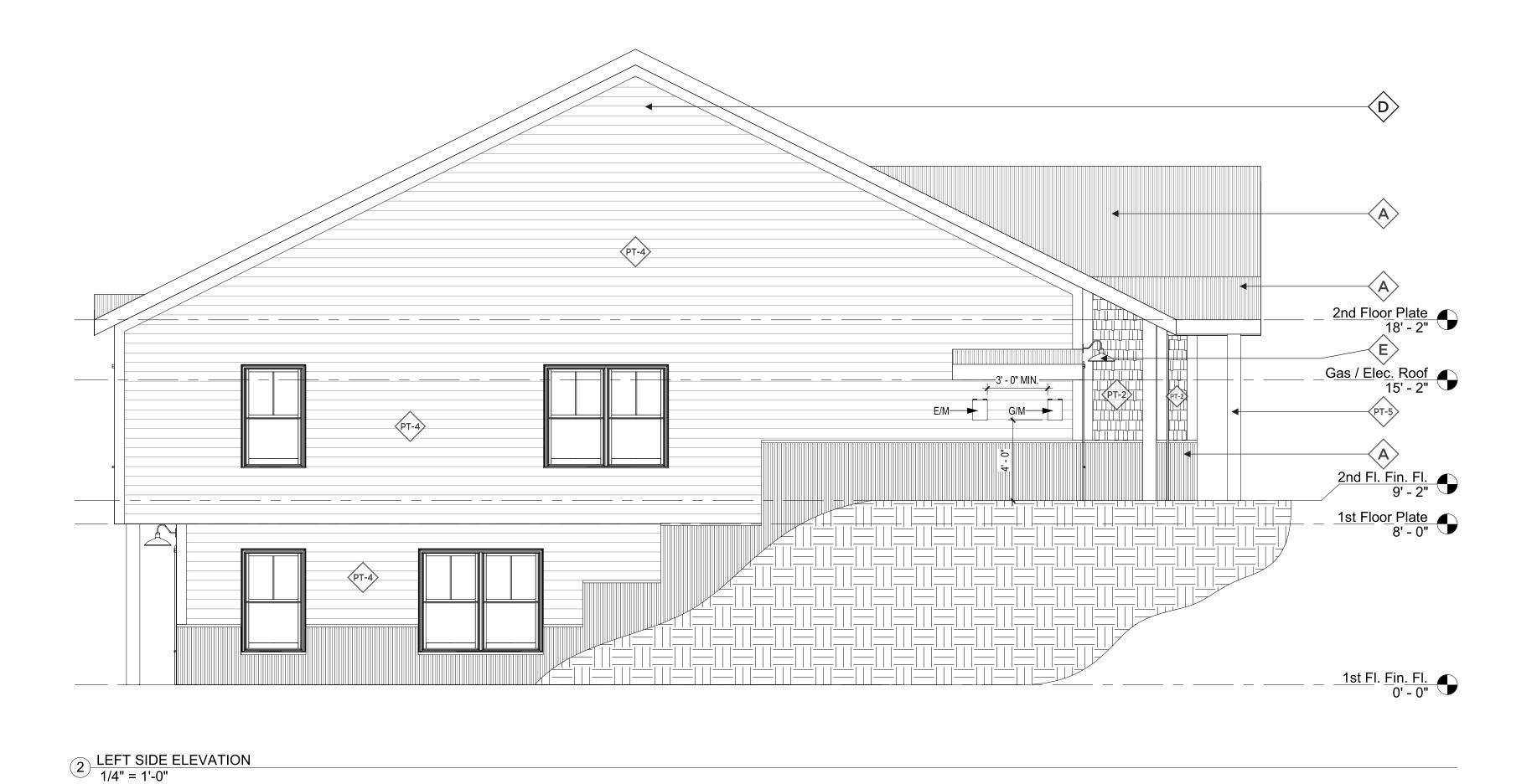
ENLARGED KITCHEN @ UNIT "F" EXT.

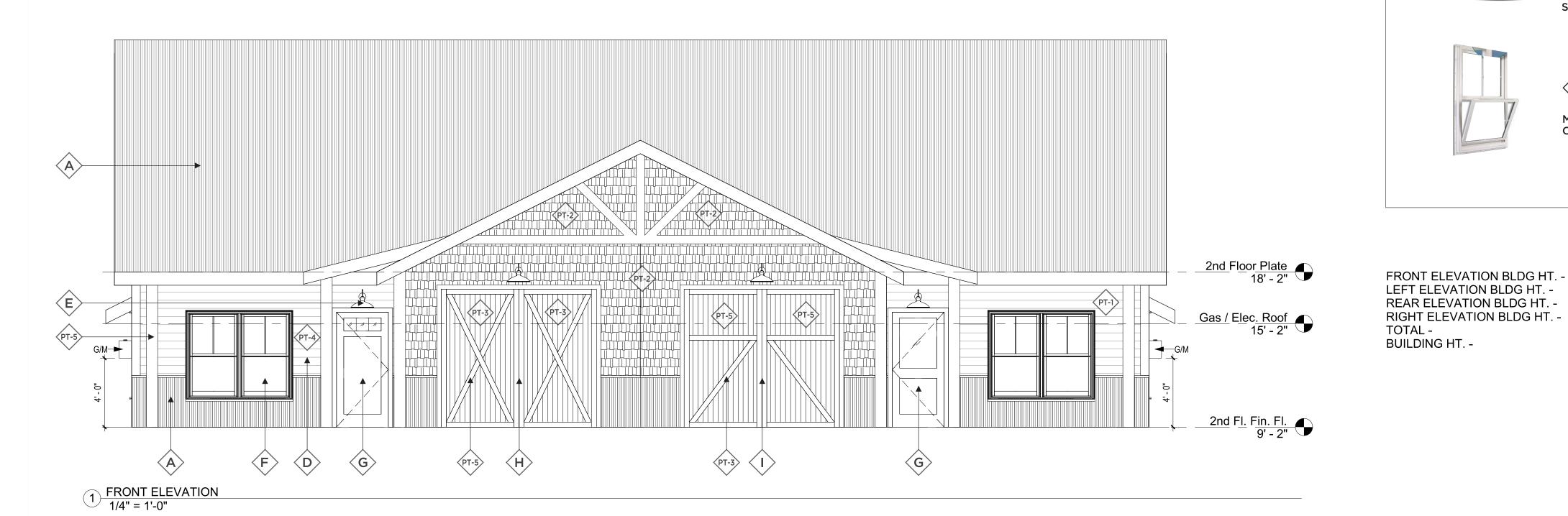
1 LEFT

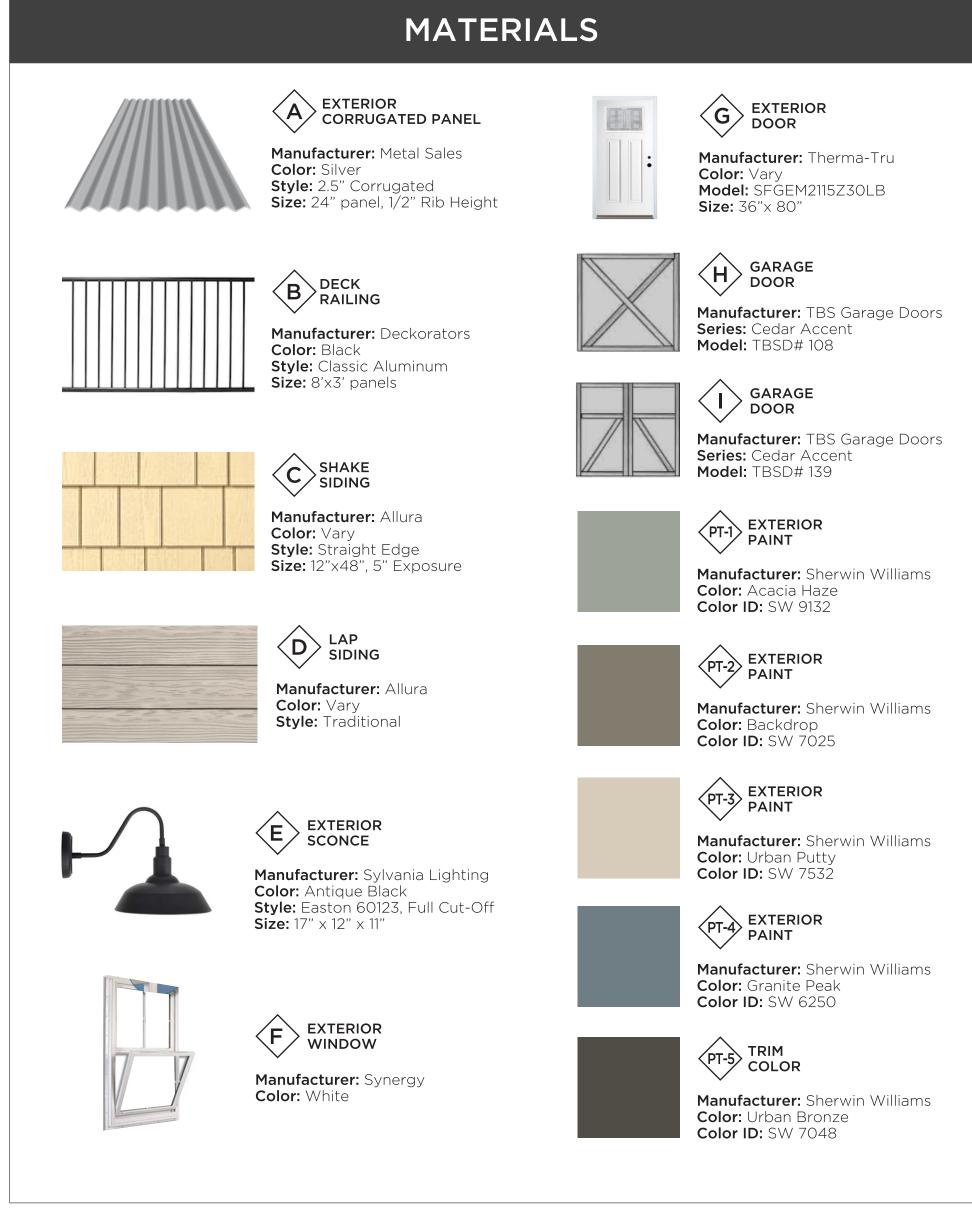
1/2" = 1'-0"

Description

Date







22'-06"

27'-01"

31'-08"

27'-01"

27'-01"

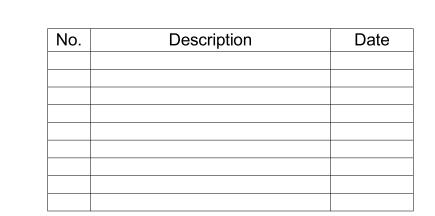
108'-04"

LEFT ELEVATION BLDG HT. -

TOTAL -

BUILDING HT. -

REAR ELEVATION BLDG HT. -



**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

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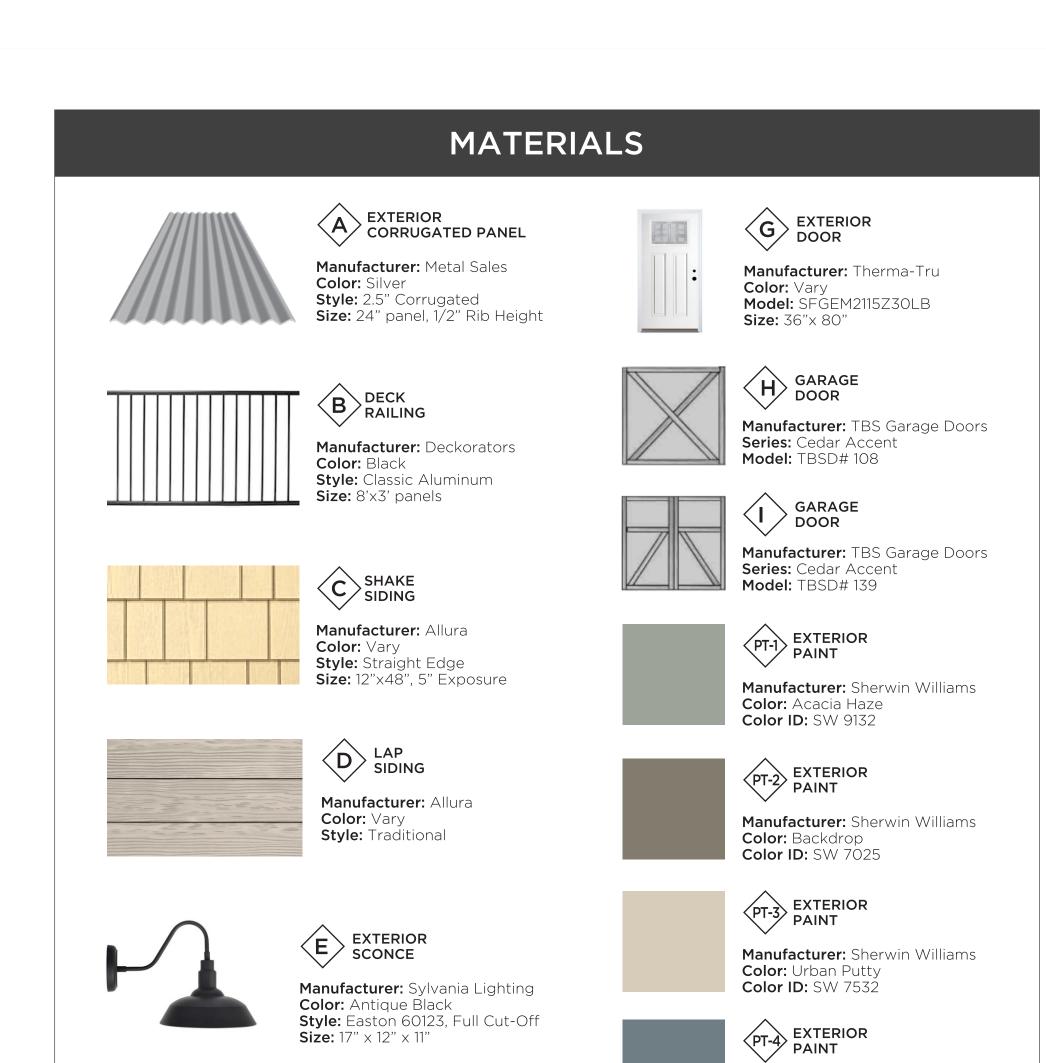
100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 Project number 04.28.2020 Date MML / IPT Drawn by EAW Checked by

> A-201 EXTERIOR **ELEVATIONS**

1/4" = 1'-0"

SCALE:



Manufacturer: Synergy

Color: White

Manufacturer: Sherwin Williams

Manufacturer: Sherwin Williams Color: Urban Bronze Color ID: SW 7048

2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

G

PT-3

 $\langle B \rangle$

Color: Granite Peak **Color ID:** SW 6250

PT-5 TRIM COLOR

2nd Floor Plate 18' - 2"

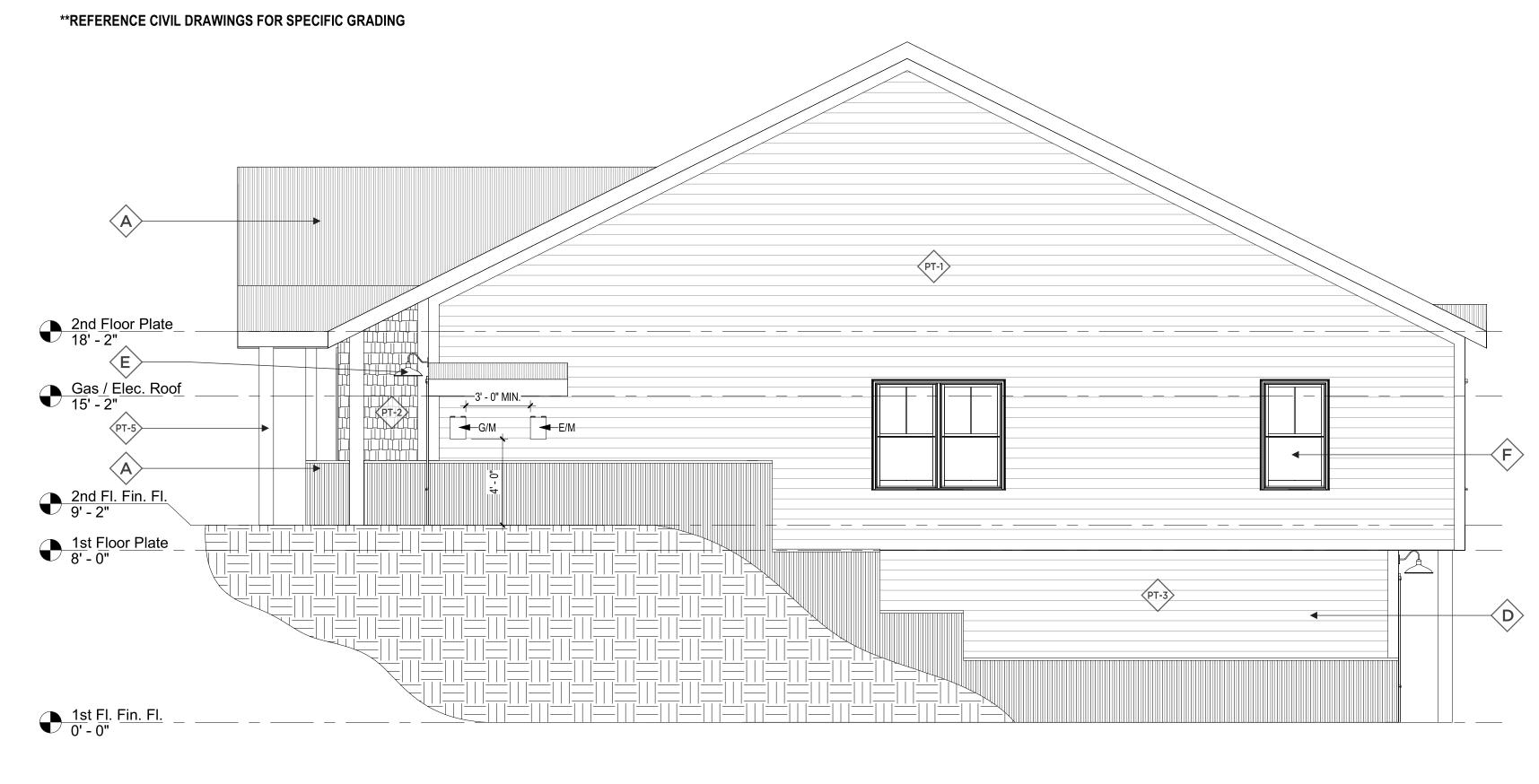
Gas / Elec. Roof_ 15' - 2"

2nd Fl. Fin. Fl. 9' - 2"

1st Floor Plate 8' - 0"

1st Fl. Fin. Fl. 0' - 0"

1 REAR ELEVATION 1/4" = 1'-0"



PT-3

G



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100% COMPLETE CONSTRUCTION **DOCUMENTS**

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> A-202 EXTERIOR **ELEVATIONS**

SCALE:

Date

Description

1/4" = 1'-0"

2017-5

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #5 - UNIT "F" 3+ BEDROOM PLANS LOTS 9-10



ABBREVIATIONS				MATERIAL INDICATION	
ABV ABOVE ACC ACCESSIBLE ACOUST ACOUSTICAL ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AEWC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SHOWER HEAD ATTEN ATTENUATION AU ACCESSIBLE URINAL B BEY BEYOND BD BOARD BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BENCH MARK BO BY OTHERS BOT BOTTOM (OF) BRG BEARING BRKT BRACKET BSMT BASEMENT BTWN BETWEEN BUILT UP ROOFING C CAB CABINET CB CHALKBOARD CC CENTER TO CENTER CEM CEMENT(IOUS) CI CAST IRON CFM CUBIC FEET PER MINUTE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLC CENTERLINE CLG CEILING CONC CONCRETE CONN CONNECTION CONC CONCRETE CONN CONNECTION CONT CONTROL OF CONT CONTROL OF CONTROL CONTROL OF CONT CONTROL OF CONT CONTROL OF CONTROL CONTROL OF CLESM CLASSROOM	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR FA FIRE ALARM FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEB FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE FIRE EXTINGUISHER FIRE TOOT FIRE FIRE EXTINGUISHER FIRE TOOT FIRE TOOT FIRE TOOT FIRE TOOT FIRE TO	H HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDNR HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT I IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT M MAS MASONRY MAS BLK MASONRY BLOCK MATL MATERIAL MAX MAXIMUM MB MARKER BOARD MC MISC. CHANNEL MECH MECHANICAL MFR MANUFACTURE(R) MH MANHOLE MI MIRROR MIN MINIMUM MO MASONRY OPENING MTD MOUNTED MTG HT MOUNTING HEIGHT MTL METAL N N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAAR PARALLEL PARTN PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTD PAINTED PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER \$ S SOUTH SCHED SCHEDULE SCR SHOWER CURTAIN ROD SD SOAP DISPENSER SECT SECTION SH SHOWER SIM SIMILAR SMLS SEAMLESS SND SANITARY NAPKIN DISPENSER SP CTG SPECIAL COATING SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS SEAMLESS STEAL STD STANDARD STIL STEEL STOR STORAGE	S (CONT.) SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/WITHOUT	EARTH/ PREPARED SUBGRADE GRAVEL, STONE CONCRETE CONCRETE MASONRY UNIT STONE BRICK SAND, GROUT, MORTAR IRON, STEEL ALUMINUM SHIM WOOD BLOCKING CERAMIC TILE CARPET ACOUSTIC PANEL CEILING SYSTEM GYPSUM WALLBOARD PLASTER FINISHED WOOD RIGID INSULATION BATT INSULATION TERRAZZO

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2017-05 04.28.2020

COVER SHEET

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. 5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS... ...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

OWNER

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET

PROJECT TEAM

ARDMORE, OK 73401

Lance Windel PHONE: 580.226.0416

ARCHITECT

SOUTHERN DESIGN GROUP, LLC 207 CADDO STREET

ARDMORE, OK 73401 Elizabeth A. Windel, AIA

PHONE: 580.798.0373

CONTRACTOR

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET ARDMORE, OK 73401

Lance Windel PHONE: 580.226.0416

STRUCTURAL ENGINEER

400 N. MAIN STREET GUNNISON, CO 81230

Bob Williams, PE PHONE: 970.641.2499

A-101	DUPLEX - 1ST FLOOR PLAN	
A-101.1	DUPLEX - 2ND FLOOR PLAN	
A-101.2	UNIT "F" - 1ST FLOOR PLANS	3
A-101.3	UNIT "F" - 2ND FLOOR PLANS	6
A-102	ROOF PLAN	
A-103	ELECTRICAL PLAN	
A-104	CONSTRUCTION DETAILS	
A-104.1	PRESCRIPTIVE TABLE	
A-105	CABINET LAYOUT & ELEVAT	IONS
A-201	EXTERIOR ELEVATIONS	
A-202	EXTERIOR ELEVATIONS	
INIT DI ANG SO	UARE FOOTAGE PER UNIT	BUILDING PLANS SQUARE FO

SHEET INDEX

Sheet Name

UNIT "F" EXT. LEFT (CONDITIONED) 3+BEDROOM

Sheet #

A-100

COVER SHEET

PLOT PLAN

TOTAL (CONDITIONED) - 1,869 SF (UNCONDITIONED) HVAC -GARAGE -TOTAL (UNCONDITIONED) - 389 SF

UNIT "F" EXT. RIGHT (CONDITIONED) 1ST FLOOR -2ND FLOOR -1,055 SF TOTAL (CONDITIONED) - 1,869 SF

(UNCONDITIONED) TOTAL (UNCONDITIONED) - 410 SF BUILDING #5 (CONDITIONED) 1ST FLOOR -TOTAL (CONDITIONED) -(UNCONDITIONED)

Description

TOTAL (UNCONDITIONED) - 800 SF

Checked by

Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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BU DUP



100% COMPLETE CONSTRUCTION

2017-05

EAW

1/8" = 1'-0"

DOCUMENTS Project number 04.28.2020 Date

A-100 PLOT PLAN

SCALE:

Checked by

Date Description

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

CLIDVE TABLE

			CURVE TAE	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	ION CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE

1/8" = 1'-0"



Ň	

C3/

1 HOUR FIREWALL

N14°12'15"E

* LOT 10 /

~ 26.41'

DRY BASIN STREET

€ 2,082 SF /

BUILDING #5

14°12'15"

GARAGE

12' WIDE CONCRETE DRIVEY

DRIVEWAY

65.16'

UNIT "F"

65.16' 1°12'15"W

8.42'

20.00'

EXTERIOR RIGHT -

~ LOT9

²,150 SF ,⁵

33_{.00},

UNIT "F"

EXTERIOR LEFT -

RH GARAGE

GARAGE

S75°47 45"E

12' WIDE

CONCRETE

DRIVEWAY

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

7' - 8"

6' - 0" x 5' - 0"

Bedroom #2

118 SF

169 SF

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - .32-.29

58' - 5 1/2"

LINE OF 2ND FLOOR ABOVE

6' - 10"

6' - 10"

29' - 3"

5' - 0 1/2"

3' - 0" x 5' - 0"

Bedroom #3

131 SF

162 SF

7' - 2"

HVAC

9' - 8"

2' - 8" x 6' - 8"

22' - 1"

29' - 3"

2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

29' - 3"

5' - 0 1/2"

2' - 6" x 6' - 8

HVAC

7' - 2"

58' - 5 1/2"

3' - 0" 🛊 5' - 0"

Bedroom #3

131 SF

9' - 8"

7' - 8"

Bedroom #2

118 SF

169 SF

Bath #2

22' - 1"

29' - 3"

6' - 0" **x** 5' - 0"

DOOR INFORMATION: IS: ALL DOOR SIZES ARE INDICATED ON PLANS:

1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- 4. MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250
- ISIII ATIONI

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
 - ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
 3. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 4. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUI
 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 14. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
- OF VERTICAL OFFSETS.

 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.

 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS,
- TYPICAL ALL UNITS.

 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY
- INSTALLATION.

 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS
 INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER
 CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE
 NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY
- BACKUP PER CODE.

 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- 2015 IRC.
 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF

PLUMBING GENERAL NOTES

THE 2015 IRC.

- 1. THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
 ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
 NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

207 Caddo St.
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www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

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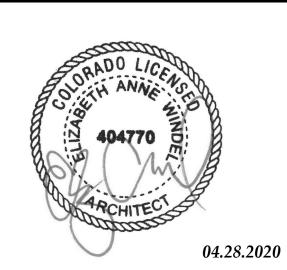
CO License #: 404770

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

own of Mount Crested Butte, Colorado BUILDING #5

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100% COMPLETE CONSTRUCTION DOCUMENTS

Project number	2017-0
Date	04.28.202
Drawn by	MM
Checked by	EAV
-	

A-101 DUPLEX - 1ST FLOOR PLAN

SCALE:

As indicated

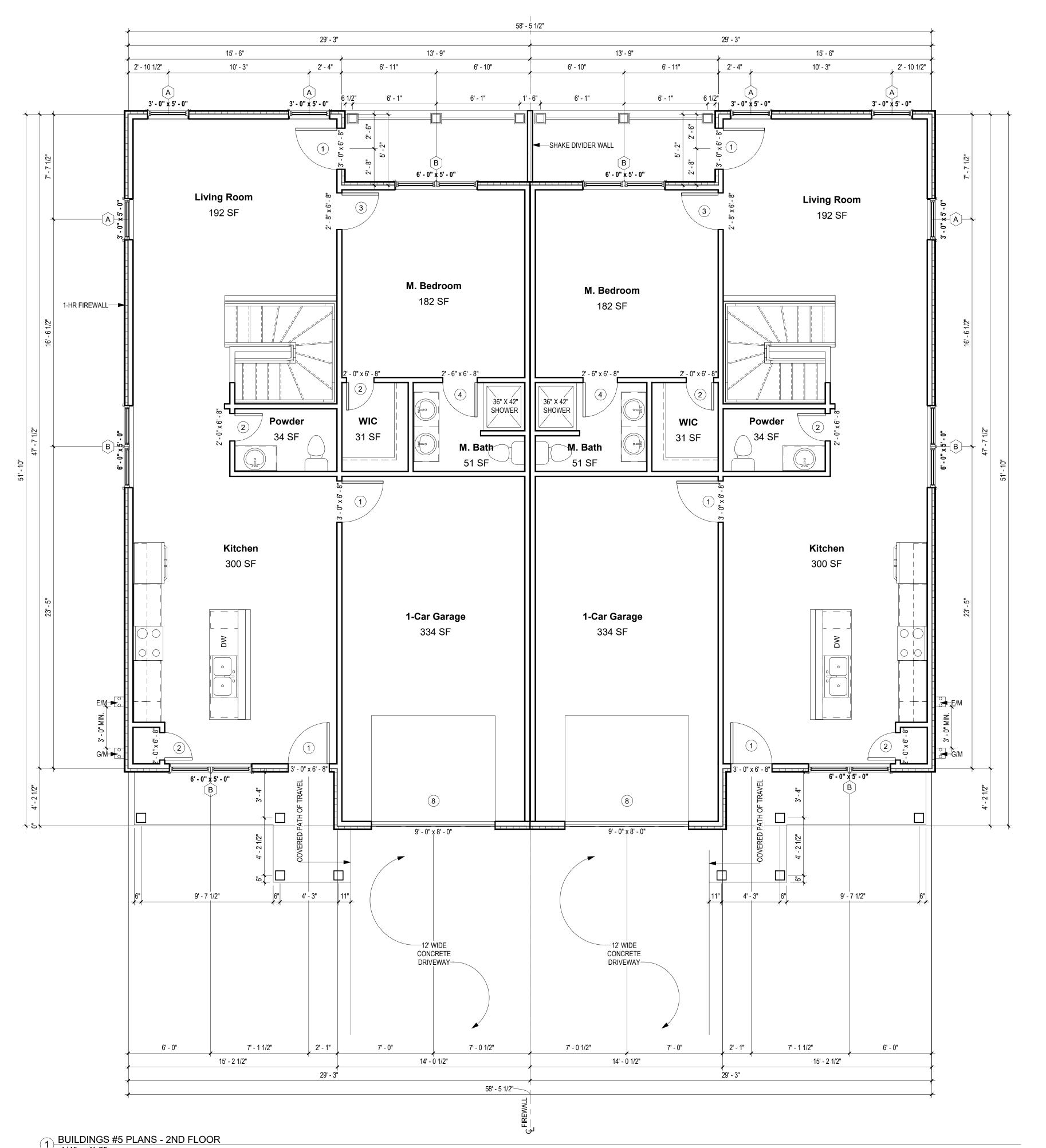
1) BUILDINGS #5 PLANS - 1ST FLOOR 1/4" = 1'-0"

1/4" = 1'-0"

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

1. U-VALUES - .32-.29

2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- 2. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
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 5. GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- 1. R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- 2. ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
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 AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL
- BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE.
 BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL
 ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- . ALL INTERIOR DIMENSIONS ARE TO FACE OF ST
- ALL WORK NEW UNLESS NOTED OTHERWISE.
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- 1. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
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- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- LAYOUTS.

 7. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
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- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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- 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- 1. THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- 2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- 3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- 5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
 NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR
 SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

ITH ARCHITECT.			
ITH ARCHITECT.	No.	Description	Date



Southern Design Group, LLC

207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL

Williams Engineering

CO License #: 404770

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Butte, Colorado BUILDING #5 DUPLEX UNIT "F"

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Project number	2017-05
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-101.1 DUPLEX - 2ND FLOOR PLAN

As indicated

SCALE:

NOTES

29' - 3"

1' - 10 1/2"

5' - 3"

6' - 7 1/2"

9' - 3"

3' - 0" **x** 5' - 0"

Bedroom #3

131 SF

13' - 9"

Den

162 SF

7' - 2"

3' - 0" x 6' - 8"

4' - 10 1/2"

2' - 8"

8' - 5 1/2"

2' - 8" x 6' - 8"

6' - 4"

29' - 3"

2' - 8"

22' - 1"

5' - 2"

19' - 4"

6' - 0" x 5' - 0"

Bedroom #2

118 SF

7' - 8"

7' - 3 1/2"

8' - 3"

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

29' - 3" 13' - 9" 2' - 8" 12' - 10" 6' - 7 1/2" 5' - 3" 1' - 10 1/2" 5' - 2" 7' - 8" 9' - 3" 19' - 4" 3' - 0" **x** 5' - 0" 6' - 0" x 5' - 0" Bedroom #3 Bedroom #2 118 SF 131 SF 13' - 9" 8' - 5 1/2" 7' - 3 1/2" 112 SF 162 SF Laundry 3 24 SF 4' - 10 1/2" 6' - 4" 2' - 8" 8' - 3" 7' - 2" 22' - 1"

29' - 3"

1) UNIT "F" EXT. RIGHT - 1ST FLOOR PLAN

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL.
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS. DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

TRADES. EQUIPMENT AND PLUMBING FIXTURES.

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
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	WITH ARCHITECT.			
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6.	NOT ALL CLEANOUTS ARE	SHOW	'N FOR DRAWING CLARITY. CONTR	ACTOR
J.		_	JON DRAINS WITH MEGHANICAL EQ	-
J.				

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL Williams Engineering

400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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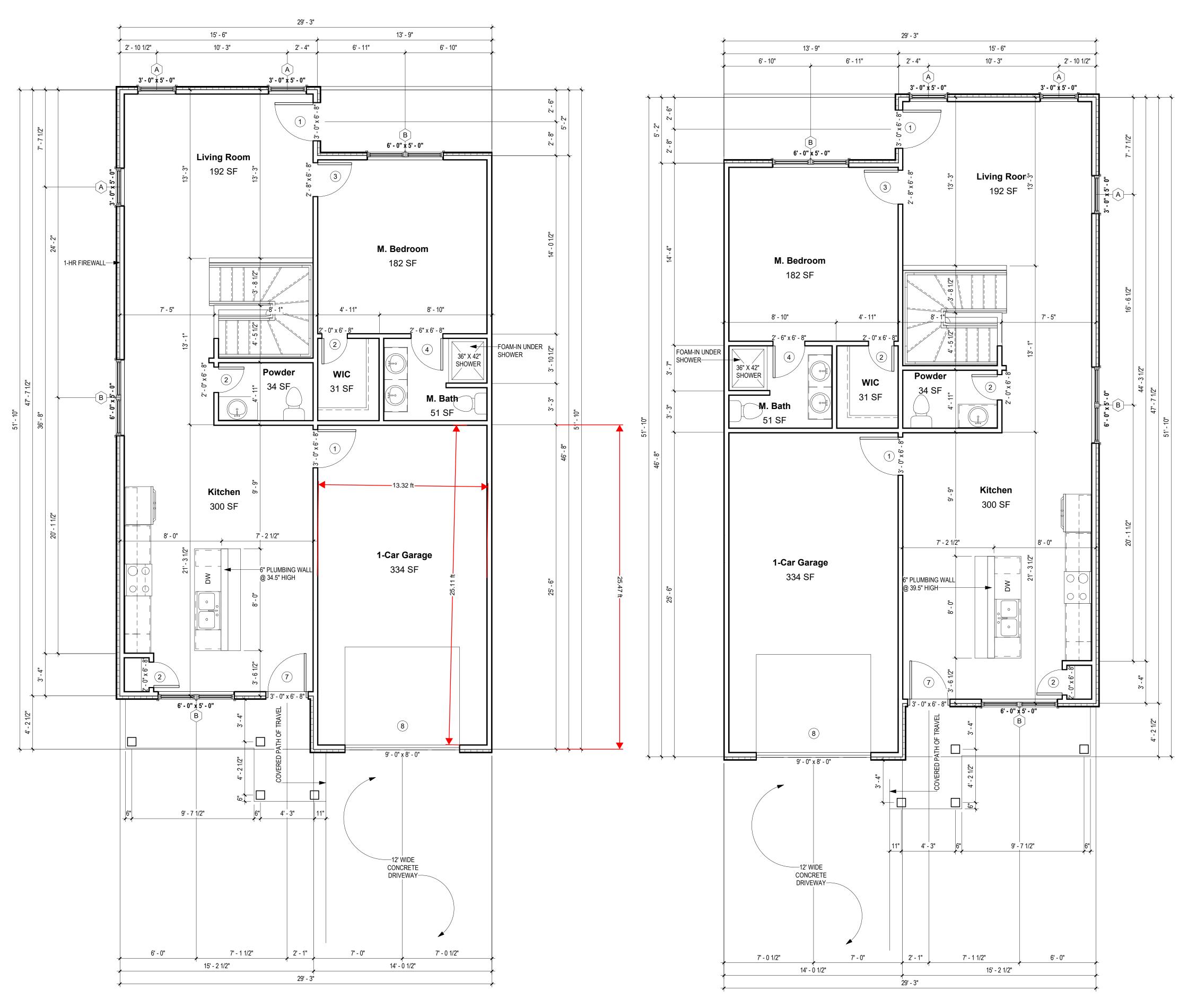
A-101.2 UNIT "F" - 1ST FLOOR PLANS

SCALE:

As indicated

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



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- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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- TRADES, EQUIPMENT AND PLUMBING FIXTURES. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOLITS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR

	RED CLEANOUTS. COORDINATE LO		
WITH ARCHITECT.	No.	Description	Date

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

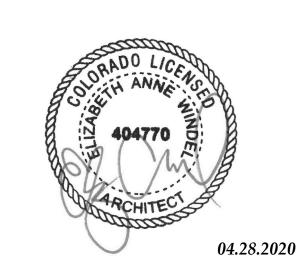
Williams Engineering

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04.00.000
04.28.202
MM
EAV

A-101.3 UNIT "F" - 2ND **FLOOR PLANS**

As indicated

SCALE:

2 UNIT "F" EXT. LEFT - 2ND FLOOR PLAN 1/4" = 1'-0"

UNIT "F" EXT. RIGHT - 2ND FLOOR PLAN

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

- 1. ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED
- OTHERWISE.
 ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE.
- 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.

 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

 ALL ROOF PLANES WILL BE 6:12 PITCH
 PLATE HEIGHTS ARE NOTED ON EXTERIOR ELEVATIONS (A-201)



Southern Design Group, LLC

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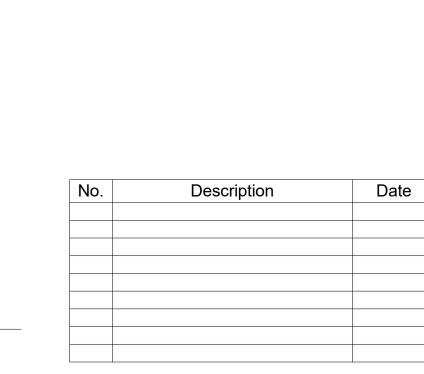
100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017-0
Date	04.28.202
Drawn by	MMI
Checked by	EAW

A-102 ROOF PLAN

SCALE:

As indicated



6" / 1'-0" 6" / 1'-0" 6" / 1'-0"_6" / 1'-0" 6" / 1'-0" 6" / 1'-0" 6" / 1'-0"

3" / 1'-0"

GENERAL ELECTRICAL NOTES:

- 1 OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- 4. ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT **EQUIPMENT BEING FURNISHED.**
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY..
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

	ELECTRICAL LEGEND / SCHEDULE							
	ΏA	WALL MOUNT FIXTURE, 36" WIDE	●K BATHROOM EXHAUST FAN					
ì	ΣВ	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	A PHONE / DATA					
	ДC	SURFACE MOUNT FIXTURE, 15 1/4" DIA.						
	¤D	WALL MOUNT FIXTURE, 24" WIDE	▲ CABLE					
	ŒΕ	5-LIGHT CHANDELIER	G 52" FAN, WITH LIGHT KIT					
	ЖF	EXTERIOR FLOODLIGHT						
	ДH	GOOSENECK LIGHT FULL CUT-OFF	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,					
	χJ	RECESSED CAN LIGHT, PROVIDE CFL BULBS	60W MAX PROVIDE CELBULBS					
		SEE ARCHITECT SPECIFICATION	NS FOR LIGHTING FIXTURE SELECTIONS					



Southern Design Group, LLC

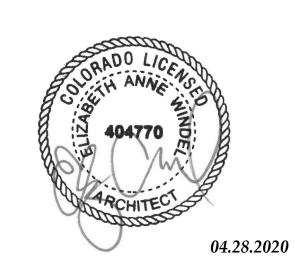
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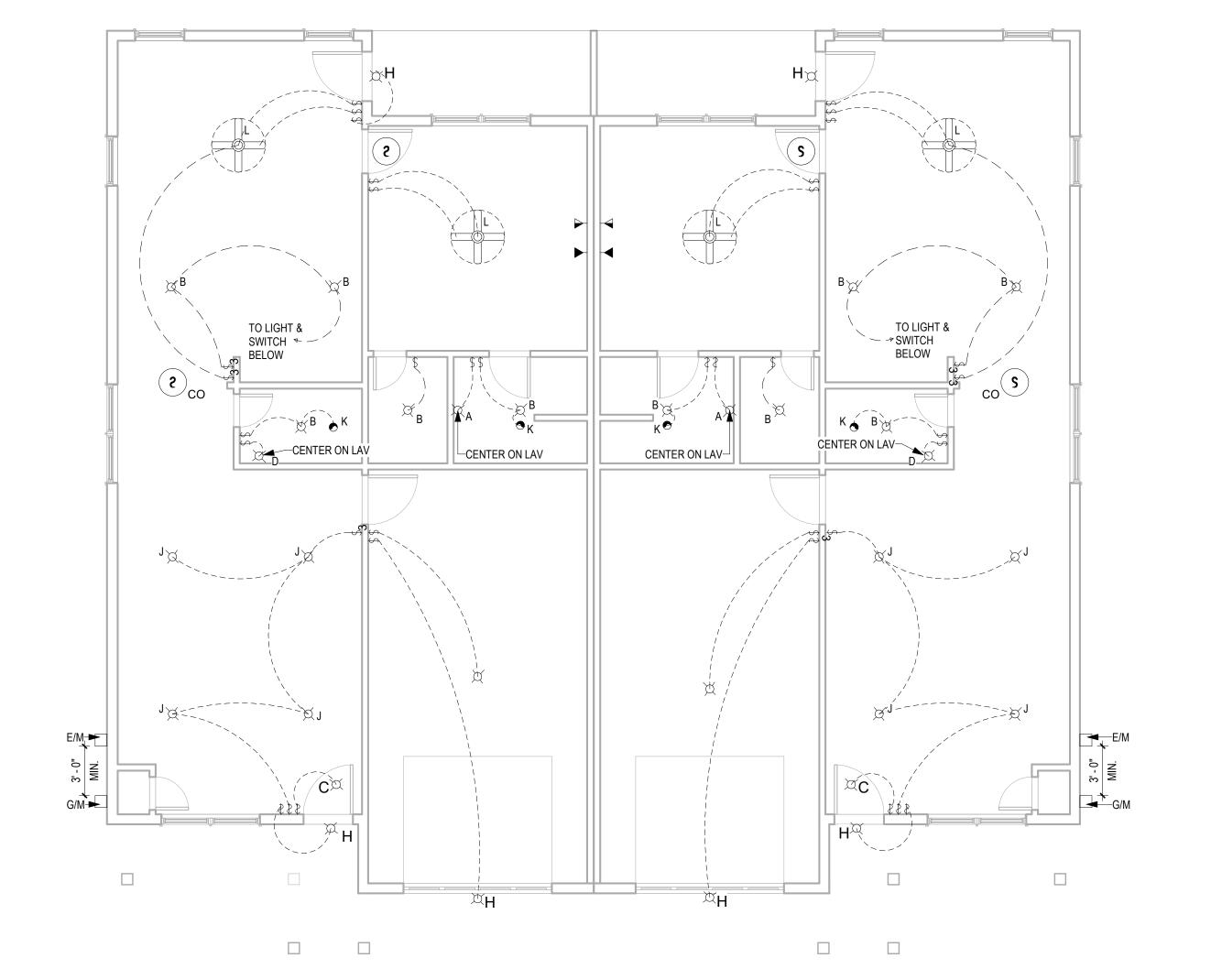


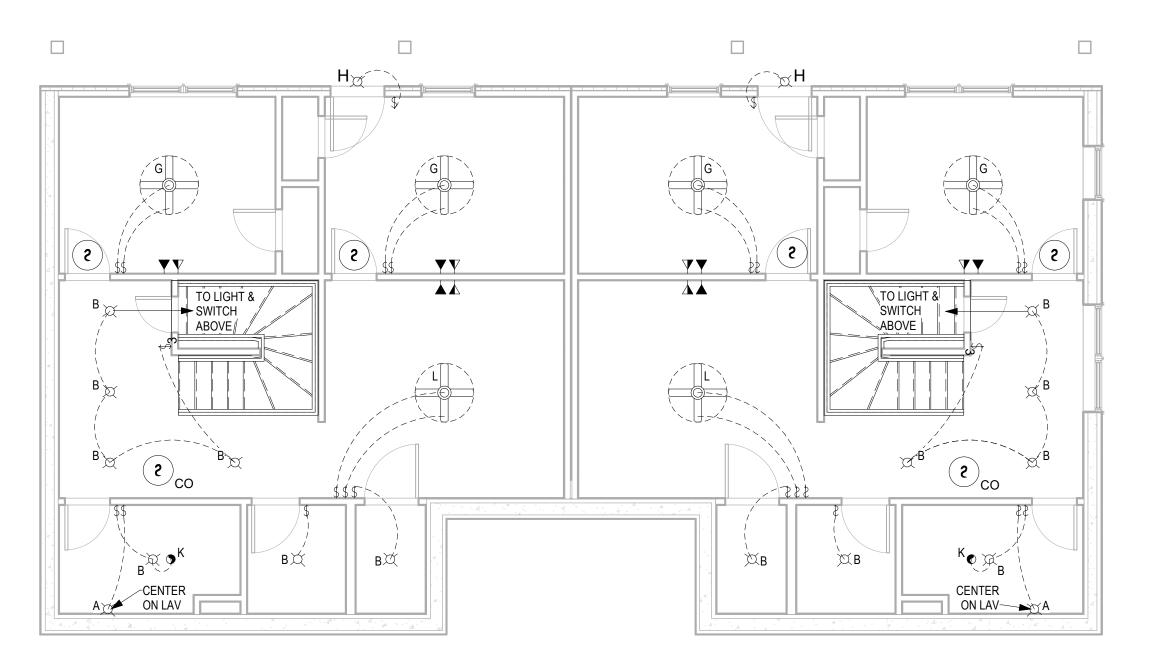
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2017-05 **Project number** 04.28.2020 Checked by

A-103 **ELECTRICAL PLAN**

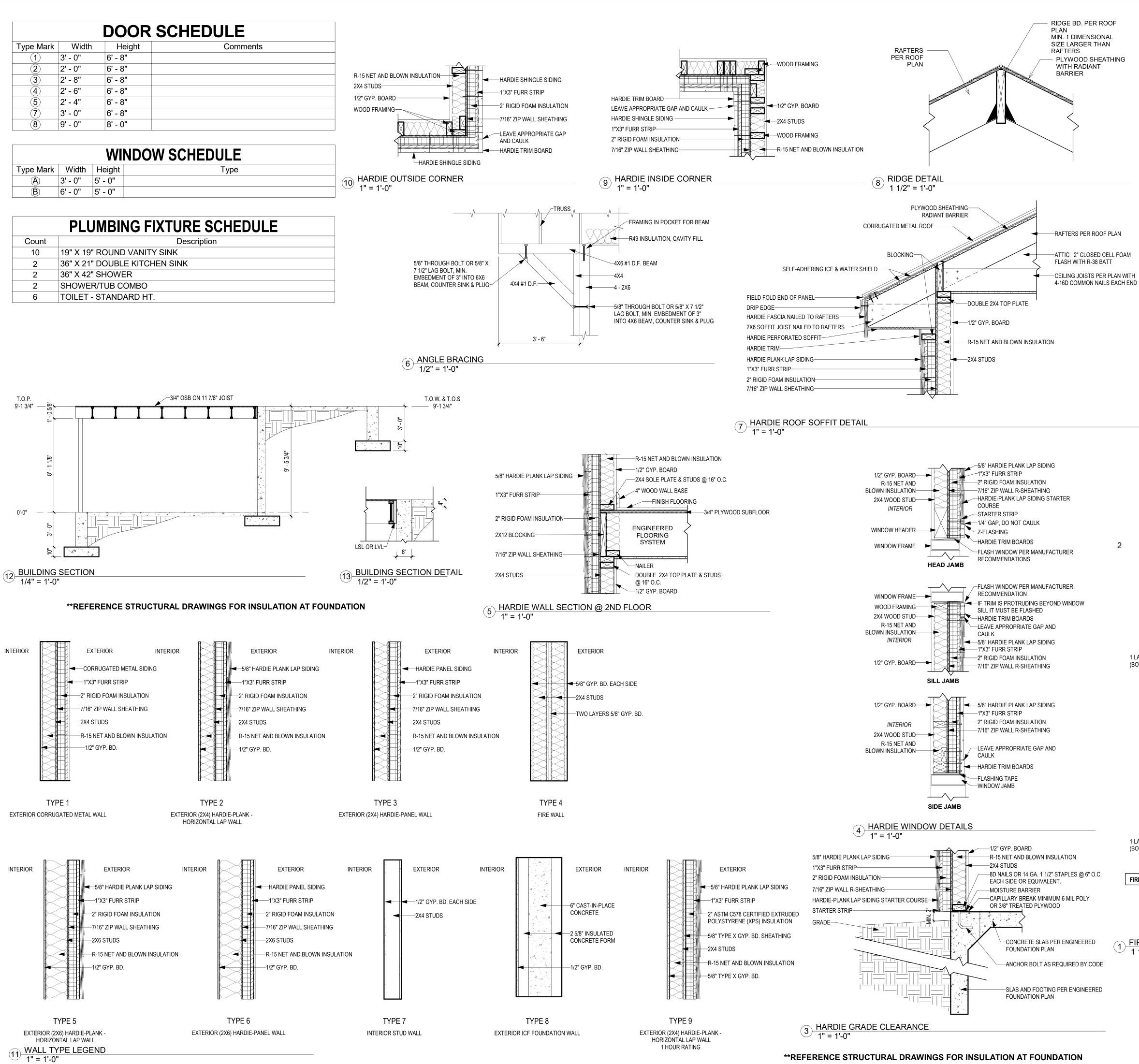
SCALE: As indicated





1 ELECTRICAL PLAN - 1ST FLOOR 3/16" = 1'-0"

Date Description



GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED

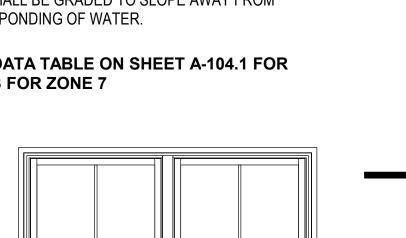
SITE PREPARATION NOTES:

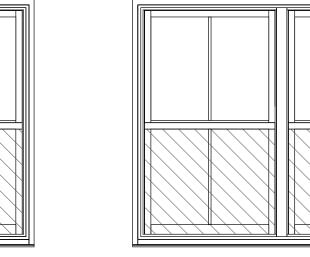
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH
- MINIMAL DELAYS. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR **INSULATION REQUIREMENTS FOR ZONE 7



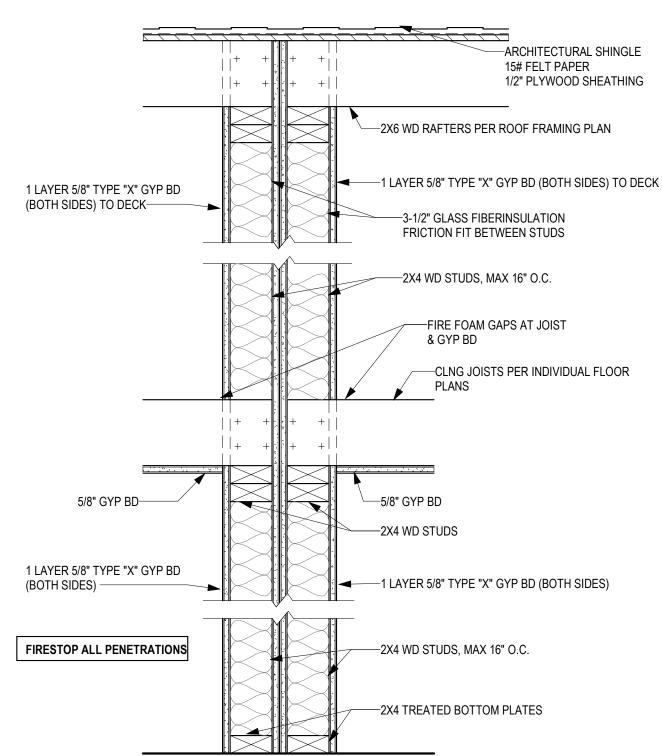


3-0 x 5-0 Double Hung Window

6-0 x 5-0 Twin Double Hung Window

Egress area meets IRC Section 310.1.1 minimum of 5SF.

TYPICAL WINDOW EGRESS 1/2" = 1'-0"



1 FIRE SEPARATION WALL 1 1/2" = 1'-0"

**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

No.	Description	Da



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-05 Project number 04.28.2020 Drawn by Checked by

A-104 CONSTRUCTION **DETAILS**

SCALE:

As indicated

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING Fi-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d R-VALU E & DEPTH	SPACE ^G WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed F-value of the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.



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2017-05 **Project number** 04.28.2020 Checked by

A-104.1

PRESCRIPTIVE TABLE

SCALE:

No.	Description	Date

13



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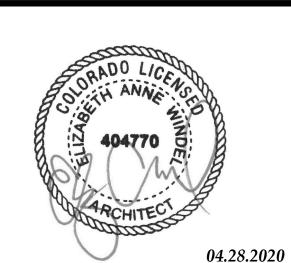
207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

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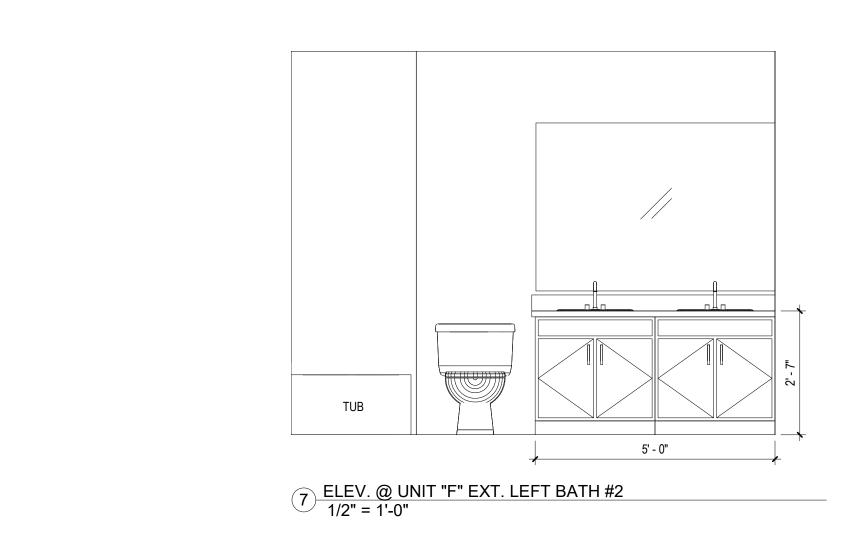
2017-05 04.28.2020

A-105

CABINET LAYOUT & **ELEVATIONS**

SCALE:

Checked by



1' - 0"

2' - 0"

ELEV. @ UNIT "F" EXT. LEFT ISLAND - VIEW 2

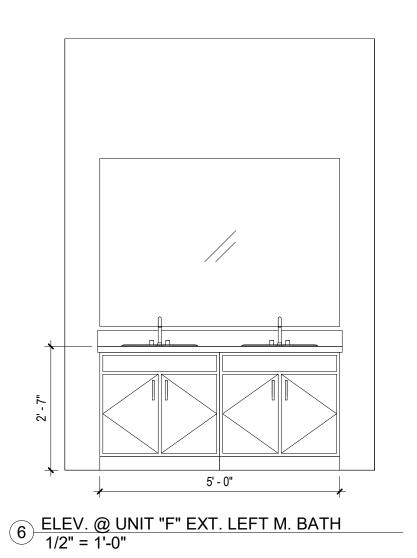
1/2" = 1'-0"

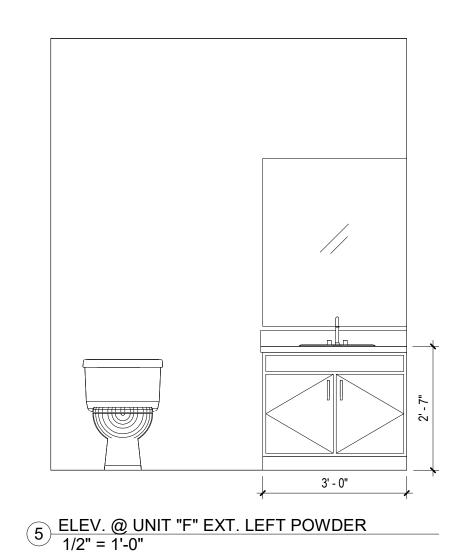
3' - 7"

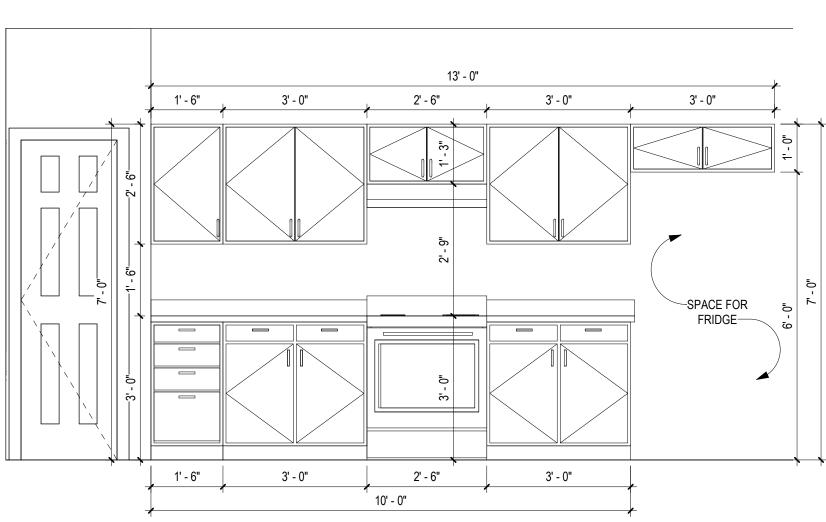
7' - 7"

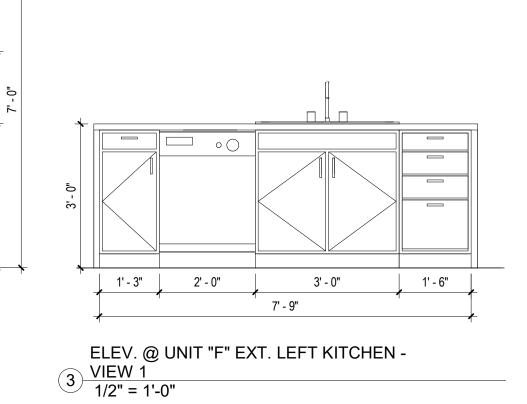
2' - 0"

6" PLUMBING WALL









ELEV. @ UNIT "F" EXT. LEFT ISLAND - VIEW 1
1/2" = 1'-0"

**MIRROR CABINET ELEVATIONS FOR UNIT "F" EXT. RIGHT KITCHEN CABINETS

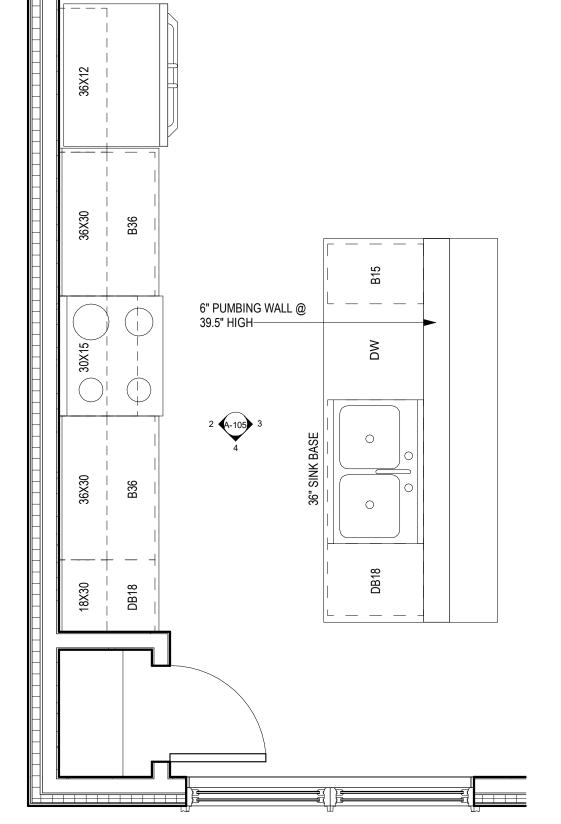
KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

BATHROOM VANITIES

VANITY CABINETS WILL BE 30" HIGH

COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN



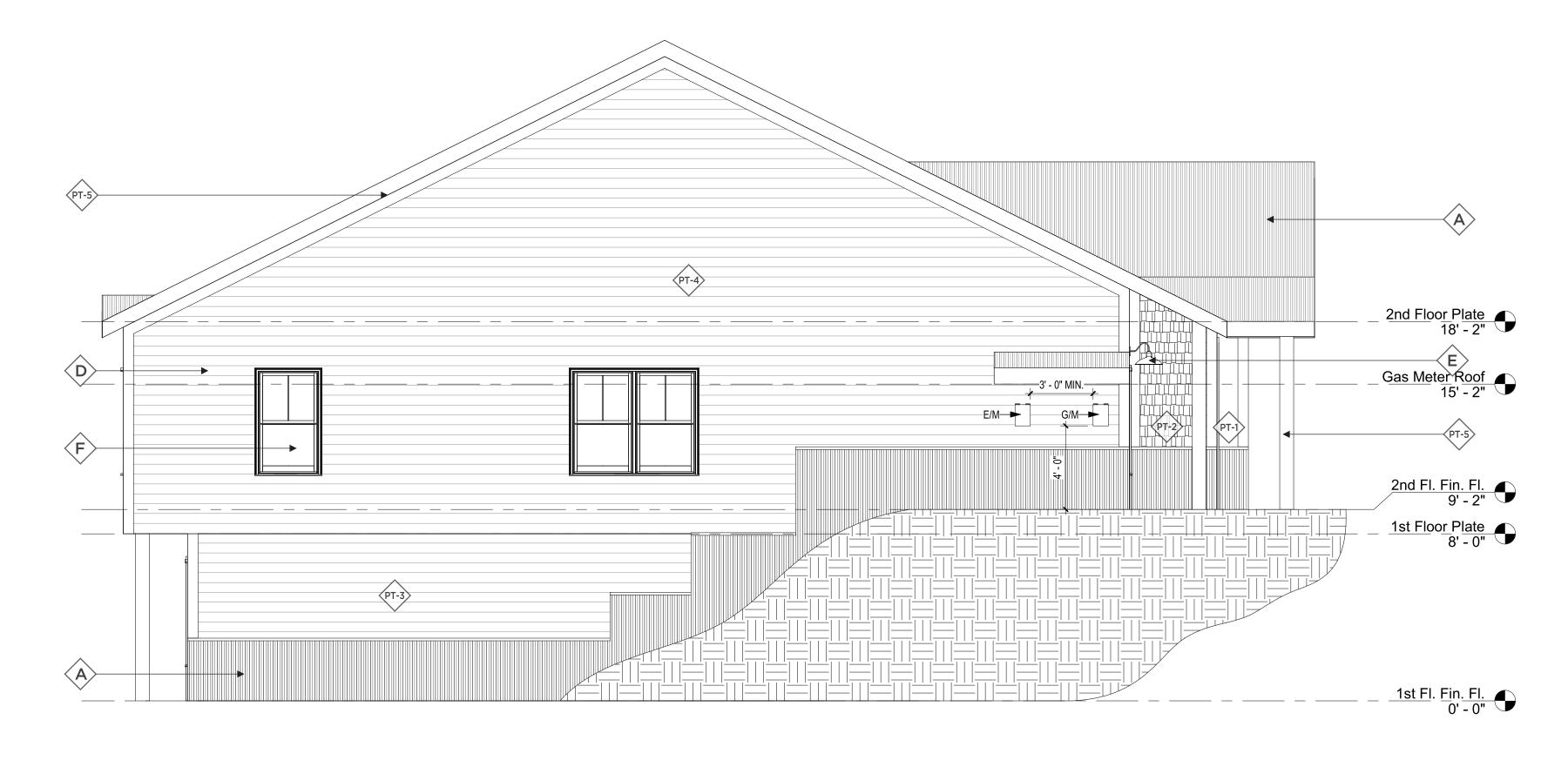
Date Description

ENLARGED KITCHEN @ UNIT "F" EXT.

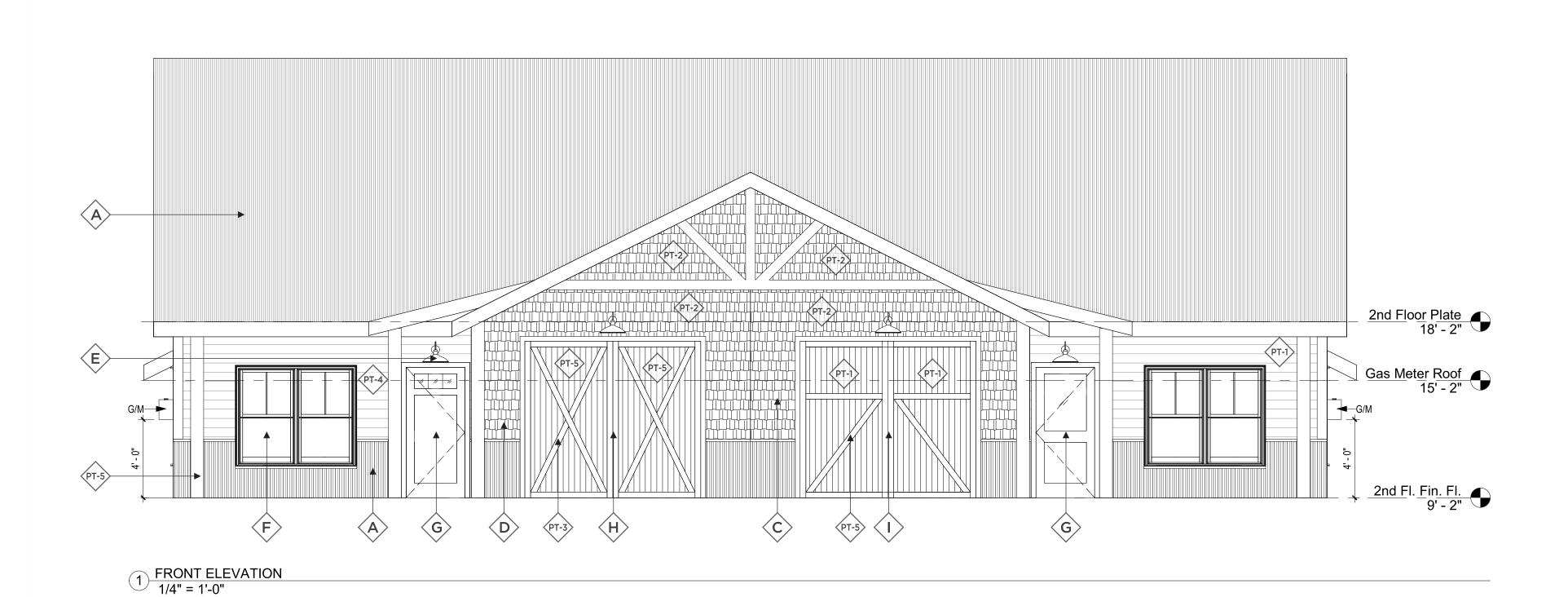
1 LEFT

1/2" = 1'-0"

As indicated



2 LEFT SIDE ELEVATION 1/4" = 1'-0"



MATERIALS A EXTERIOR CORRUGATED PANEL G EXTERIOR DOOR Manufacturer: Metal Sales Manufacturer: Therma-Tru Color: Silver Color: Vary Model: SFGEM2115Z30LB Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height **Size:** 36"x 80" GARAGE DOOR B DECK RAILING Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108 Manufacturer: Deckorators Color: Black Style: Classic Aluminum Size: 8'x3' panels GARAGE DOOR Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139 C SHAKE SIDING Manufacturer: Allura Color: Vary Style: Straight Edge Size: 12"x48", 5" Exposure PT-1 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132 D LAP SIDING PT-2 EXTERIOR PAINT Manufacturer: Allura Color: Vary Style: Traditional Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025 PT-3 EXTERIOR PAINT E EXTERIOR SCONCE Manufacturer: Sherwin Williams Color: Urban Putty Color ID: SW 7532 Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off Size: 17" x 12" x 11" PT-4 EXTERIOR PAINT Manufacturer: Sherwin Williams Color: Granite Peak Color ID: SW 6250 F EXTERIOR WINDOW PT-5 TRIM COLOR **Manufacturer:** Synergy Color: White **Manufacturer:** Sherwin Williams **Color:** Urban Bronze **Color ID:** SW 7048

FRONT ELEVATION BLDG HT. -LEFT ELEVATION BLDG HT. -REAR ELEVATION BLDG HT. -RIGHT ELEVATION BLDG HT. -TOTAL -BUILDING HT. -

22'-06" 27'-01" 31'-08" 27'-01" 108'-04" 27'-01"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

ARCHITECTS

Southern Design Group, LLC

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CONSULTANTS:

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-05 Project number 04.28.2020 Date MML / IPT EAW Checked by

A-201 EXTERIOR

ELEVATIONS

1/4" = 1'-0"

SCALE:

Date

Description

MATERIALS A EXTERIOR CORRUGATED PANEL G EXTERIOR DOOR Manufacturer: Therma-Tru Manufacturer: Metal Sales Color: Vary Model: SFGEM2115Z30LB Size: 36"x 80" Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height H GARAGE DOOR B DECK RAILING Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108 Manufacturer: Deckorators Color: Black **Style:** Classic Aluminum Size: 8'x3' panels GARAGE DOOR Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139 C SHAKE SIDING Manufacturer: Allura PT-1 EXTERIOR PAINT Color: Vary Style: Straight Edge Size: 12"x48", 5" Exposure Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132 D LAP SIDING PT-2 EXTERIOR PAINT Manufacturer: Allura Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025 Color: Vary **Style:** Traditional

E EXTERIOR SCONCE

Size: 17" × 12" × 11"

F EXTERIOR WINDOW

Color: White

Manufacturer: Synergy

Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off

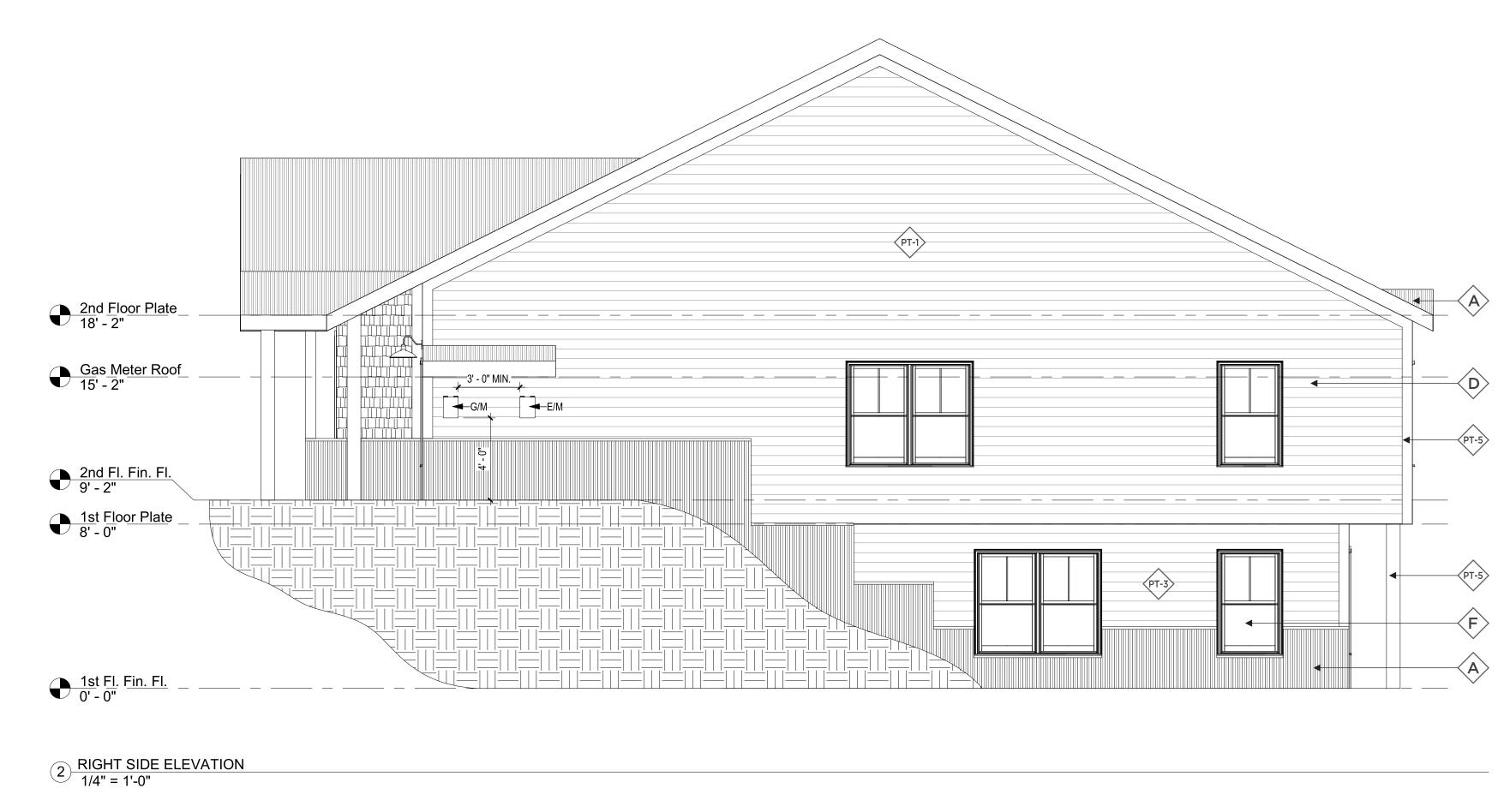


PT-3 EXTERIOR PAINT

PT-4 EXTERIOR PAINT

PT-5 TRIM COLOR

Color: Urban Bronze Color ID: SW 7048





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SCALE:

A-202 EXTERIOR **ELEVATIONS**

1/4" = 1'-0"

2017-05

04.28.2020 MML / IPT

Date Description



**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #6 - UNITS "B" & "C" 3 - BEDROOM PLANS LOTS 11-14



ABBREVIATI	MATERIAL INDICATION				
ABV ABOVE ACC ACCESSIBLE ACOUST ACOUSTICAL ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AEWC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE WINNAL B BEY BEYOND BD BOARD BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BENCH MARK BO BY OTHERS BOT BOTTOM (OF) BRG BEARING BRKT BRACKET BSMT BASEMENT BTWN BETWEEN BUR BUILT UP ROOFING C CAST IRON CFM CUBIC FEET PER MINUTE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLR CLEAR CMP CORRUGATE METAL PIPE CO CLEANOUT CONC CONCRETE CONN CONRECTION CONT CONTROLON CONTROLON CONT CONTROLON CONTROL	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR F FA FIRE ALARM FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEB FIRE EXTINGUISHER FEB FIRE EXTINGUISHER FEB FIRE EXTINGUISHER FEB FIRE HOSE FHC FIRE HOSE CABINET FIN FINISH FIXT FIXTURE FLR FLOOR FLASH FLASHING FLEX FLEXIBLE FT FOOT FTG FOOTING G GA GAUGE GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GEN GENERAL GFRC GLASS FIBER REINFORCED CONCRETE GL GLASS GLZ TILE GLAZED TILE GPM GALLONS/MINUTE GR GRADE GYP BD GYPSUM BOARD	H HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDWR HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT M MAS MASONRY MAS BLK MASONRY BLOCK MATL MATERIAL MAX MAXIMUM MB MARKER BOARD MC MISC. CHANNEL MECH MECHANICAL MFR MANUFACTURE(R) MH MANHOLE MIN MINIMUM MO MASONRY OPENING MID MOUNTED MTG HT MOUNTING HEIGHT MTL METAL N N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAAR PARALLEL PARTN PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTD PAINTED PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER S S SOUTH SCHED SCHEDULE SCR SHOWER CURTAIN ROD SD SOAP DISPENSER SECT SECTION SH SOME SEAMLESS SND SANITARY NAPKIN DISPENSER SPCT SPECIAL COATING SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS SCAMLESS STEAL STD STANDARD STL STEEL STOR STORAGE STRUCT STRUCTURAL	SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/W WITH W/O WITHOUT	EARTH/ PREPARED SUBGRADE GRAVEL, STONE CONCRETE CONCRETE MASONRY UNIT STONE BRICK SAND, GROUT, MORTAR IRON, STEEL ALUMINUM SHIM WOOD BLOCKING CERAMIC TILE CARPET ACOUSTIC PANEL CEILING SYSTEM GYPSUM WALLBOARD PLASTER FINISHED WOOD RIGID INSULATION BATT INSULATION TERRAZZO
				<u> </u>	

ARCHITECTS

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100% COMPLETE CONSTRUCTION

2017-5

COVER SHEET

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABL BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY

KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE. 3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE

BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. 5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR

OR BY A QUALIFIED, LICENSED ENGINEER. 5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS... ...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET

ARDMORE, OK 73401

PROJECT TEAM

Lance Windel PHONE: 580.226.0416

ARCHITECT

SOUTHERN DESIGN GROUP, LLC 207 CADDO STREET

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Elizabeth A. Windel, AIA PHONE: 580.798.0393

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Lance Windel 580.226.0416

STRUCTURAL ENGINEER

400 N. MAIN STREET GUNNISON, CO 81230

PHONE:

Bob Williams, PE 970.641.2499

A-100 PLOT PLAN BUILDING #6 - 1ST FLOOR PLANS BUILDING #6 - 2ND FLOOR PLANS A-101.1 UNIT "B" PLANS A-101.3 UNIT "C" PLANS A-102 ROOF PLAN A-103 BUILDING #6 - ELECTRICAL PLAN 1ST FLOOR BUILDING #6 - ELECTRICAL PLAN 2ND FLOOR CONSTRUCTION DETAILS PRESCRIPTIVE TABLE A-104.1 CABINET LAYOUT & ELEVATIONS **EXTERIOR ELEVATIONS** A-202 **EXTERIOR ELEVATIONS**

COVER SHEET

SHEET INDEX

UNIT PLANS SQUARE FOOTAGE PER UNIT UNIT "B" (CONDITIONED) 3-BEDROOM

TOTAL (CONDITIONED) -(UNCONDITIONED)

TOTAL (UNCONDITIONED) - 317 S UNIT "C" (CONDITIONED)

3-BFDROOM 1ST FLOOR -2ND FLOOR -TOTAL (CONDITIONED) - 1,499 SF

(UNCONDITIONED) TOTAL (UNCONDITIONED) - 316 SF 1ST FLOOR -TOTAL (CONDITIONED) - 5,923 SF (UNCONDITIONED)

BUILDING PLANS SQUARE FOOTAGE

BUILDING #7 (CONDITIONED)

Description

TOTAL (UNCONDITIONED) - 1,266 SF

DOCUMENTS

04.28.2020 Checked by

Date



Southern Design Group, LLC
207 Caddo St.
Ardmore, OK 73401
580.798.0373 (PH)
www.sdg-architects.com
Architect of Record: Elizabeth Windel, AIA
CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

-	
Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW
onconcu. Dy	

A-100 PLOT PLAN

SCALE:

As indicated ু

LINE#	DIRECTION	LENGTH
L1	N74°52'25"W	4.50'
L2	N55°00'28"W	4.32'
L3	N55°00'28"W	6.84'
L4	N74°52'25"W	3.67'
L5	N88°31'08"W	10.36'
L6	S46°41'23"W	7.07'
L7	S30°47'45"E	5.48'

LINE TABLE

CURVE TABLE

			CURVE TAE	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	TON CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

No.	Description	Date

S74°52'25"E	
28.99'	
3. J. 15.80,	`
576°52'43"E	
STOP STOP	
\sim 1	
C_{36} \approx 10^{-1} \approx 10^{-1}	i'a
17.71 1,837 SF UNIT "C" UNIT "C" UNIT "	
30.13: CONCRETE GARAGE GARAGE GARAGE GARAGE GARAGE RH GARAGE RH GARAGE	
DRIVEWAY OF CONCRETE DRIVEWAY	
10T 13 2.152 a	
DEER CREEK CIRCLE CONCRETE DRIVEWAY LOT 12 LOT 12 GARAGE CONCRETE DRIVEWAY LOT 11 CONCRETE DRIVEWAY	
CACAGE 12' WIDE CONCRETE DRIVEN GARAGE GARAGE GARAGE 14'-17" GARAGE G	EWALL
CARCLE DRIVEWAY LOT 11 CONCRETE DRIVEWAY 2 352 - DRIVEWAY	=
THOUR FIRE	EWALL
83.88	
C37	2
	-
	•
C ₃ LOT 10 2,082 SF	
26.41'	-

1 PLOT PLAN 1" = 10'-0"

111' - 5" 27' - 8 1/2" 27' - 8 1/2" 28' - 0" 28' - 0" 3' - 6" 3' - 6" 3' - 2 1/2" 4' - 6 1/2" 13' - 0" 19' - 9 1/2" 8' - 2 1/2" 19' - 9 1/2" 4' - 7" 13' - 7" 8' - 2 1/2" 3' - 2 1/2" 3' - 6" 3' - 6" 9' - 7" 10' - 0 1/2" 3' - 6" 3' - 6" 2' - 9" 11' - 11 1/2" 11' - 11 1/2" LINE OF 2ND FLOOR ABOVE 3' - 0" x 5' - 0" 6' - 0" **x** 5' - 0" **Breakfast** 162 SF **Breakfast** 142 SF -48" HIGH WALL WITH 48" HIGH WALL WITH-WOOD CAP WOOD CAP **Family Room** 265 SF Family Room 261 SF HVAC © 3' - 0" MIN. LINE OF 2ND FLOOR ABOVE LINE OF 2ND FLOOR ABOVE 3' - 0" x 5' - 0" UNIT "B" UNIT "C" Powder 6' - 0" 🗴 5' - 0" Utility Breakfast 74 SF **Breakfast** -48" HIGH WALL WITH 48" HIGH WALL WITH WOOD CAP WOOD CAP **Family Room** 353 SF **Family Room** 339 SF Powder **UNIT "B"** Utility 38 SF 27' - 8 1/2" 28' - 0" 28' - 0" 27' - 8 1/2" 111' - 5"

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- 1. ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
 GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE).
- 3. GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID COR 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
 GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS,
- TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
 4. SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN
- DOUBLE FRAMED WALL.

 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED
- TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- . SEE COVER SHEET FOR GENERAL NOTES.
- 2. FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
 ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- 5. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 6. ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL,
- ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWINGS.
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE
- 9. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR
- TO COMMENCEMENT OF NEW WORK.
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- 4. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.
 5. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO
- END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.

 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.

 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER
- VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.

 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- 0. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- 1. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- 3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- 5. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- 6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Dat



Southern Design Group, LLC

207 Caddo St.
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Architect of Record: Elizabeth Windel, AIA

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CONSULTANTS:

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Subdivision Cown of Mount Crested Butte, Colorado

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100% COMPLETE CONSTRUCTION DOCUMENTS

Project number 2017-5

Date 04.28.2020

Drawn by MML

Checked by EAW

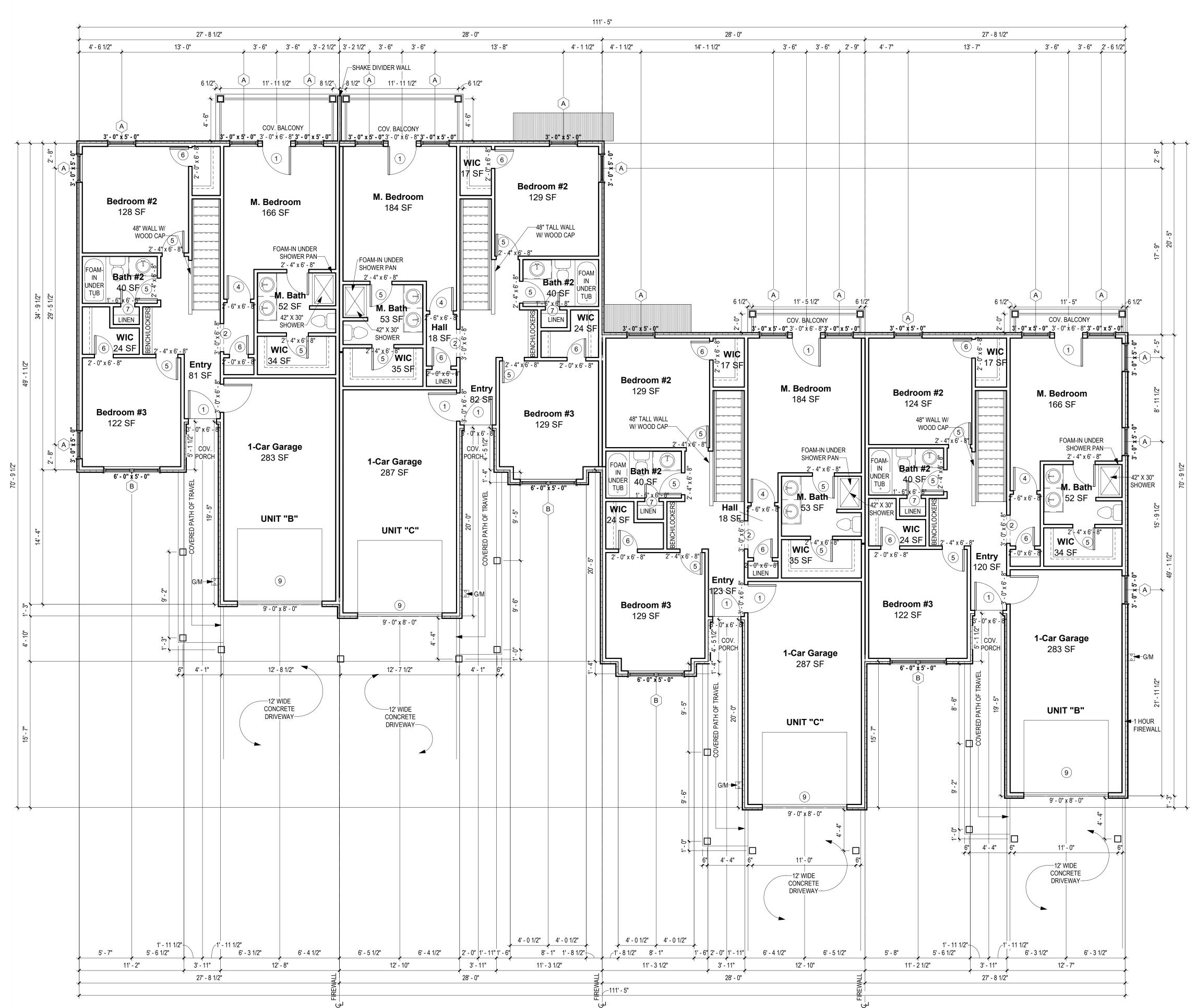
A-101 BUILDING #6 - 1ST FLOOR PLANS

LE: As indicated

1 BUILDING #6 - 1ST FLOOR PLAN 3/16" = 1'-0"

SCALE:

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE



WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE) GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE).
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- TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
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- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING
- BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION
- TO COMMENCEMENT OF NEW WORK.
- OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEF SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO
- END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE
- RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH PIPE ROUTING.

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE
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- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.

•	OCCUPATION OF TECONORIUM OF THE MEDITAL EQUITION E
	NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL
	CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No).	Description	Date



Southern Design Group, LLC

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CONSULTANTS:

STRUCTURAL

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

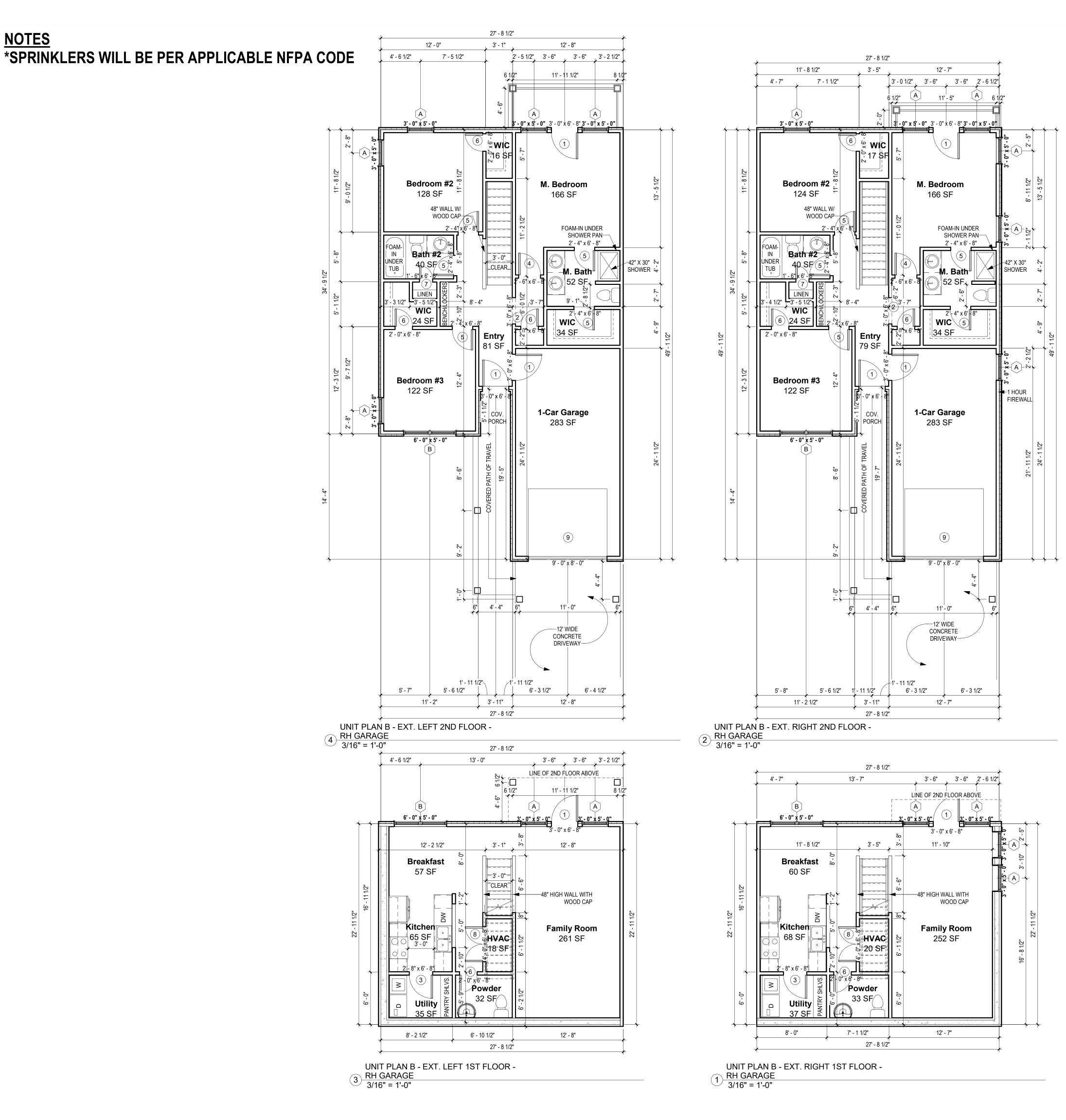
2017-5 04.28.2020 Checked by

A-101.1 BUILDING #6 - 2ND **FLOOR PLANS**

SCALE:

As indicated

1 BUILDING #6 - 2ND FLOOR PLAN 3/16" = 1'-0"



WINDOW INFORMATION:

ALL WINDOW SIZES ARE INDICATED ON PLANS:

- 1. U-VALUES .32-.2
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE)
 GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE).
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.
- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN
- 5. AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 6. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- 1. SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- . ALL WORK NEW UNLESS NOTED OTHERWISE.
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL
- ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- 7. DO NOT SCALE DRAWING
- 8. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION
- 10. REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL DRAWINGS.
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 3. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT,
- AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR.

 ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS.
- 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS.
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- RESPONSIBLE FOR PENETRATION.

 PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH
- 20. PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- UNITS.
 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- 22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE 2015 IRC.
 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.
- 24. CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION RS15 OF THE

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE
 POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR
 PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO
 INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT
 WITH PIPE ROUTING.
- 2. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS
- INDICATED ON ARCHITECTURAL PLANS.3. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- 4. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- 6. NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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wn of Mount Crested Butte, Colorado UILDING #6 NITS "B" & "C"

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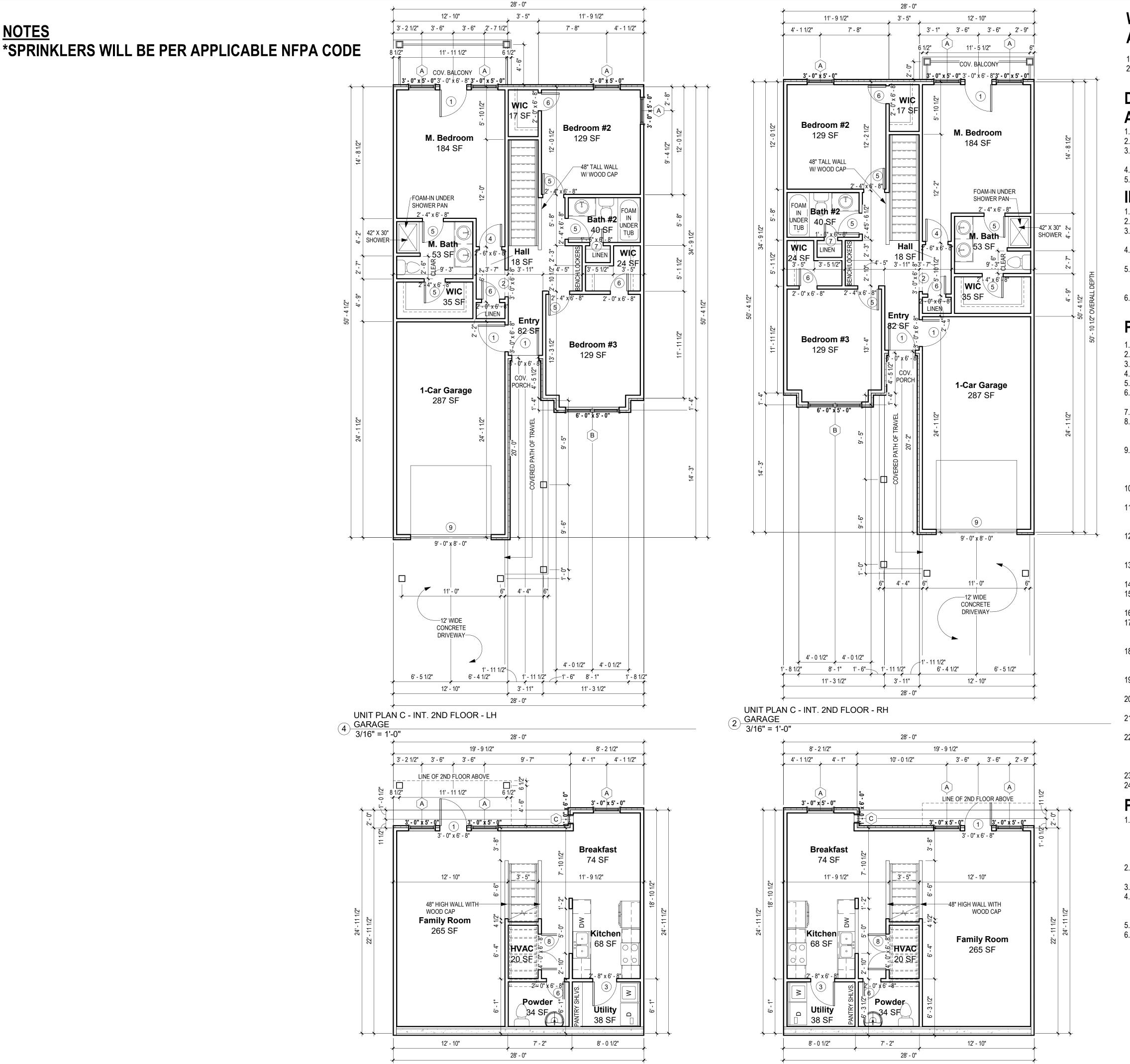
100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101.2 UNIT "B" PLANS

As indicated

SCALE: As indica



UNIT PLAN C - INT. RIGHT 1ST FLOOR -

1 RH GARAGE 3/16" = 1'-0"

UNIT PLAN C - INT. LEFT 1ST FLOOR - LH

3 GARAGE 3/16" = 1'-0"

NOTES

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

DOOR INFORMATION: ALL DOOR SIZES ARE INDICATED ON PLANS:

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW CORE) GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE)
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

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- SOUND DAMPENING: AT PARTY WALLS ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL,
- ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION
- OF ACTUAL GRADE WITH CIVIL DRAWINGS PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT, WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE.
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING CONTRACTOR
- END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS. 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER
- VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL OUTLETS
- 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
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PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS
- INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



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CONSULTANTS:

STRUCTURAL

CO License #: 404770

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2017-5 **Project number** 04.28.2020 **EAW** Checked by

> A-101.3 UNIT "C" PLANS

> > As indicated

SCALE:

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
 ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- 3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE. 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.
 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR

ELEVATIONS (A-201)



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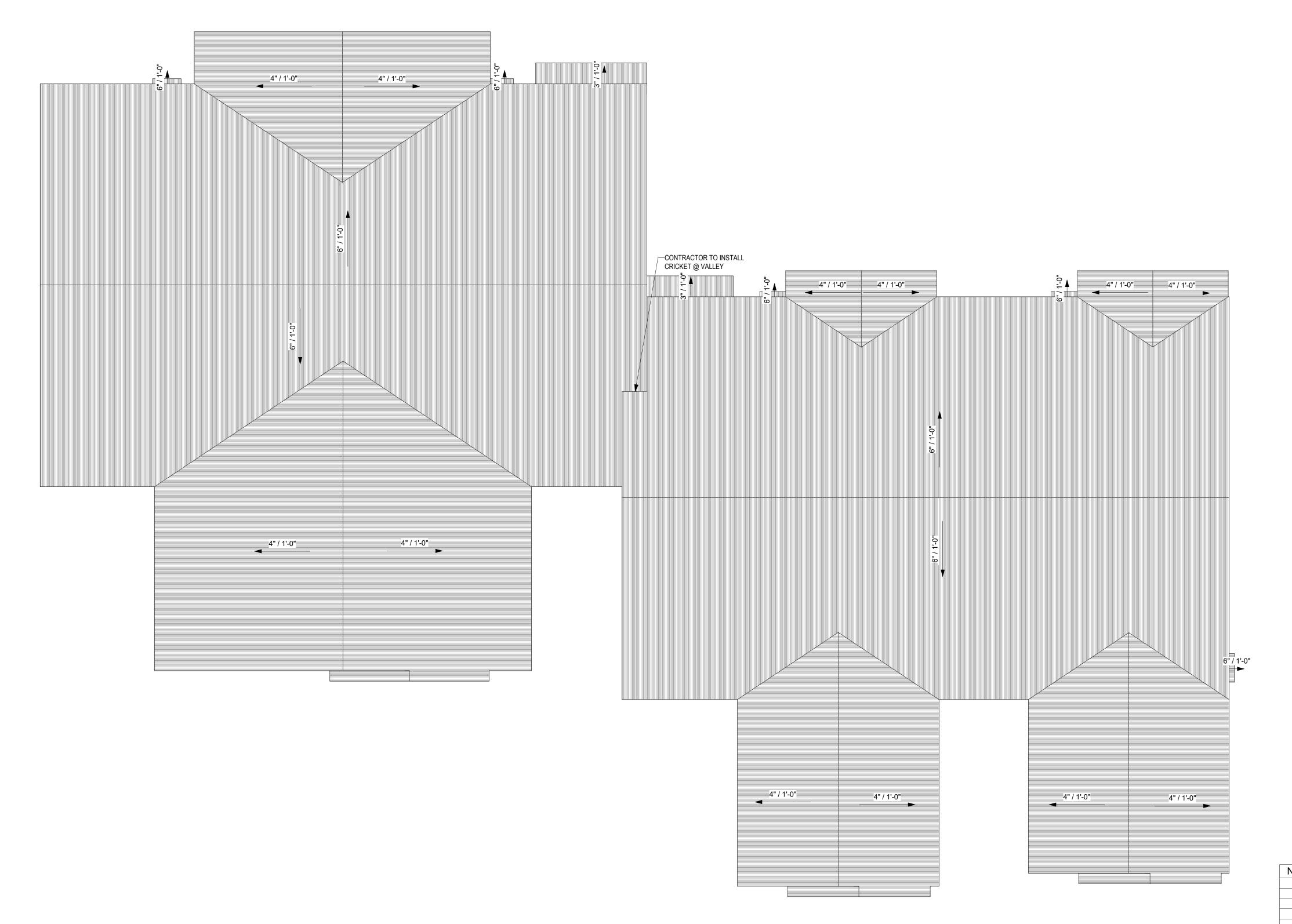


100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 04.28.2020 Checked by

A-102 ROOF PLAN

As indicated



Description

Date

SCALE:

GENERAL ELECTRICAL NOTES:

- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

XA	WALL MOUNT FIXTURE, 36" WIDE	●K BATHROOM EXHAUST FAN
ЖВ	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	A PHONE / DATA
ДC	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	
ΧD	WALL MOUNT FIXTURE, 24" WIDE	▲ CABLE
ΧE	5-LIGHT CHANDELIER	G 52" FAN, WITH LIGHT KIT
ЖF	EXTERIOR FLOODLIGHT	
ЖH	GOOSENECK LIGHT	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,
χJ	RECESSED CAN LIGHT, PROVIDE CFL BULBS	60W MAY PROVIDE CELBULBS



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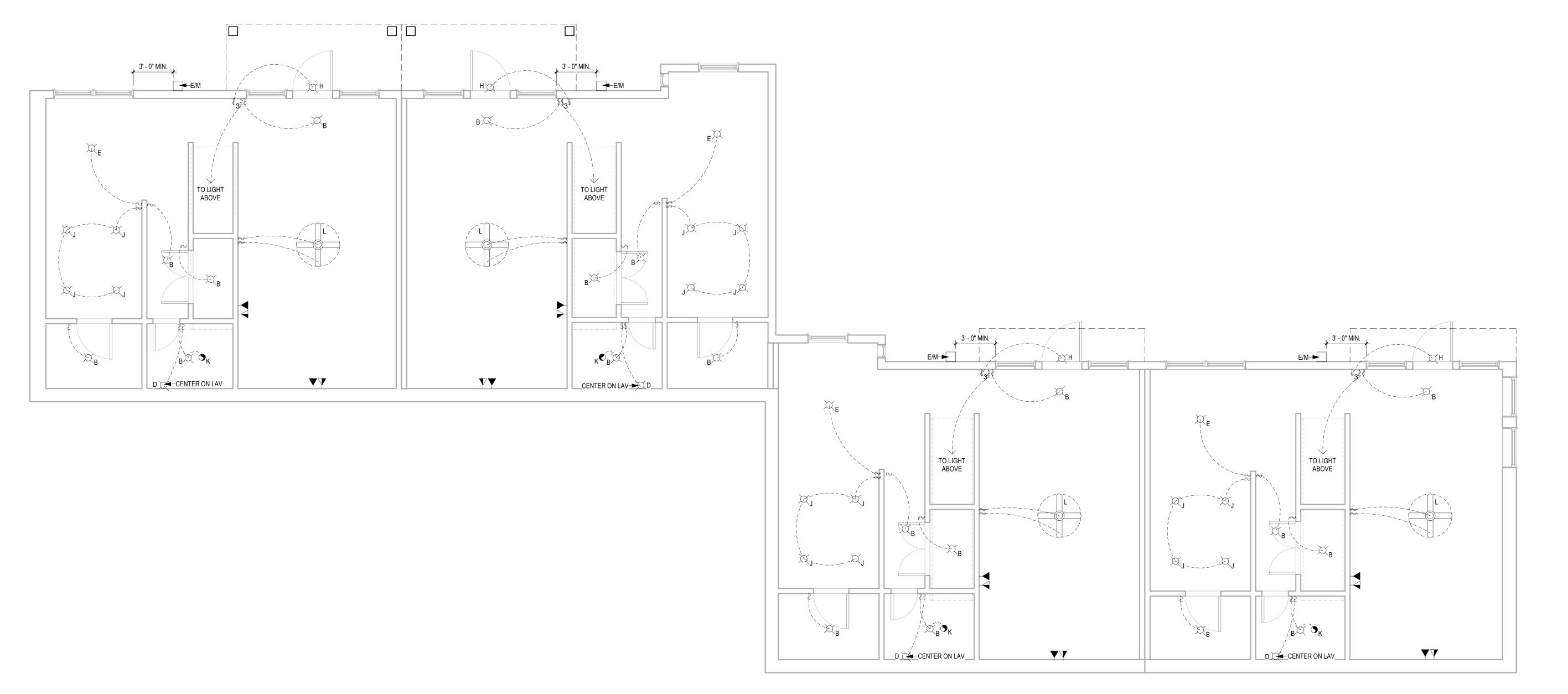
100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 **Project number** 04.28.2020 Checked by

A-103 BUILDING #6 -**ELECTRICAL PLAN** 1ST FLOOR

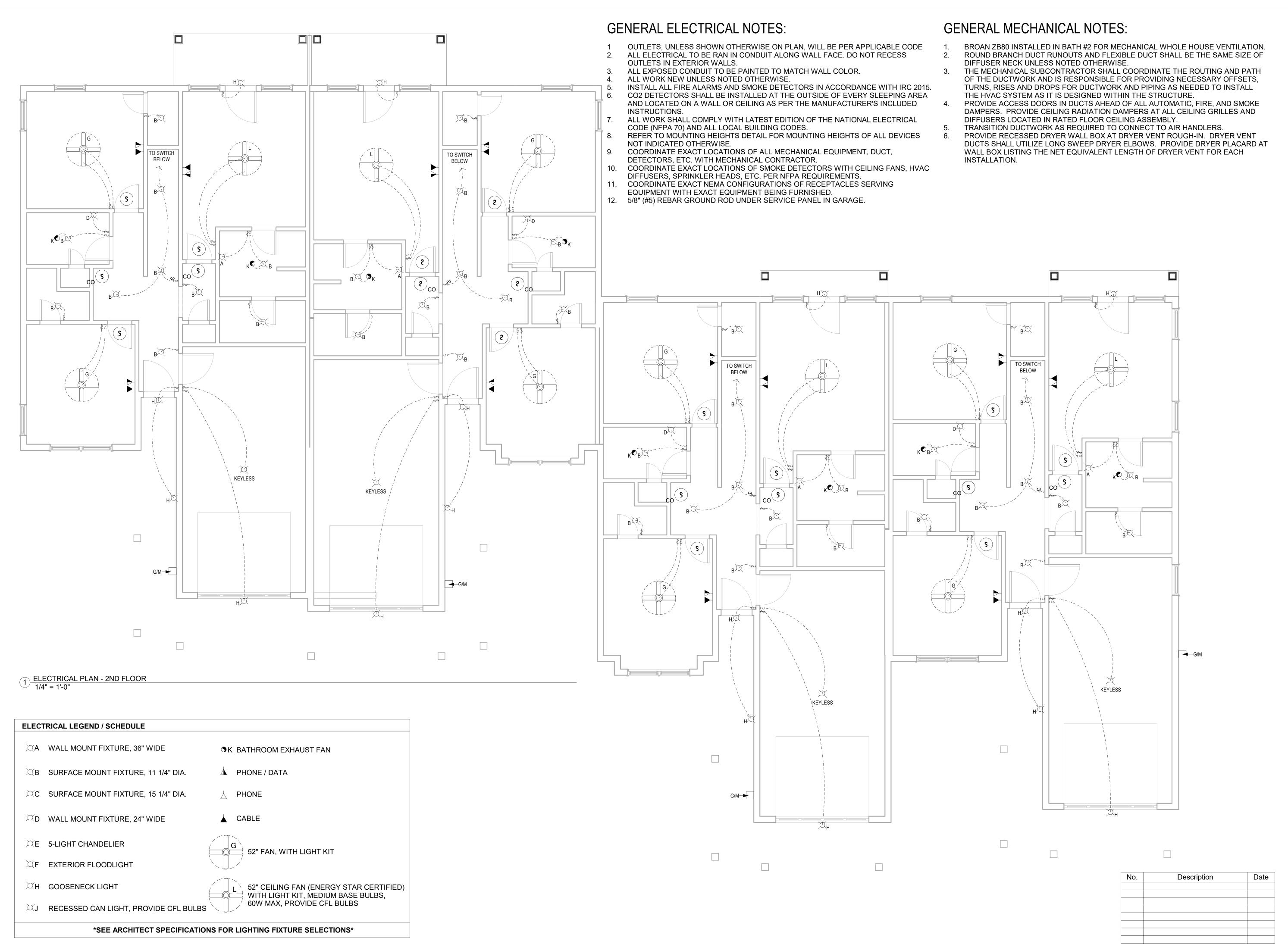
SCALE:

As indicated



1) ELECTRICAL PLAN - 1ST FLOOR 1/4" = 1'-0"

Date Description





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vn of Mount Crested Butte, Colorado UILDING #6 -

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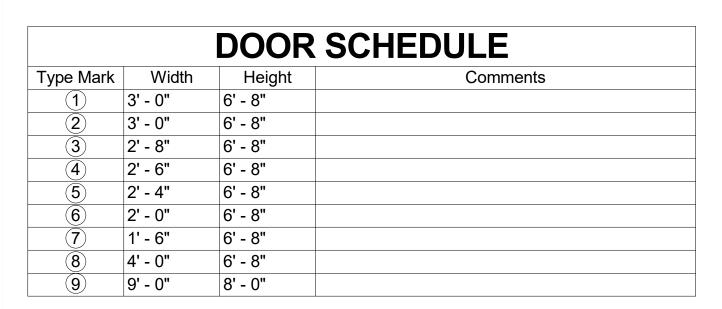
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Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-103.1
BUILDING #6 ELECTRICAL PLAN
2ND FLOOR

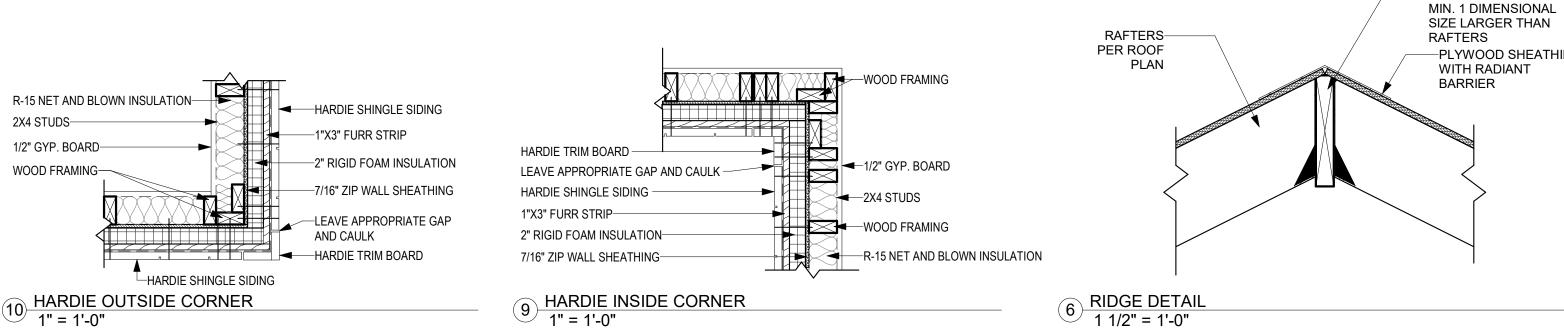
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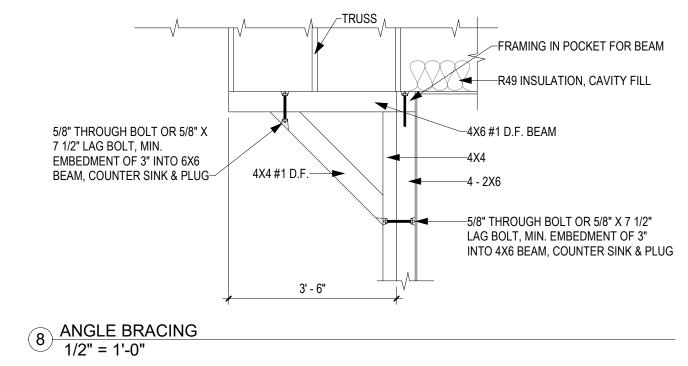
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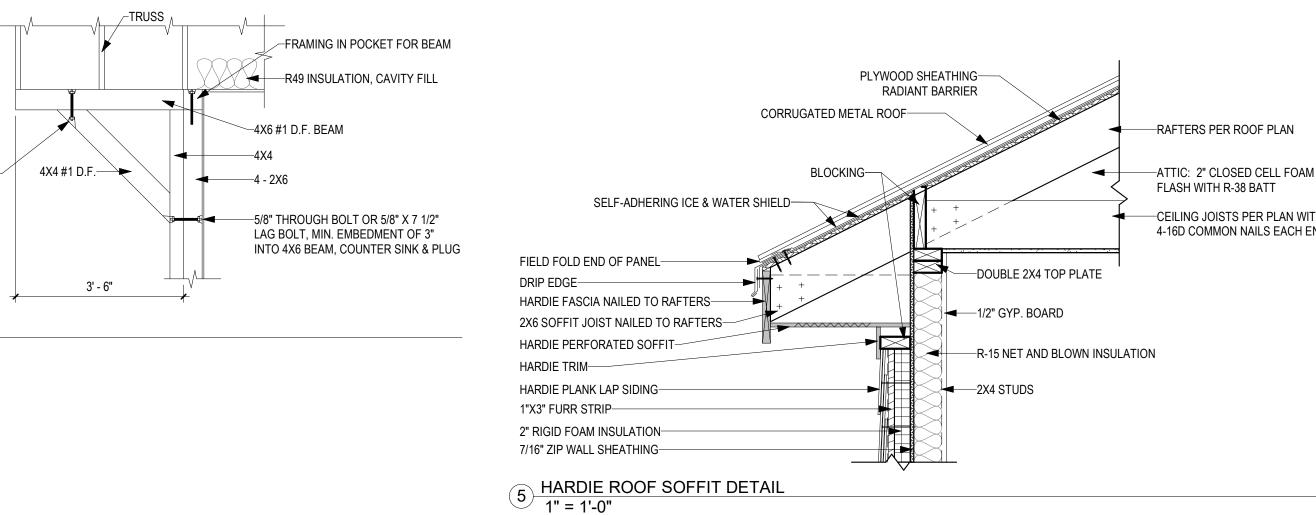


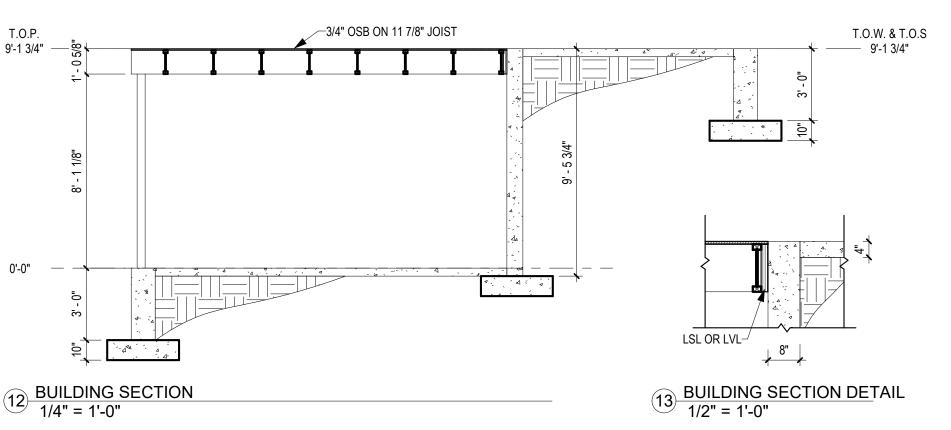
	WINDOW SCHEDULE					
Type Mark	Width	Height	Туре			
A	3' - 0"	5' - 0"				
B	6' - 0"	5' - 0"				
Ĉ	1' - 0"	6' - 0"				

	PLUMBING FIXTURE SCHEDULE					
Count	Description					
4	'CADET PEDESTAL' Basin, Center hole only, 24-1/2" x 19-3/4" x 35" (622mm x 502mm x 889mm) high, vitreous china, sculptured bowl, spacious shelf area, rear overflow, and mounting kit.					
12	19" X 19" ROUND VANITY SINK					
4	36" X 21" DOUBLE KITCHEN SINK					
4	42 X 30 SHOWER					
4	SHOWER/TUB COMBO					
12	TOILET - STANDARD HT.					

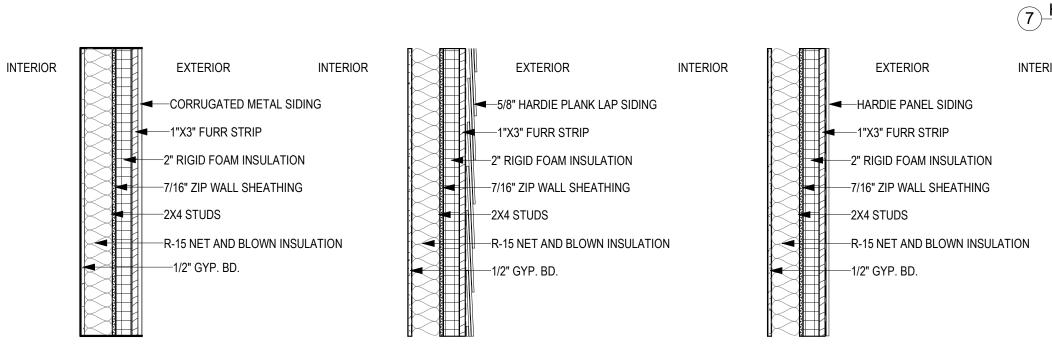








**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION



EXTERIOR

──HARDIE PANEL SIDING

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL SHEATHING

-R-15 NET AND BLOWN INSULATION

■—1"X3" FURR STRIP

-2X6 STUDS

—1/2" GYP. BD.

TYPE 6

EXTERIOR (2X6) HARDIE-PANEL WALL

TYPE 7

INTERIOR STUD WALL

INTERIOR

TYPE 1	TYPE 2	TYPE 3
EXTERIOR CORRUGATED METAL WALL	EXTERIOR (2X4) HARDIE-PLANK - HORIZONTAL LAP WALL	EXTERIOR (2X4) HARDIE-PANEL WALL

INTERIOR

EXTERIOR

—1"X3" FURR STRIP

—2X6 STUDS

----1/2" GYP. BD.

TYPE 5

EXTERIOR (2X6) HARDIE-PLANK -

HORIZONTAL LAP WALL

11 WALL TYPE LEGEND

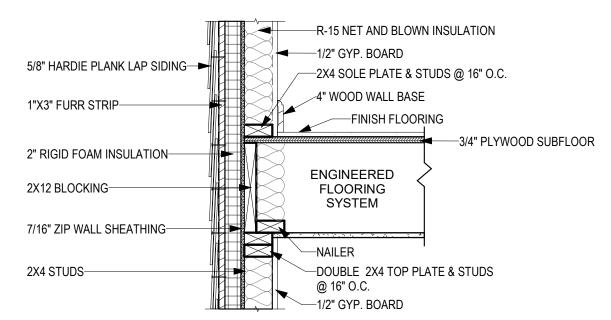
✓ 1" = 1'-0"

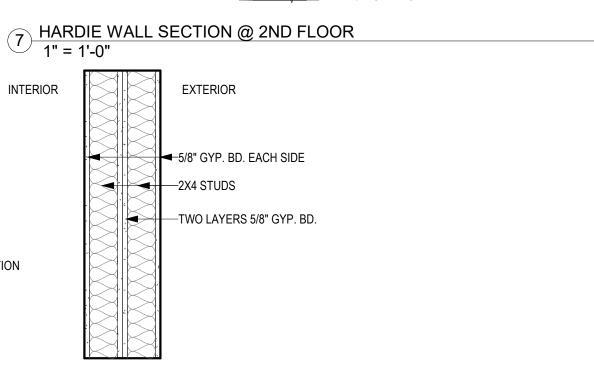
2" RIGID FOAM INSULATION

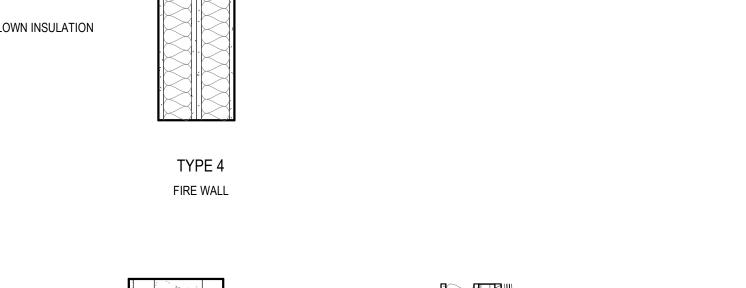
7/16" ZIP WALL SHEATHING

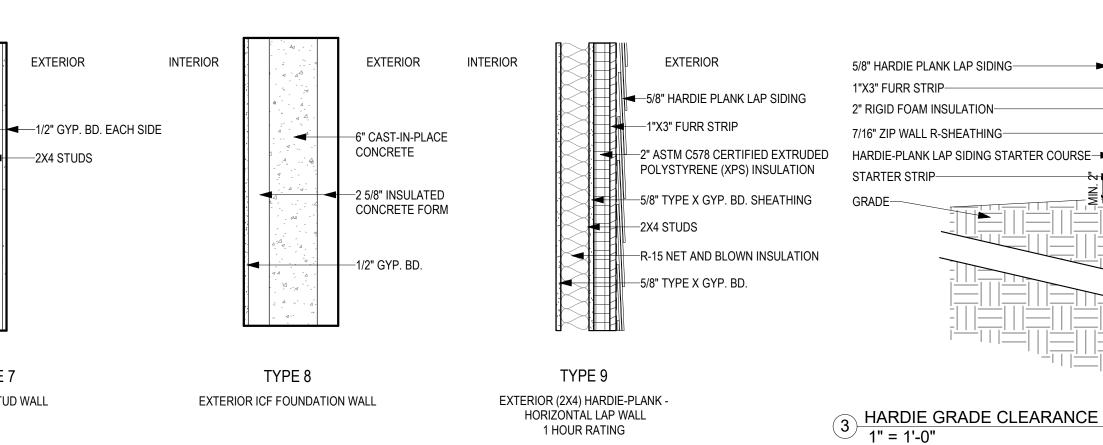
-R-15 NET AND BLOWN INSULATION

INTERIOR

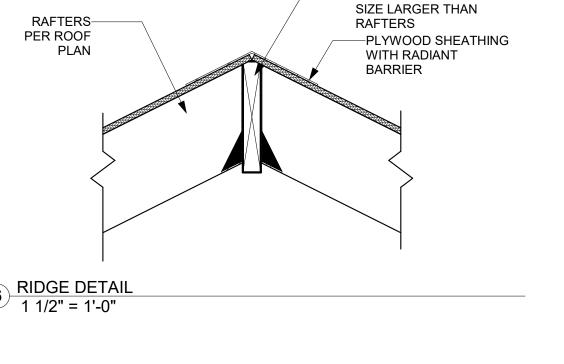




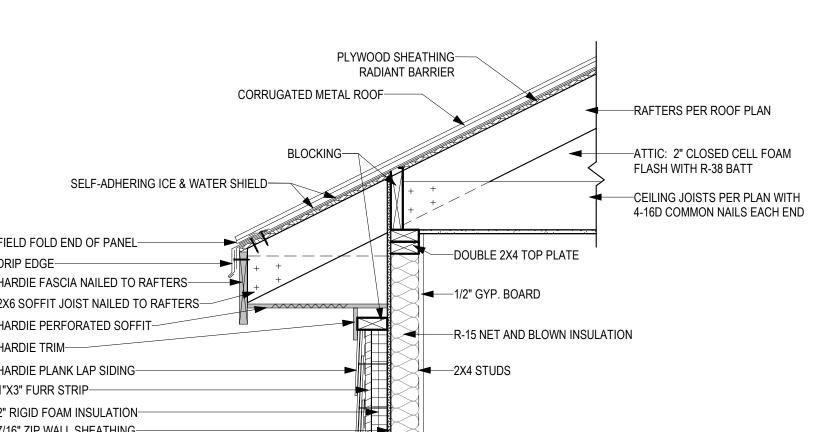




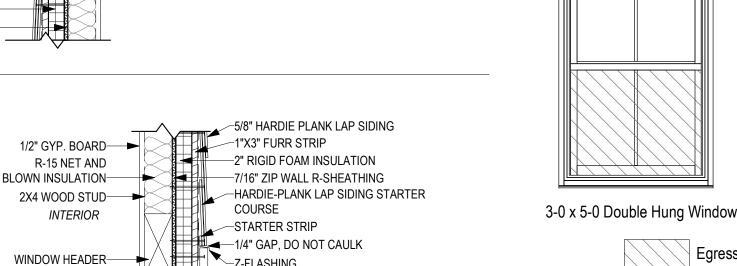
1 HOUR RATING



-RIDGE BD. PER ROOF

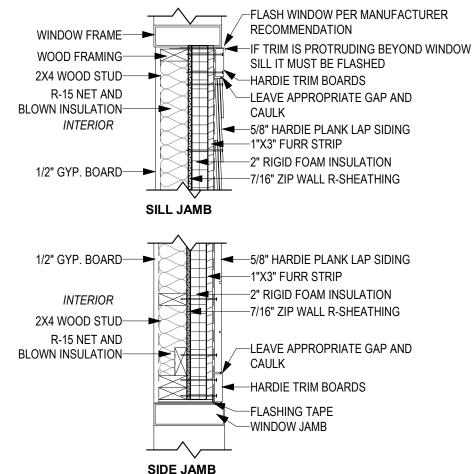


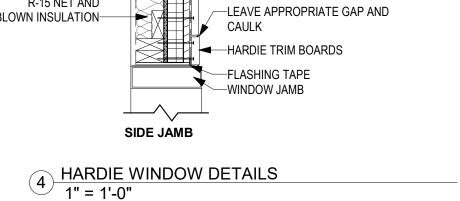
WINDOW FRAME →

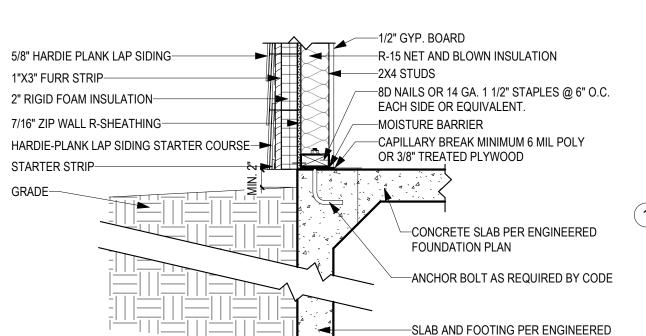


FLASH WINDOW PER MANUFACTURER

RECOMMENDATIONS







**REFERENCE STRUCTURAL DRAWINGS FOR INSULATION AT FOUNDATION

FOUNDATION PLAN

GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

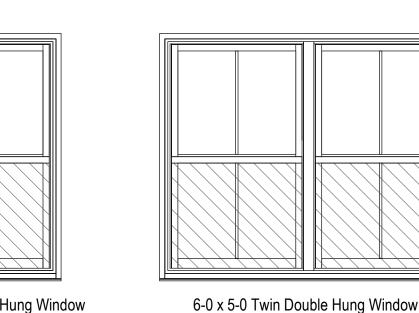
SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.

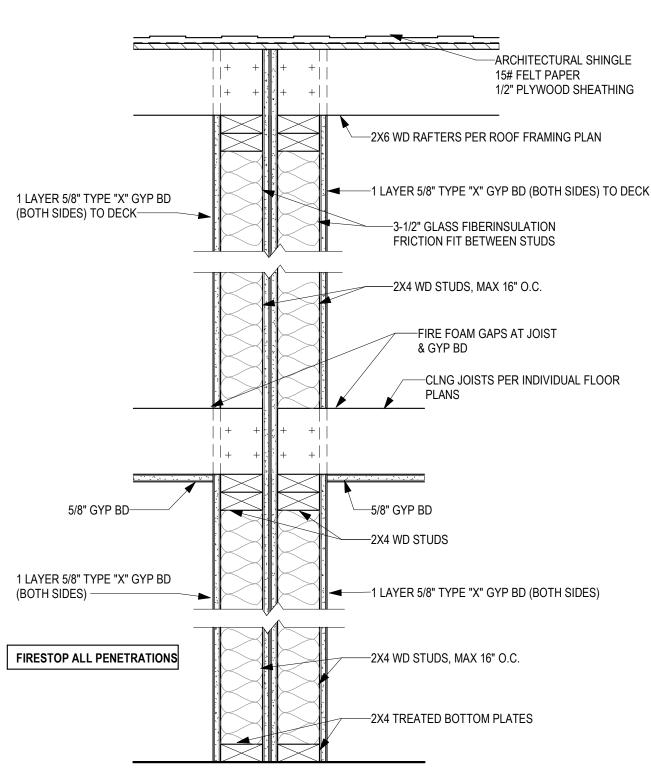
REFER TO PRESCRIPTIVE DATA TABLE ON SHEET A-104.1 FOR **INSULATION REQUIREMENTS FOR ZONE 7



Egress area meets IRC Section 310.1.1 minimum of 5SF.

2 TYPICAL WINDOW EGRESS

1/2" = 1'-0"



FIRE SEPARATION WALL ′ 1 1/2" = 1'-0"

No.	Description	Da



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2017-5 Project number 04.28.2020 Drawn by Checked by

A-104 CONSTRUCTION **DETAILS**

SCALE:

As indicated

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING Fi-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d R-VALU E & DEPTH	SPACE ^G WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.

13

Date Description

ARCHITECTS

Southern Design Group, LLC

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> A-104.1 **PRESCRIPTIVE TABLE**

SCALE:



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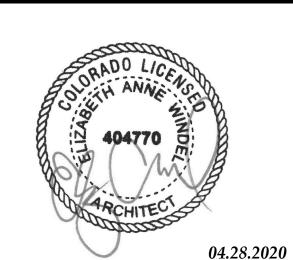
207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

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DOCUMENTS 2017-5 Project number

Checked by

A-105 CABINET LAYOUT & **ELEVATIONS**

SCALE:

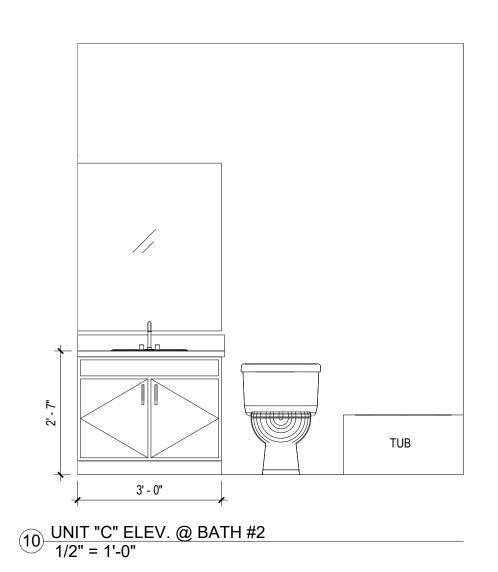
Date

Description

As indicated

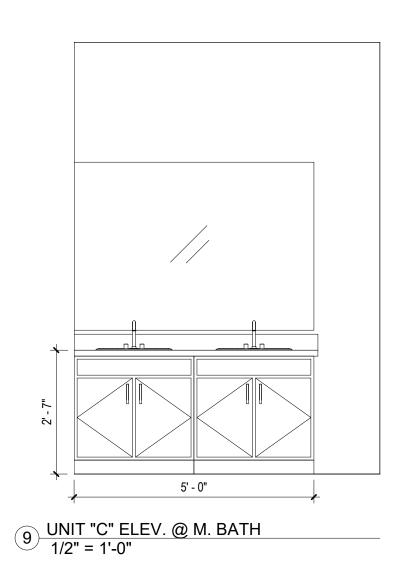
04.28.2020

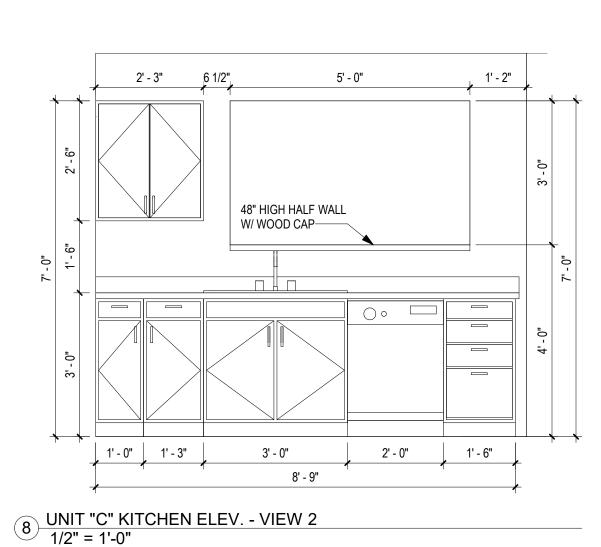
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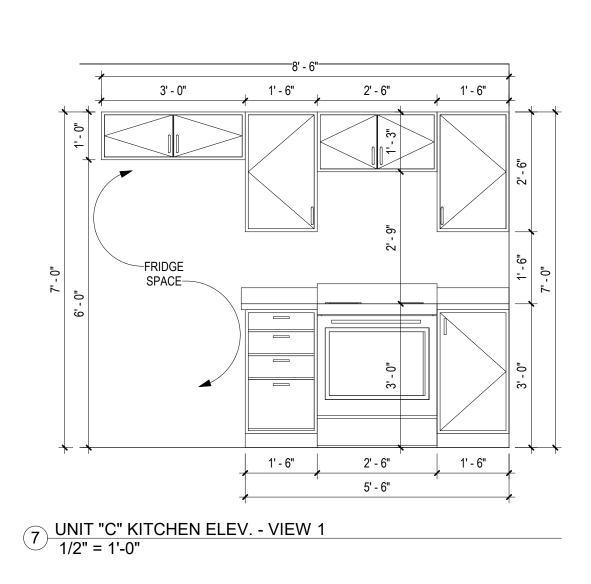


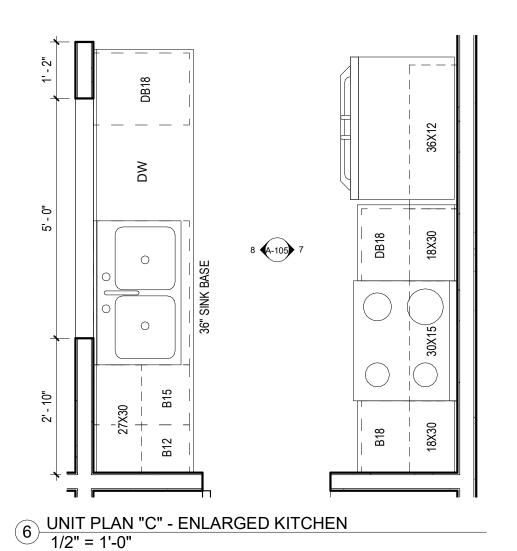
5' - 0"

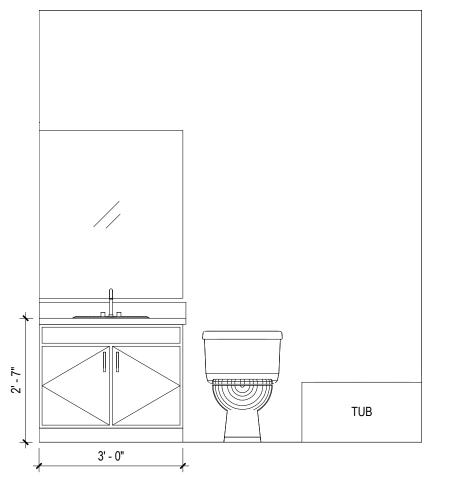
4 UNIT "B" ELEV. @ M. BATH 1/2" = 1'-0"

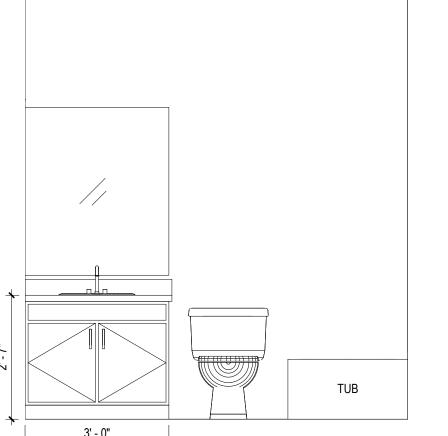


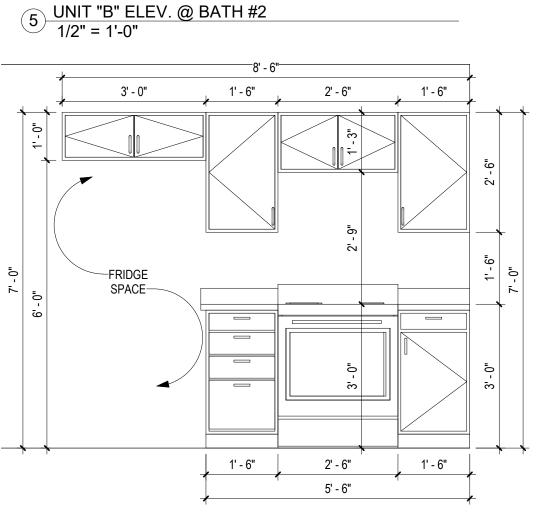


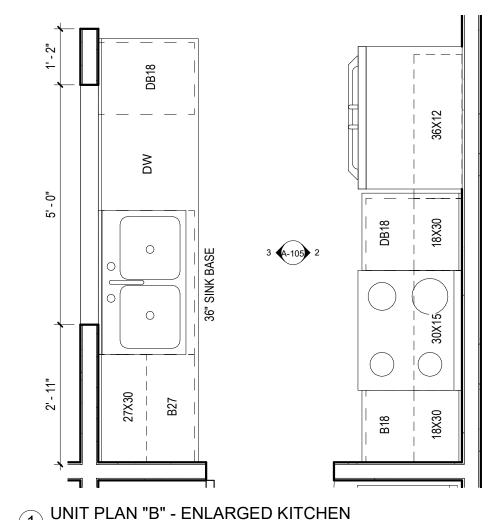












KITCHEN CABINETS

BATHROOM VANITIES

ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

VANITY CABINETS WILL BE 30" HIGH

MANUFACTURER.

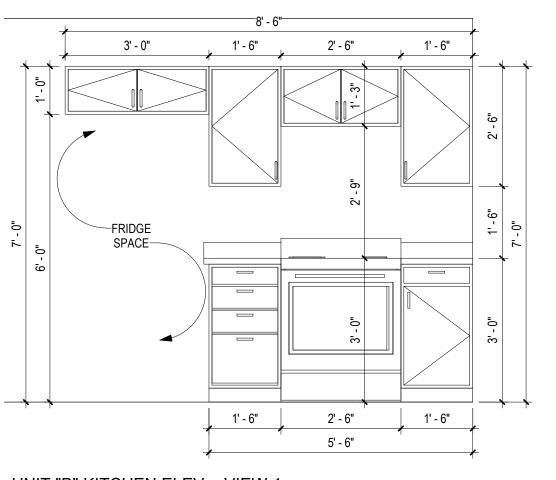
KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE

MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM

10-1-		
		26"
FRIDGE SPACE	2 - 9"	1'-6"
		3:-0"
	6" 2' - 6"	1' - 6"
	5' - 6"	



2' - 3" 7 1/2" 5' - 0" 48" HIGH HALF WALL W/ WOOD CAP-2' - 3" 3' - 0" 2' - 0" 1' - 6"

3 UNIT "B" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"

8' - 9"

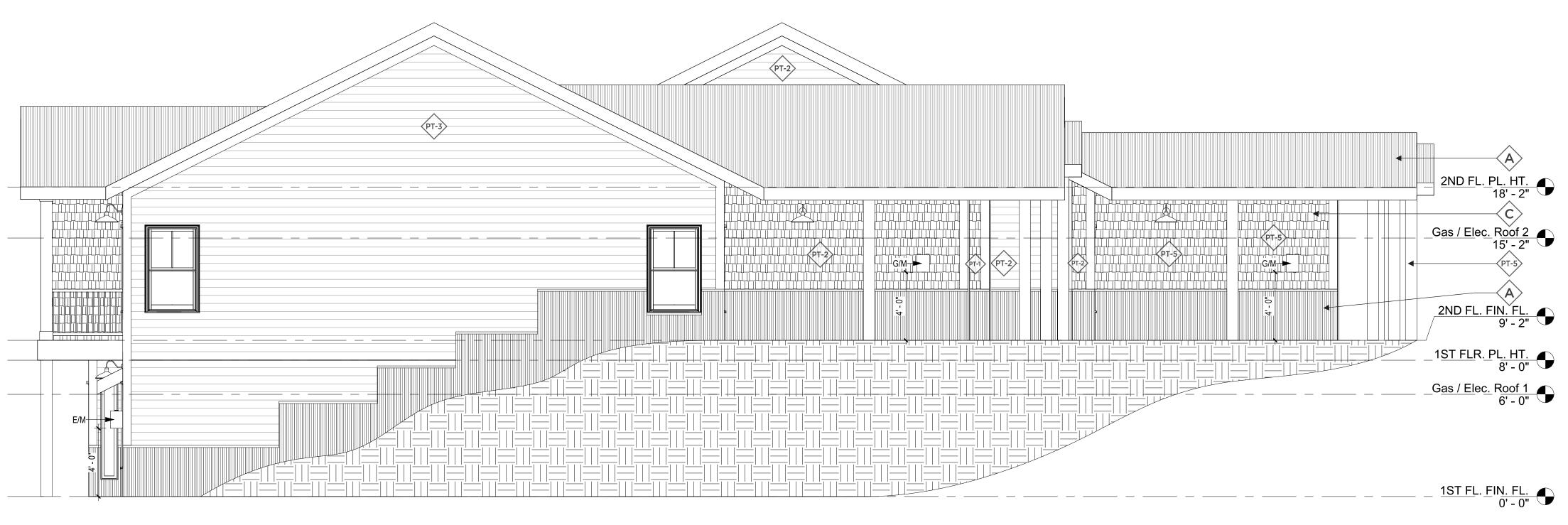
1 UNIT PLAN "B" - ENLARGED KITCHEN 1/2" = 1'-0"

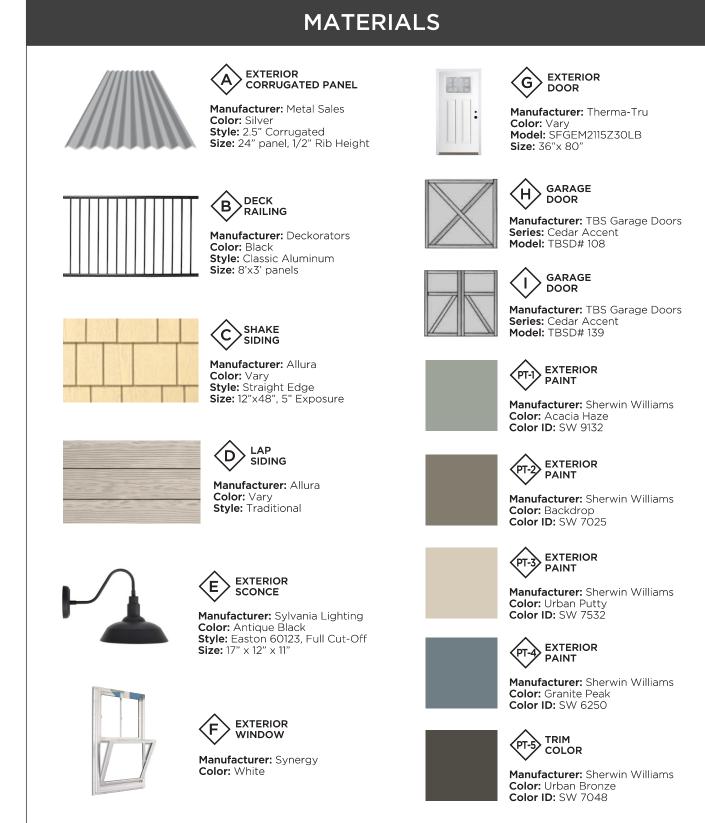
FRONT ELEVATION BLDG HT. -18'-08" LEFT ELEVATION BLDG HT. -23'-03" REAR ELEVATION BLDG HT. -27'-10" 23'-03" RIGHT ELEVATION BLDG HT. -TOTAL -BUILDING HT. -93'-04" 23'-03"

2 LEFT SIDE ELEVATION 1/4" = 1'-0"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING







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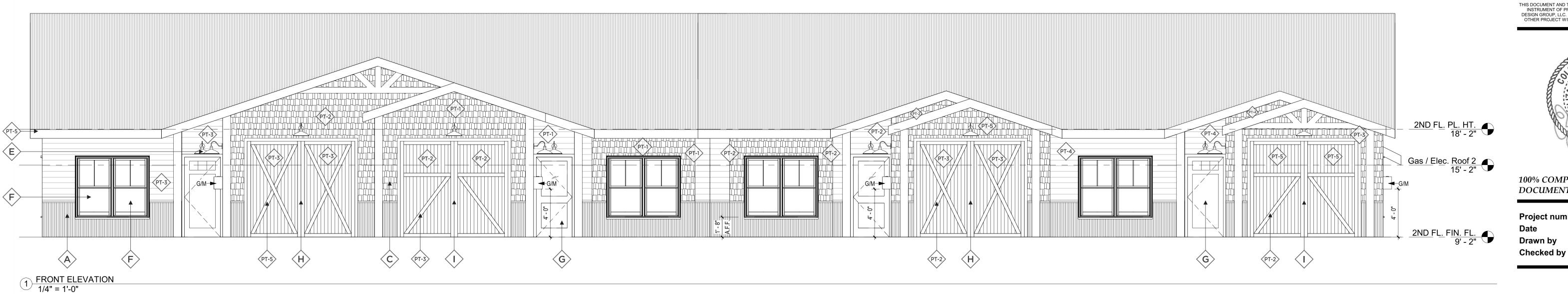


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2017-5 04.28.2020 MML / IPT

A-201 EXTERIOR **ELEVATIONS**

1/4" = 1'-0" है



Date Description





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2017-5 04.28.2020 MML / IPT EAW

A-202 EXTERIOR

ELEVATIONS

1/4" = 1'-0" \frac{9}{5}





3 REAR ELEVATION 1/4" = 1'-0"

MATERIALS

G EXTERIOR DOOR

H GARAGE DOOR

PT-1 EXTERIOR PAINT

PT-2 EXTERIOR PAINT

PT-3 EXTERIOR PAINT

PT-4 EXTERIOR PAINT

PT-5 TRIM COLOR

1 RIGHT SIDE ELEVATION 1/4" = 1'-0"

A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales

Manufacturer: Deckorators Color: Black Style: Classic Aluminum

B DECK RAILING

SHAKE SIDING

Manufacturer: Allura Color: Vary Style: Straight Edge Size: 12"x48", 5" Exposure

D LAP SIDING

Manufacturer: Allura

Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off Size: 17" x 12" x 11"

Color: Vary Style: Traditional

E EXTERIOR SCONCE

F EXTERIOR WINDOW

Manufacturer: Synergy Color: White

Color: Silver Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height

Date Description

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #7 - UNITS "B" & "C" 3 - BEDROOM PLANS LOTS 15-18



ABBREVIATIONS MATERIAL INDICATIONS SUSPEND(ED) COATING ON CENTER HEAD SQUARE YARD EARTH/ PREPARED SUBGRADE ACOUST ACOUSTICAL CENTER OUTSIDE DIAMETER HDBD HEAD BOARD SYMMETRICAL GRAVEL, STONE **OPENING** HDWD HARDWOOD CONCRETE TOP AND BOTTOM **HOLLOW META** DIAG DIAGONAL TONGUE AND GROOVE HORIZONTAL **TACKBOARD** CONCRETE MASONRY UNIT PUBLIC ADDRESS TELEPHONE PAAR PARALLEL DOOR TERMINATE PARTN PARTITION ABOVE FINISH FLOOR TERRAZZO (TERRACE) PORTLAND CEMENT PLASTE TOC HANDICAPPED URINAL TOP OF CURB PERPENDICULAR TOM TOP OF MASONRY PLASTIC LAMINATI ACCESSIBLE LAVATORY TOILET PAPER DISPENSER PROPERTY LINE EACH TRANSFORMER SAND,GROUT,MORTAR **INTERCOM** PLAS PLASTER EACH FACE TUBE STEEL INSIDE DIAMETER ACCESSIBLE MIRROR ELECTRIC(AL) INCHES PLYWD PLYWOOD RON, STEEL **ELEVATION** PNL PANEL PNLG PANELING ALUMINUM POURED GYPSUM UNLESS NOTED OTHERWISE EACH WAY EW PREFAB PREFABRICATED UTILITY SHELF ELECTRIC WATER COOLER **EWC EXHAUST** PAINTED **EXISTING** VENTILATE PAPER TOWE JOINT WOOD BLOCKING **EXPANSION** VERIFY EXTERIOR VENT THRU ROOF VINYL COMPOSITE TILE CERAMIC TILE **BLOCK** FIRE ALARM BLOCKING FLOOR DRAIN RETURN AIR LAM FOUNDATION REFLECTED CEILING PLAN WATER CLOSET LAV FIRE EXTINGUISHER WOOD ROOF DRAIN BOTTOM (OF FIRE EXTINGUISHER BRACKET RECP RECEPTACLE WDW WINDOW LKR WIDE FLANDE **BRACKET** SYPSUM WALLBOARD WALL HYDRANT REINF REINFORCING BASEMENT FIRE HOSE T SECTION BETWEEN WELDED WIRE FABRIC REQD REQUIRED BUILT UP ROOFING MAS BLK MASONRY BLOCK ROOFING ROLLED PAPER HOLDER W/O WITHOUT FINISHED WOOD **FLOOR CHALKBOARD** FLASH FLASHING **CENTER TO CENTER** FLEX PLYWOOD SCHED SCHEDULE CEMENT(IOUS) FOOTING RIGID INSULATION SOAP DISPENSER **CONTROL JOINT** SECTION SHOWER HEAD BATT INSULATION GALV GALVANIZED SHEET SHOWER MOUNTED **TERRAZZO** GENERAL CONTRACTO SIMILAR MTG HT MOUNTING HEIGHT GENERAL SEAMLESS SMLS GFRC GLASS FIBER REINFORCED SND SANITARY NAPKIN DISPENSER SP CTG SPECIAL COATING SPEC SPECIFICATION NOT IN CONTRACT GLZ TILE GLAZED TILE SPEAKER SQUARE CONTR CONTRACTOR SEAMLESS STEA GYP GYPSUM

STANDARD

STL STEEL STOR STORAGE

PROJECT TEAM

ARCHITECTS

Southern Design Group, LLC

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2017-5 04.28.2020 Checked by

COVER SHEET

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA, CODE REQUIREMENTS, AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK. THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

.THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT.

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE. 3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE

BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT. 5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS

AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

WOOD FRAMING

ONST CONSTRUCTION

CSK COUNTERSINK

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

GYP BD GYPSUM BOARD

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

FLOOR LOADS... ...50LBS LIVE LOAD

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

OWNER

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET

ARDMORE, OK 73401 Lance Windel

PHONE: 580.226.0416

ARCHITECT

SOUTHERN DESIGN GROUP, LLC 207 CADDO STREET ARDMORE, OK 73401

Elizabeth A. Windel, AIA PHONE: 580.798.0393

CONTRACTOR

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET ARDMORE, OK 73401

Lance Windel PHONE: 580.226.0416

400 N. MAIN STREET GUNNISON, CO 81230

Bob Williams, PE PHONE: 970.641.2499

A-202 **EXTERIOR ELEVATIONS** <u>UNIT PLANS SQUARE FOOTAGE PER UNIT</u> UNIT "B" (CONDITIONED) 3-BEDROOM 1ST FLOOR -2ND FLOOR -TOTAL (CONDITIONED) -(UNCONDITIONED) TOTAL (UNCONDITIONED) - 312 S

Sheet #

A-100

A-101.2

A-101.3

A-102

A-104

A-104.1

COVER SHEET

UNIT "B" PLANS

UNIT "C" PLANS

ROOF PLAN

PLOT PLAN

SHEET INDEX

BUILDING #7 - ELECTRICAL PLAN 1ST FLOOR

BUILDING #7 - ELECTRICAL PLAN 2ND FLOOR

BUILDING #7 - 1ST FLOOR PLANS

BUILDING #7 - 2ND FLOOR PLAN

CONSTRUCTION DETAILS

CABINET LAYOUT & ELEVATIONS

PRESCRIPTIVE TABLE

EXTERIOR ELEVATIONS

Sheet Name

STRUCTURAL ENGINEER UNIT "C" (CONDITIONED) 3-BEDROOM

1ST FLOOR -2ND FLOOR -TOTAL (CONDITIONED) - 1,498 SF

(UNCONDITIONED) TOTAL (UNCONDITIONED) - 319 SF

Date Description

BUILDING PLANS SQUARE FOOTAGE

(UNCONDITIONED)

TOTAL (CONDITIONED) - 5,917 SF

TOTAL (UNCONDITIONED) - 1,260 SF

BUILDING #7 (CONDITIONED)

1ST FLOOR -



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street

Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017-5
)ate	04.28.2020
Prawn by	MML
Checked by	EAW

A-100 PLOT PLAN

As indicated

SCALE:

Date

Description

LINE TABLE

DIRECTION	LENGTH
N74°52'25"W	4.50'
N55°00'28"W	4.32'
N55°00'28"W	6.84'
N74°52'25"W	3.67'
N88°31'08"W	10.36'
S46°41'23"W	7.07'
S30°47'45"E	5.48'
	N74°52'25"W N55°00'28"W N55°00'28"W N74°52'25"W N88°31'08"W S46°41'23"W

CURVE TABLE

				CONVETAL	JLL	
	CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	TON CHORD LENGTH
	C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
	C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
	C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
	C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
	C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
	C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
_	C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
	C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
	C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
_	C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
	C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
	C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
	C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
	C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
	C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
	C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
_	C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
	C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
	C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
	C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
	C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
	C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
	C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
	C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
	C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
_	C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
	C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"

28.99

SNOW

STORAGE

EASMENT-

30' - 10 1/2"

1 PLOT PLAN 1" = 10'-0"

N88°31'11"W

38.14'

-SNOW

STORAGE

EASMENT

C35

EXTERIOR -

LH GARAGE

CONCRETE DRIVEWAY 1,831 SF CONCRETE DRIVEWAY 1,830 SF

UNIT "C"

INTERIOR -

LH GARAGE

28.00

DEER CREEK CIRCLE

UNIT "C"

INTERIOR -

RH GARAGE

LOT 16

28.00' CONCRETE DRIVEWAY

1,706 \$F

N74°52'25"W

UNIT "C"

EXTERIOR -

RH GARAGE

CONCRETE

JE DRIVEWAY !

LOT 1/5

1 1,724 SF

28' - 0"

HVAC-

28' - 0"

Powder\

13' - 9"

4' - 7"

6' - 0" x 5' - 0"

Breakfast

60 SF

4' - 7"

6' - 0" x 5' - 0"

Breakfast

60 SF

Kitchen

42 SF

111' - 6"

28' - 0"

o d E/M

HVAC

∄†9 **S**F

28' - 0"

Powder

3' - 6" | 3' - 6" | 2' - 7 1/2"

-48" HIGH WALL WITH

Family Room

266 SF

UNIT "B"

WOOD CAP

8' - 2"

4' - 2 1/2" 3' - 11 1/2"

3' - 0" x 5' - 0"

Breakfast

71 SF

13' - 9"

WINDOW INFORMATION:

27' - 9"

9' - 10"

Powder

27' - 9"

19' - 7"

3' - 6" 3' - 6" 2' - 9"

-48" HIGH WALL WITH

WOOD CAP

Family Room

255 SF

UNIT "C"

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

ALL WINDOW SIZES ARE INDICATED ON PLANS: ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.
 - INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR
- ATTIC: CLOSED CELL FOAM SPRAY @ R49

DOOR INFORMATION:

- WALL CAVITIES
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL

ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL

- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.

ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
- OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE LAYOUTS.
- CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR
- STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



Southern Design Group, LLC

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

CONSULTANTS:

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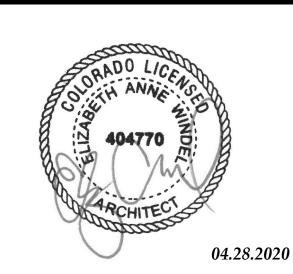
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DESIGN GROUP, LLC.



100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
EAW
EAW

A-101 BUILDING #7 - 1ST **FLOOR PLANS**

SCALE: As indicated

27' - 9"

9' - 10"

Powder

27' - 9"

2' - 9" 3' - 6" 3' - 6"

48" HIGH WALL WITH-

WOOD CAP

Family Room

255 SF

UNIT "C"

8' - 2"

3' - 11 1/2" 4' - 2 1/2"

3' - 0" x 5' - 0"

Breakfast

71 SF

43 SF

' - 7 1/2", 3' - 6", 3' - 6"

48" HIGH WALL WITH-

WOOD CAP

Family Room

UNIT "B"

'/ 3/16" = 1'-0"

BUILDING #7 - 1ST FLOOR PLAN

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

- U-VALUES .32-.29
- EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

111' - 6" 27' - 9" 28' - 0" 28' - 0" 27' - 9" 2' - 7 1/2". 3' - 6" 13' - 9 1/2" 13' - 9" 4' - 7" 13' - 9" 13' - 9 1/2" 4' - 2 1/2" 4' - 7" 3' - 6" | 3' - 6" | 2' - 7 1/2" | 4' - 2 1/2" 3' - 6" 3' - 6" 2' - 9" A 6 1/2" 11' - \$ 1/2" COV. BALCONY COV. BALCONY | 3' - 0" x 5' - 0" 3' - 0" x 6' - 8" 3' - 0" x 5' - 0|" | $\stackrel{\cdot}{\sim}$ 3' - 0" x 5' - 0" | 3' - 0" x 5' - 0" 3' - 0" x 6' - 8" 3' - 0" x 5' - 0" 🕏 11' - 4 1/2" 6 1/2" 11' - \$ 1/2" COV. BALCONY ∣7 SF ຣິ**Γ** COV. BALCONY 3' - 0" x 5' - 0' 3' - 0" x 5' - 0" 3 -0" x 5' - 0" 3' - 0" x 6' - 8"3' - 0" x 5' -0" Bedroom #2 M. Bedroom 128 SF Bedroom #2 M. Bedroom 182 SF 127 SF 166 SF Bedroom #2 M. Bedroom 128 SF Bedroom #2 M. Bedroom -FOAM-IN UNDER 182 SF 127 SF 166 SF SHOWER PAN FOAM-IN UNDER 2' - 4" x 6' - 8" SHOWER PAN 48" TALL WALL Bath #2 W/ WOOD CAP-Bath #2 5 40 SF FOAM-IN UNDER SHOWER PAN-FOAM-IN UNDER 2' - 4" x 6' - 8" SHOWER PAN-Bath #2 LINEN Bath #2 SHOWER UNDER Hall 48" TALL WALL WOOD CAP SHOWER -M. Bath[⊔] /wic⊟ 2' - 0" x 6' - 8" **Entry** 48" WALL W/ SHOWER-WOOD CAP LINEN Bedroom #3 LINEN Bedroom #3 124 SF 128 SF 1-Car Garage Bedroom #3 283 SF PORCH Bedroom #3 PORCH 1-Car Garage 124 SF 128 SF 285 SF 1-Car Garage COV. PORCH 283 SF 1-Car Garage 285 SF 6' - 0" x 5' - 0" UNIT "C" UNIT "B" UNIT "C" 9' - 0" x 8' - 0' 9' - 0" x 8' - 0" 9' - 0" x 8' - 0" -12' WIDE CONCRETE -12' WIDE DRIVEWAY-CONCRETE DRIVEWAY--12' WIDE CONCRETE -12' WIDE DRIVEWAY-CONCRETE DRIVEWAY-4' - 0 1/2" 4' - 0 1/2" 4' - 0 1/2" 4' - 0 1/2" 1' - 11 1/2" 1' - 11 1/2" _1' - 11 1/2" 6' - 4" 6' - 4" 8' - 1" 6' - 4" 6' - 3 1/2" 5' - 9 1/2" 5' - 8" 5' - 8" 5' - 9 1/2" 6' - 3 1/2" 6' - 4" 8' - 1" 6' - 4" 11' - 5 1/2" 11' - 5 1/2" 11' - 2" 3' - 11" 12' - 8" 12' - 8" 27' - 9" 27' - 9" 28' - 0"

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS.
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK
- 11. TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- 12. PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- 13. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE
- ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING
- 15. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
- OF VERTICAL OFFSETS SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- 17. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- OUTLETS. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS TYPICAL ALL UNITS.
- 21. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY
- BACKUP PER CODE. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR
- STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER
- TRADES, EQUIPMENT AND PLUMBING FIXTURES. COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL Williams Engineering

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 Project number 04.28.2020 **EAW** Checked by

A-101.1 BUILDING #7 - 2ND FLOOR PLAN

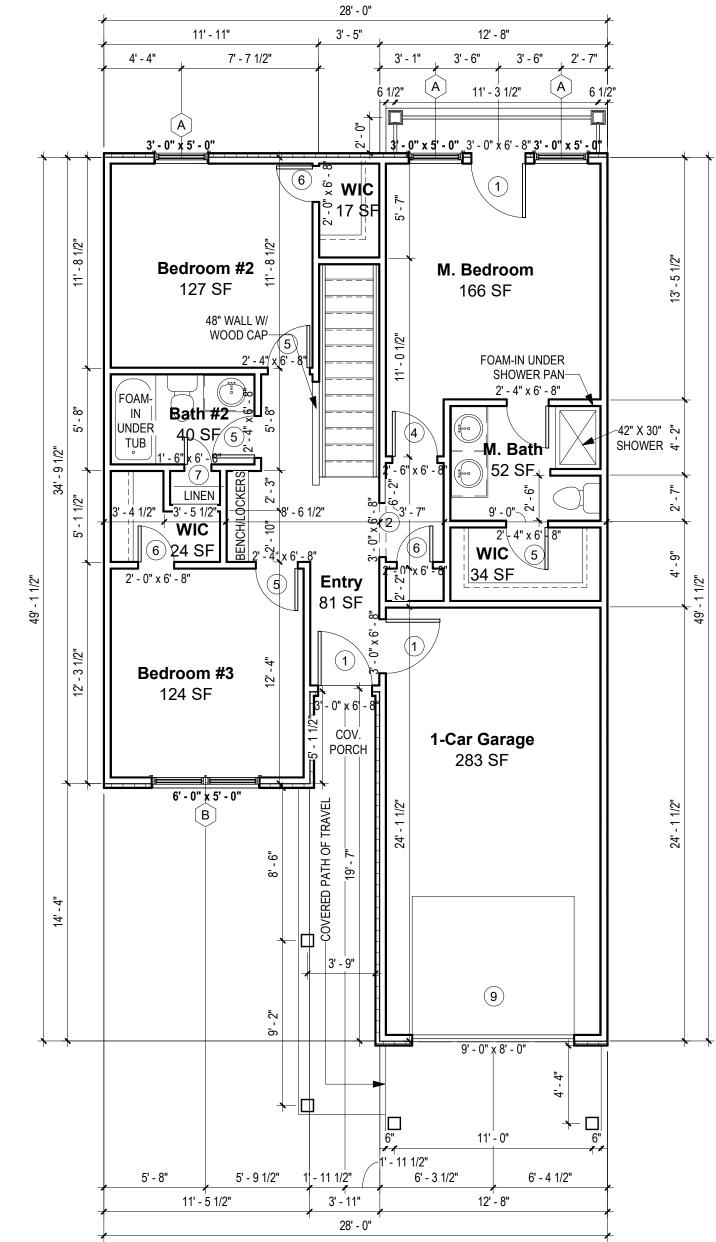
SCALE: As indicated

1 BUILDING #7 - 2ND FLOOR PLAN 3/16" = 1'-0"

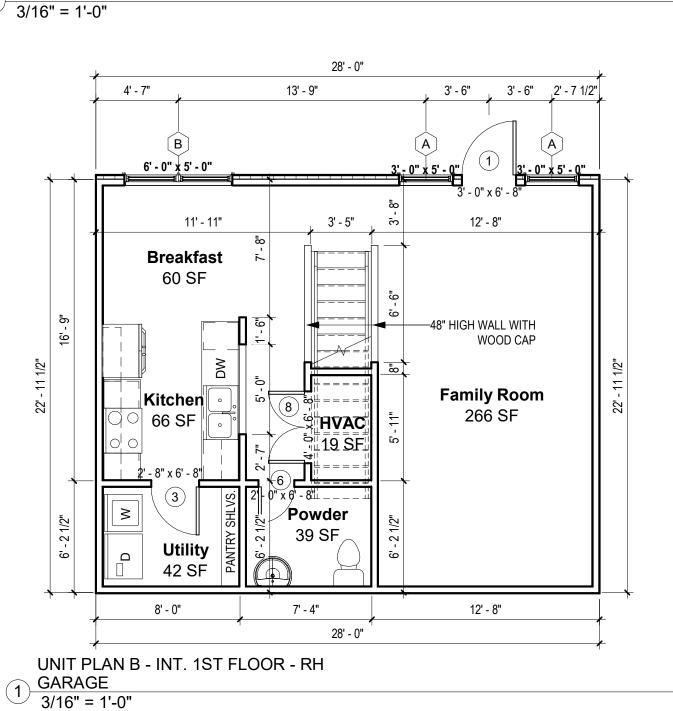
WINDOW INFORMATION:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



2 GARAGE 3/16" = 1'-0"



ALL WINDOW SIZES ARE INDICATED ON PLANS:

28' - 0"

3' - 6" 3' - 1"

2' - 7" 3' - 6"

11' - 3 1/2"

<u>| -</u> 0" x 5' - 0"<u>, 3</u>' - 0" x 6' - 8<u>"</u> 3' - 0" x 5' <u>-</u> 0" |

M. Bedroom

166 SF

1-Car Garage

283 SF

9' - 0" x 8' - 0"

12' - 8"

12' - 8"

WOOD CAP

Family Room

266 SF

12' - 8"

6' - 3 1/2"

6' - 4 1/2"

UNIT PLAN B - INT. 2ND FLOOR - LH

<u>' - 0" x 5' - 0"</u>

2' - 7 1/2", 3' - 6", 3' - 6"

4 GARAGE 3/16" = 1'-0"

SHOWER PAN

₹ 42" X 30"

11' - 11"

Bedroom #2

127 SF

24 SF/(

Bedroom #3

124 SF

5' - 8"

4' - 7"

6' - 0" × 5' - 0"

Breakfast

60 SF

42 SF

8' - 0"

11' - 11"

11' - 5 1/2"

5' - 9 1/2"

3' - 11"

28' - 0"

28' - 0"

13' - 9"

7' - 4"

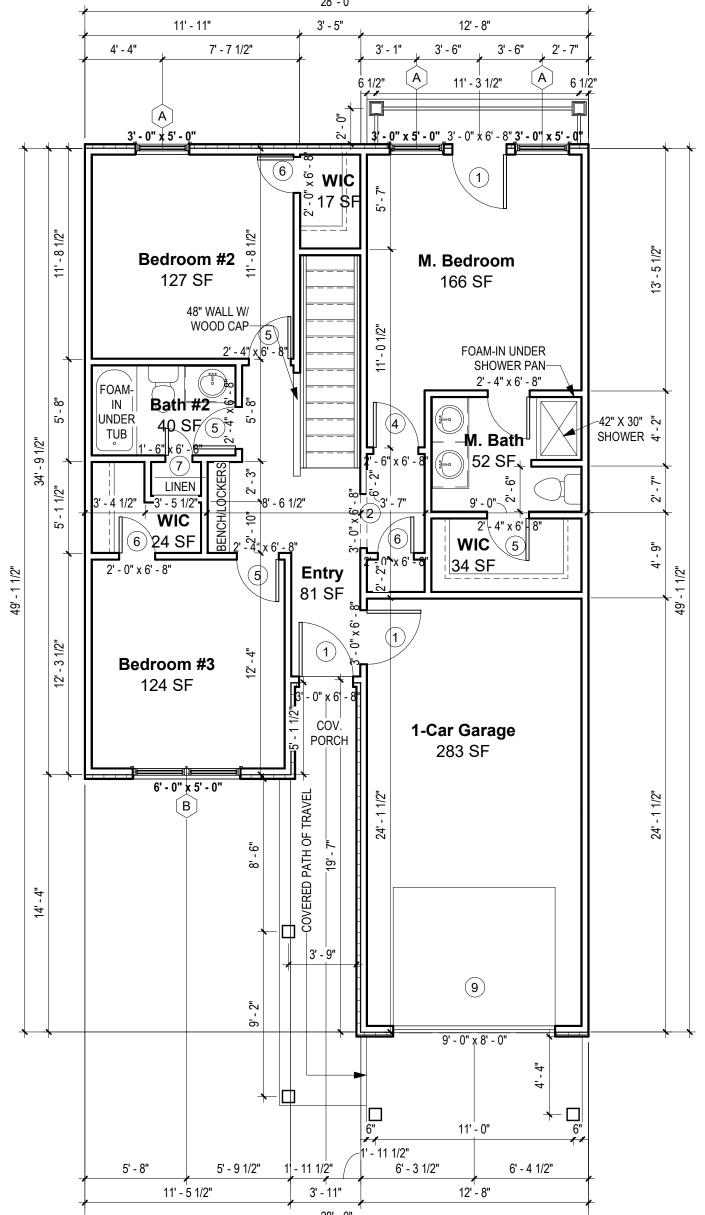
6' - 0" x 5' - 0"

WOOD CAP

3' - 0" x 5' - 0"

4' - 4"

7' - 7 1/2"



UNIT PLAN B - INT. 2ND FLOOR - RH

DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR
- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR
- (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL
- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE
- ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM

ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL

- INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING
- CONTRACTOR. ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
- OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- OUTLETS. 18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE
- PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. 19. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS, TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- 23. SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR DOCUMENTS STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE. NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING
- TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT.
- NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS WITH ARCHITECT.

No.	Description	Date



Southern Design Group, LLC

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CONSULTANTS:

STRUCTURAL

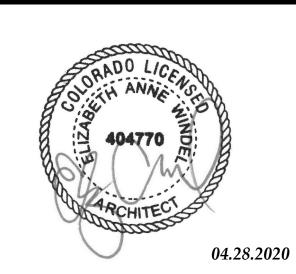
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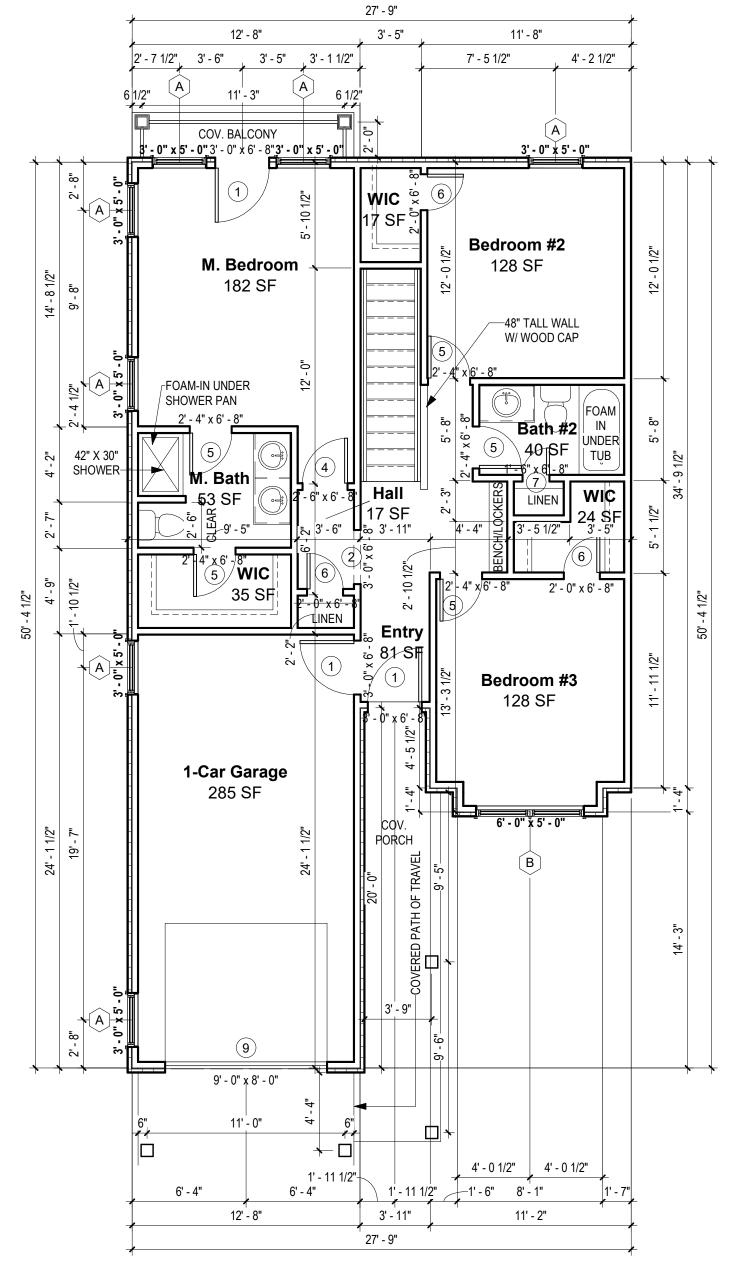
2017-5
04.28.2020
MML
EAW

A-101.2 UNIT "B" PLANS

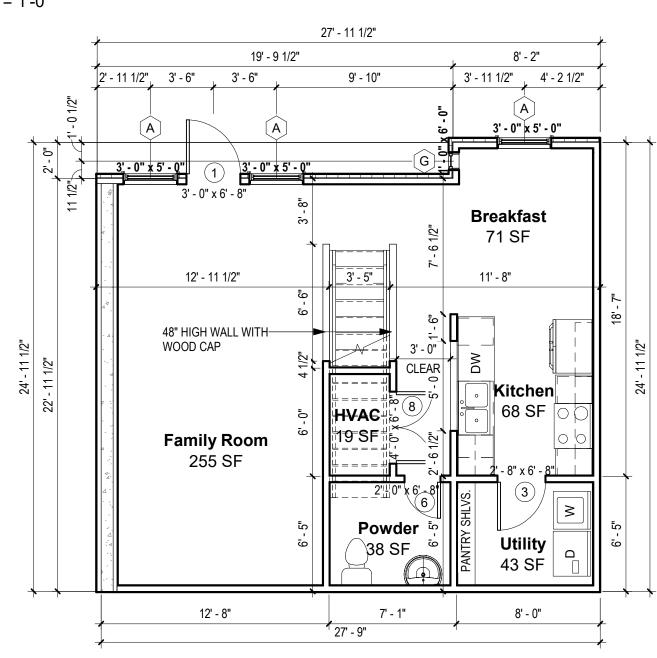
As indicated

SCALE:

UNIT PLAN B - INT. 1ST FLOOR - LH 3 GARAGE 3/16" = 1'-0"



UNIT PLAN C - EXT. 2ND FLOOR - LH 4 GARAGE 3/16" = 1'-0"

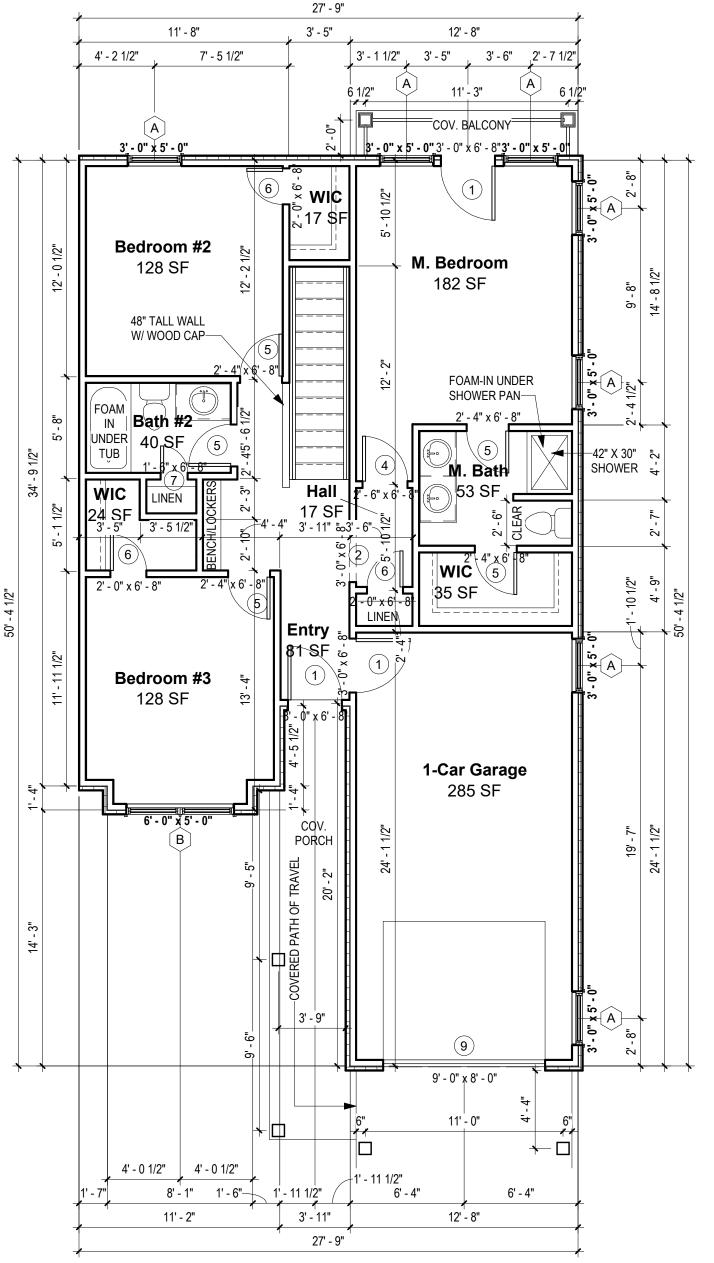


UNIT PLAN C - EXT. 1ST FLOOR - LH

3 GARAGE 3/16" = 1'-0"

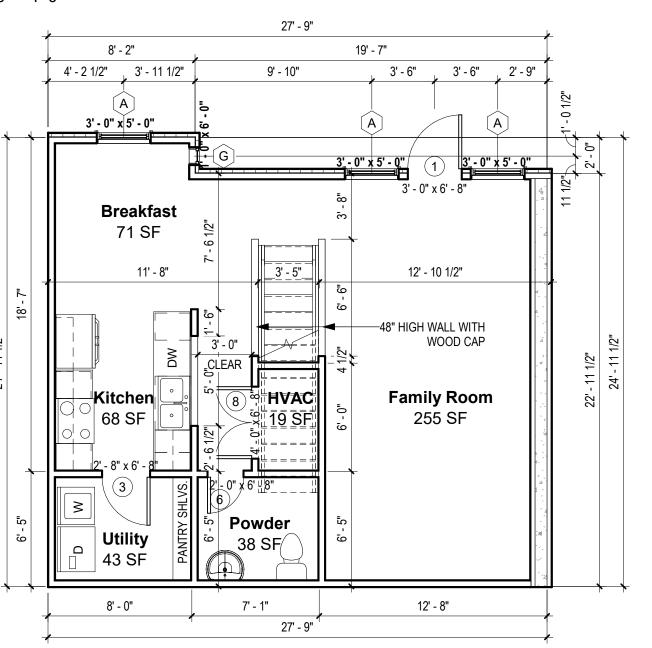
WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

U-VALUES - .32-.29 EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



UNIT PLAN C - EXT. 2ND FLOOR - RH

2 GARAGE 3/16" = 1'-0"



UNIT PLAN C - EXT. 1ST FLOOR - RH

1 GARAGE 3/16" = 1'-0"

DOOR INFORMATION: **ALL DOOR SIZES ARE INDICATED ON PLANS:**

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW

GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR

(SOLID CORE). 20-MIN. RATED

MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES

ATTIC: CLOSED CELL FOAM SPRAY @ R49

ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS.

FIBER BATTS IN DOUBLE FRAMED WALL AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL

1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

SEE COVER SHEET FOR GENERAL NOTES.

FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.

ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL WORK NEW UNLESS NOTED OTHERWISE

ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS

NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST

GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING

REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK

TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL

PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.

CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE

ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING

ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS

OF VERTICAL OFFSETS. 16. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE

LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL

18. ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE

PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN ACCORDANCE WITH 2015 IRC.

PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS

TYPICAL ALL UNITS. PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.

22. ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.

SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE

CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT.

THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.

COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.

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COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

> Date Description



Southern Design Group, LLC

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CO License #: 404770

CONSULTANTS:

STRUCTURAL

Williams Engineering

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5 **Project number** 04.28.2020 EAW Checked by

> A-101.3 UNIT "C" PLANS

SCALE:

As indicated

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
 ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- 3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE. 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.
 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR

ELEVATIONS (A-201)



Southern Design Group, LLC

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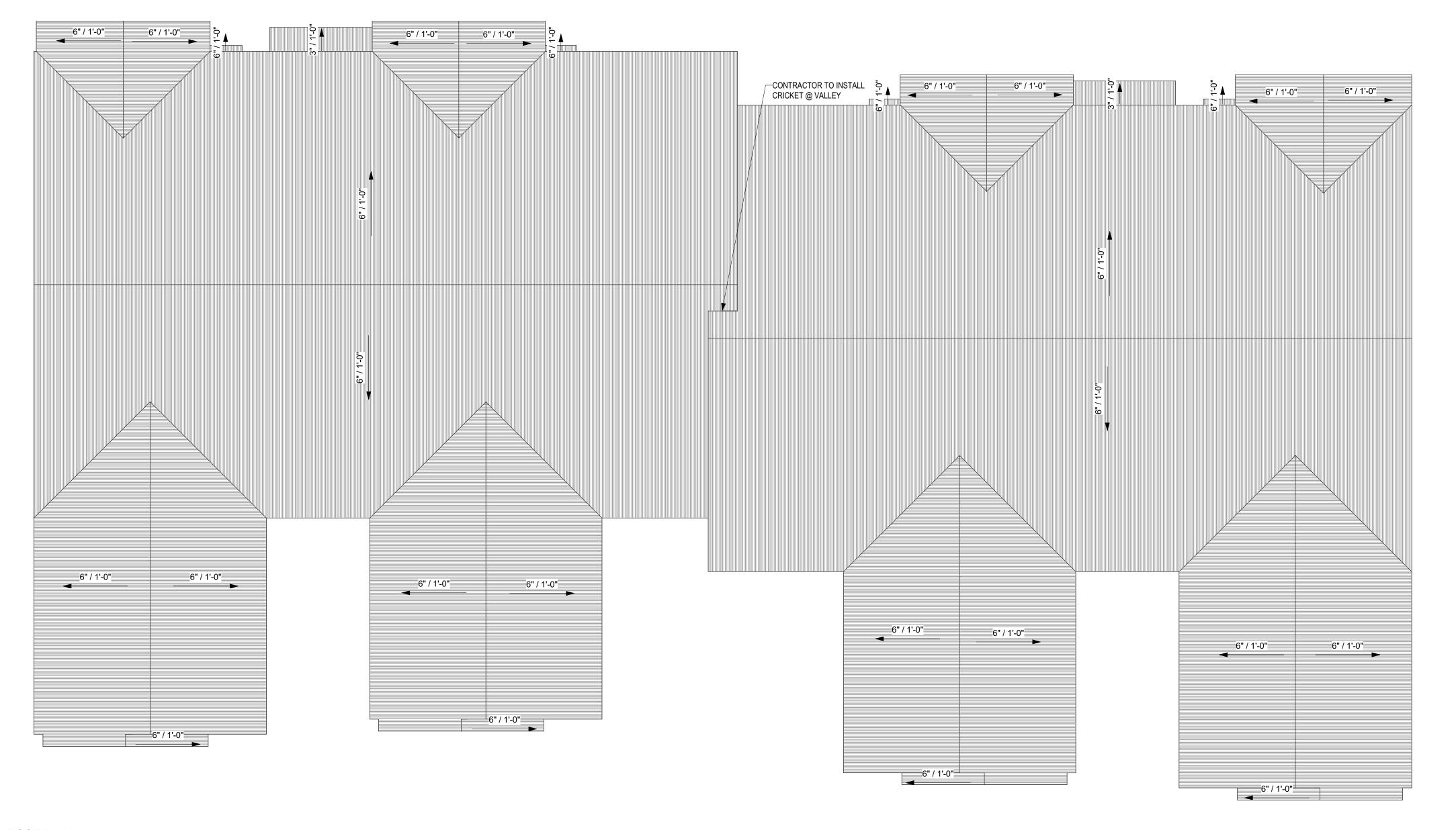


100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 04.28.2020 Checked by

A-102 ROOF PLAN

Date Description



SCALE:

As indicated

GENERAL ELECTRICAL NOTES:

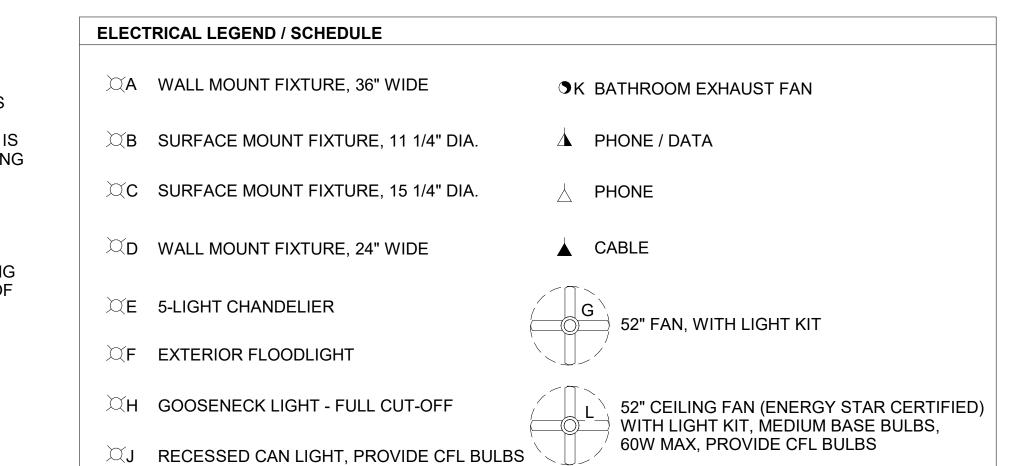
- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- 3. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- I. ALL WORK NEW UNLESS NOTED OTHERWISE.
- 5. INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- 6. CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- 8. REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
 9. COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH
- MECHANICAL CONTRACTOR.

 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER
- HEADS, ETC. PER NFPA REQUIREMENTS.

 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT
- EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- . BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
 THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS
- RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- 4. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- 5. TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- 6. PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.



SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS



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The Prospect Homestead
Subdivision

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Project number 2017-5

Date 04.28.2020

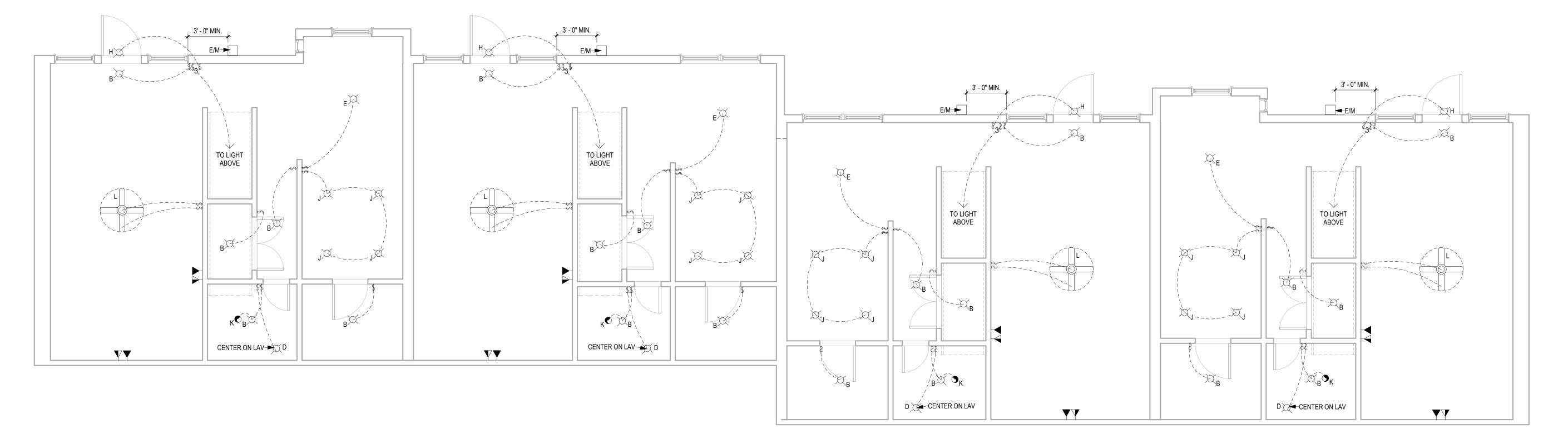
Drawn by MML

Checked by EAW

A-103
BUILDING #7 ELECTRICAL PLAN
1ST FLOOR

SCALE:

As indicated



1 ELECTRICAL PLAN - 1ST FLOOR 1/4" = 1'-0"

No. Description Date

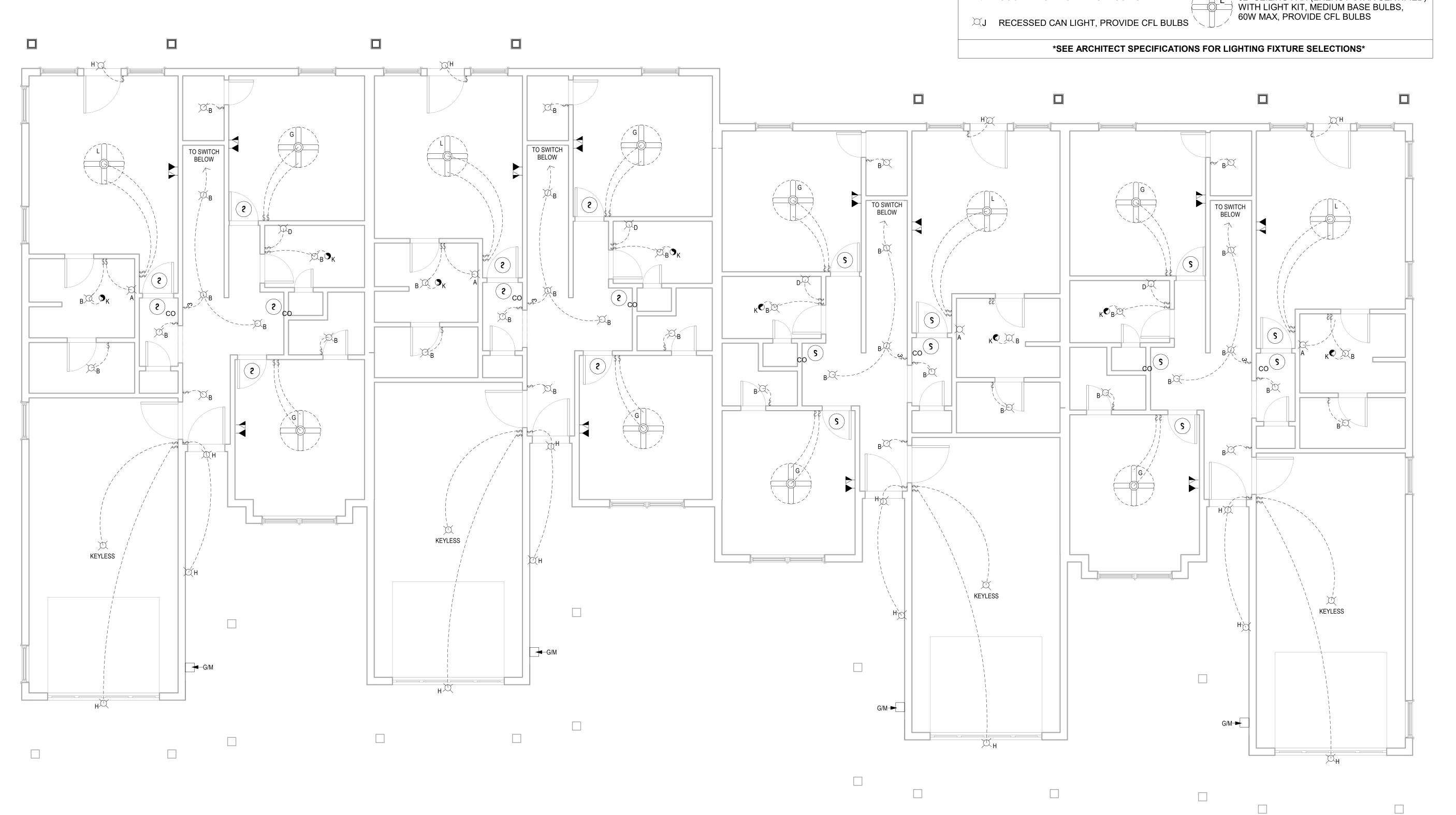
GENERAL ELECTRICAL NOTES:

- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL
- OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL
- LOCAL BUILDING CODES. REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH
- MECHANICAL CONTRACTOR
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT
- EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE A WALL MOUNT FIXTURE, 36" WIDE ● K BATHROOM EXHAUST FAN A PHONE / DATA ◯B SURFACE MOUNT FIXTURE, 11 1/4" DIA. C SURFACE MOUNT FIXTURE, 15 1/4" DIA. ▲ CABLE D WALL MOUNT FIXTURE, 24" WIDE 52" FAN, WITH LIGHT KIT **ØF** EXTERIOR FLOODLIGHT TH GOOSENECK LIGHT - FULL CUT-OFF 52" CEILING FAN (ENERGY STAR CERTIFIED)



ARCHITECTS

Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

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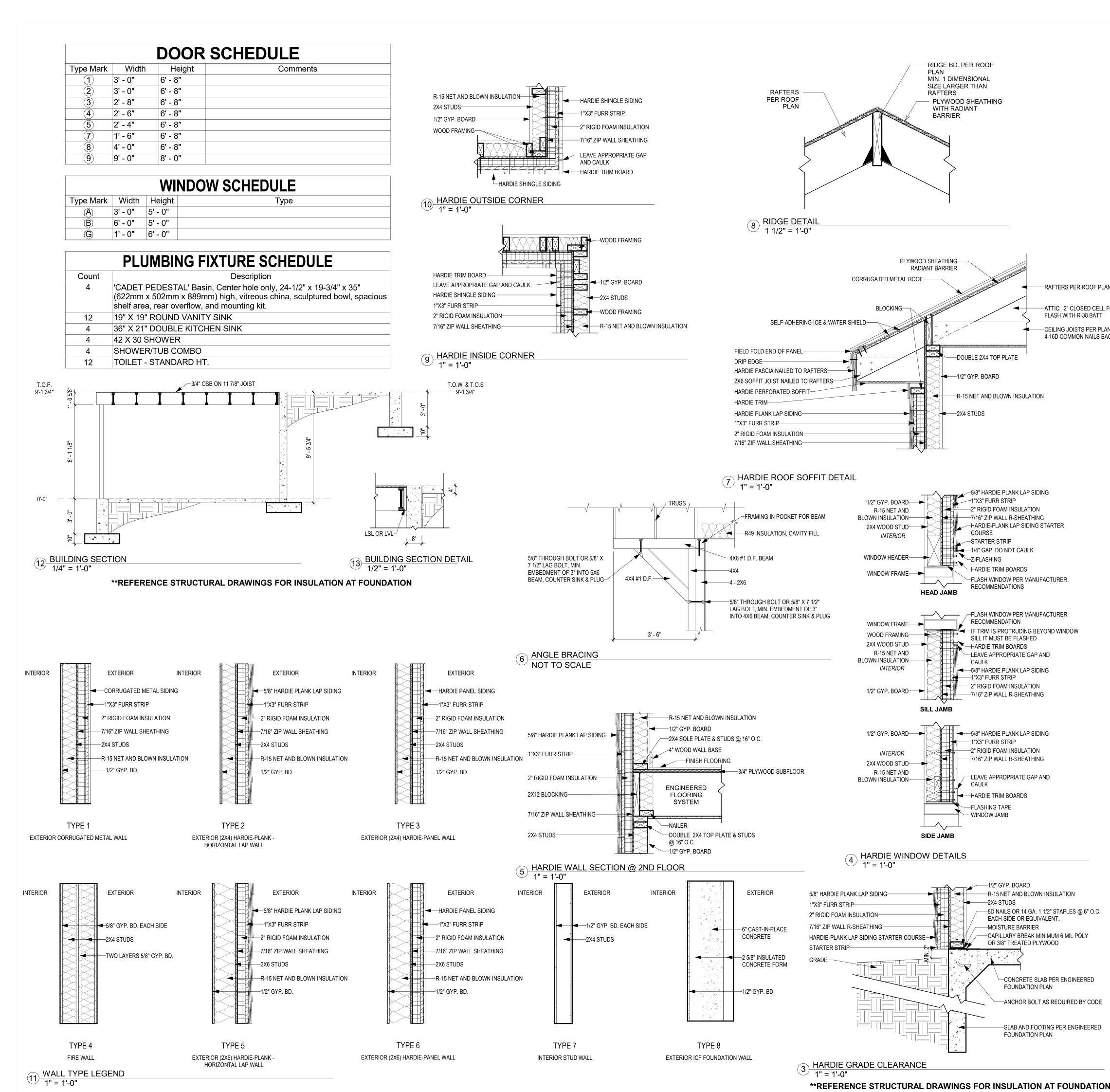
2017-5 **Project number** 04.28.2020 Checked by

A-103.1 BUILDING #7 -**ELECTRICAL PLAN** 2ND FLOOR

As indicated

1 ELECTRICAL PLAN - 2ND FLOOR 1/4" = 1'-0"

Description



GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER.



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3-0 x 5-0 Double Hung Window

RAFTERS PER ROOF PLAN

—ATTIC: 2" CLOSED CELL FOAM FLASH WITH R-38 BATT

-CEILING JOISTS PER PLAN WITH

-7/16" ZIP WALL R-SHEATHING

-STARTER STRIP

HARDIE TRIM BOARDS

RECOMMENDATIONS

RECOMMENDATION

—1"X3" FURR STRIP

—1"X3" FURR STRIP

-FLASHING TAPE

-WINDOW JAMB

—2X4 STUDS

SILL IT MUST BE FLASHED HARDIE TRIM BOARDS

—2" RIGID FOAM INSULATION

—2" RIGID FOAM INSULATION

-7/16" ZIP WALL R-SHEATHING

LEAVE APPROPRIATE GAP AND

----R-15 NET AND BLOWN INSULATION

EACH SIDE OR EQUIVALENT.

OR 3/8" TREATED PLYWOOD

FOUNDATION PLAN

FOUNDATION PLAN

--MOISTURE BARRIER

-CONCRETE SLAB PER ENGINEERED

-ANCHOR BOLT AS REQUIRED BY CODE

SLAB AND FOOTING PER ENGINEERED

1 1/2" = 1'-0"

--- CAPILLARY BREAK MINIMUM 6 MIL POLY

-7/16" ZIP WALL R-SHEATHING

LEAVE APPROPRIATE GAP AND

-HARDIE-PLANK LAP SIDING STARTER

FLASH WINDOW PER MANUFACTURER

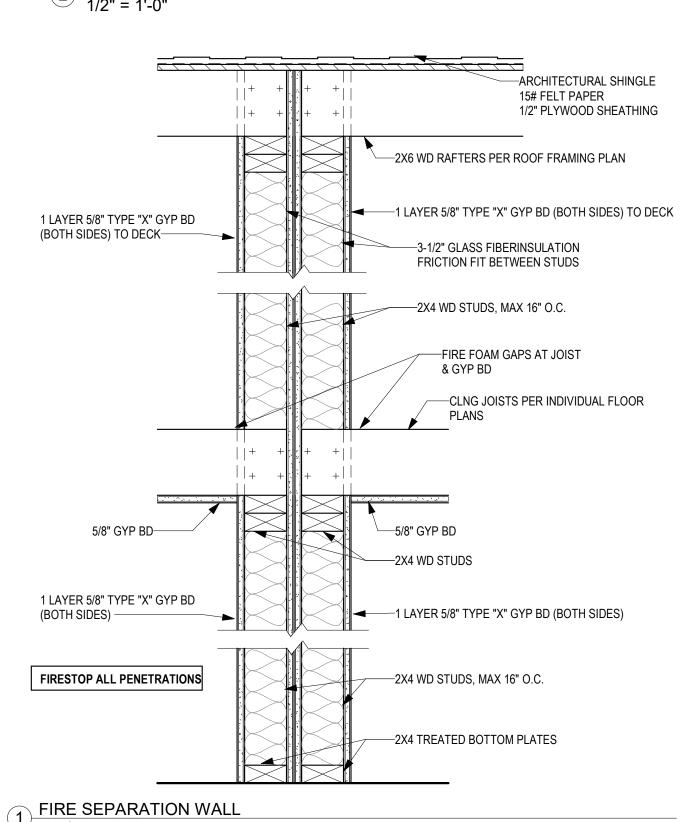
■—IF TRIM IS PROTRUDING BEYOND WINDOW

4-16D COMMON NAILS EACH END

6-0 x 5-0 Twin Double Hung Window

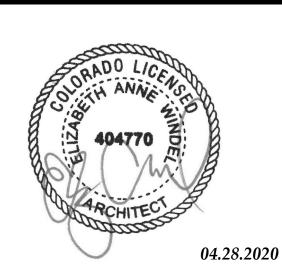
Egress area meets IRC Section 310.1.1 minimum of 5SF.

2 TYPICAL WINDOW EGRESS 1/2" = 1'-0"



Date Description

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> A-104 CONSTRUCTION **DETAILS**

SCALE: As indicated

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT⁶

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING Fi-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d F-VALU E & DEPTH	SPACE ^C WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- . The second F-value applies when more than half the insulation is on the interior of the mass wall.

13

No.	o. Description	



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rospect Homestea Subdivision

BUILL

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Project number 2017-5

Date 04.28.2020

Drawn by MML

Checked by EAW

A-104.1 PRESCRIPTIVE TABLE

SCALE:

4/24/2020 10:28:02 AM



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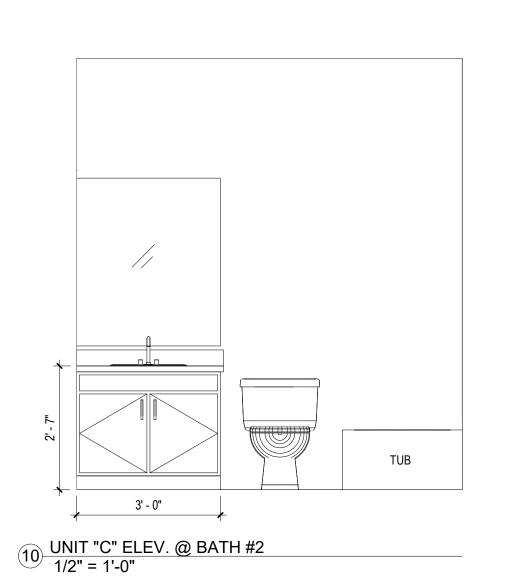
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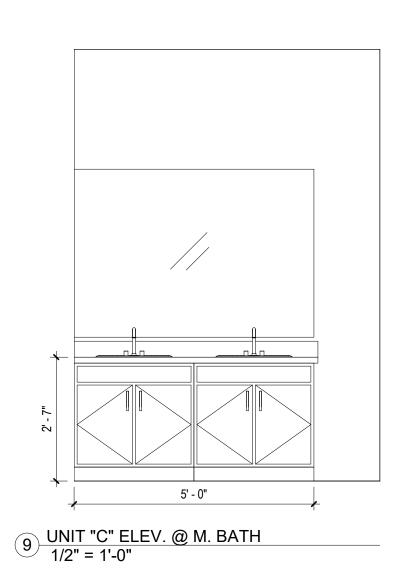
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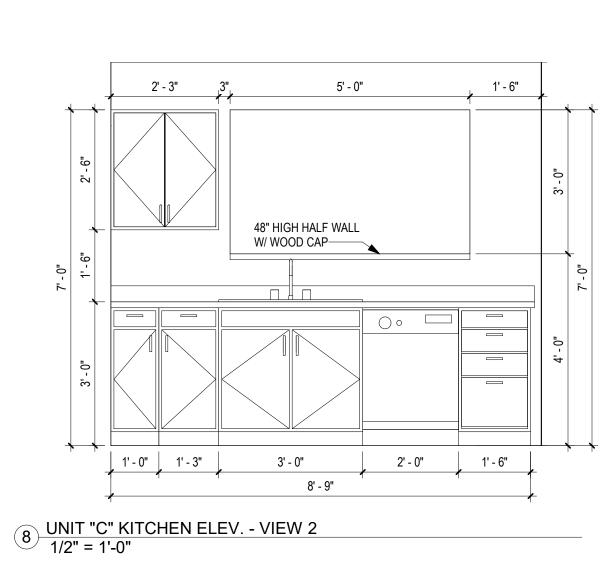
A-105 CABINET LAYOUT &

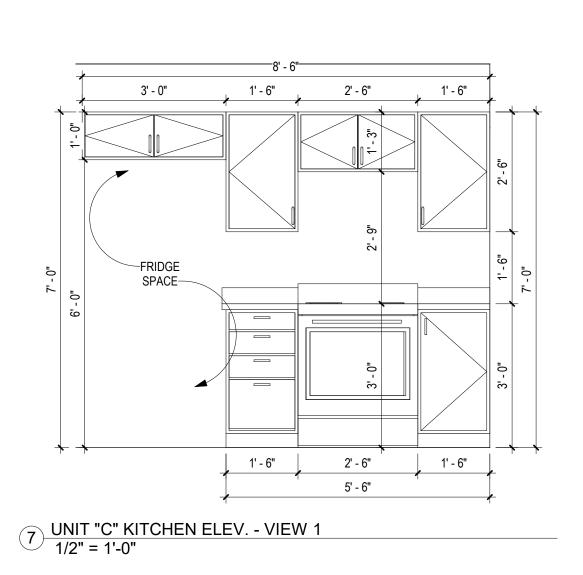
ELEVATIONS

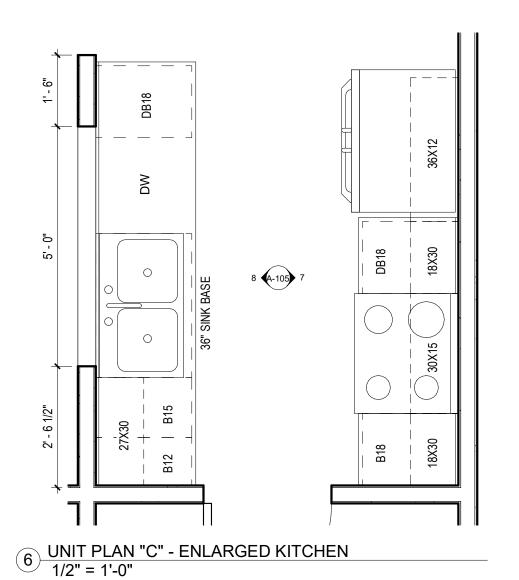
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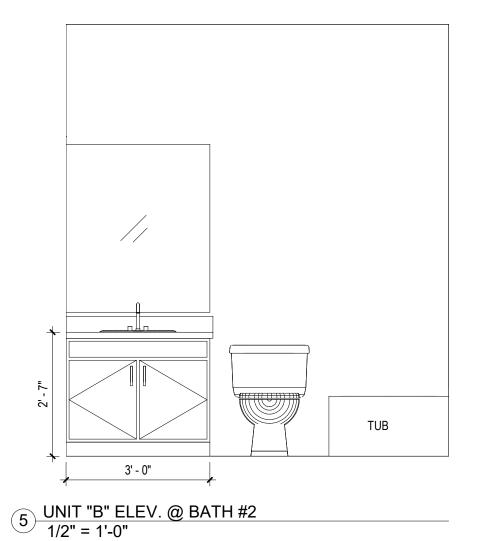


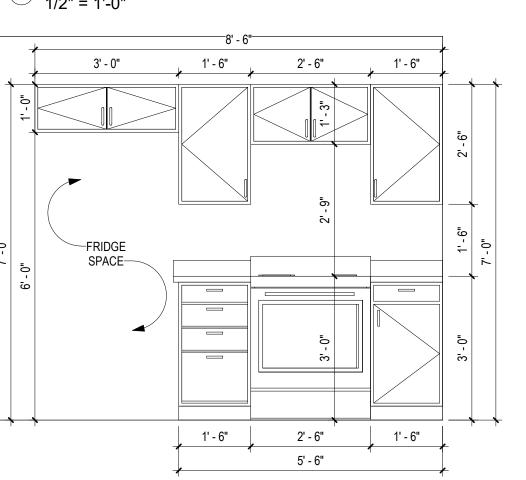


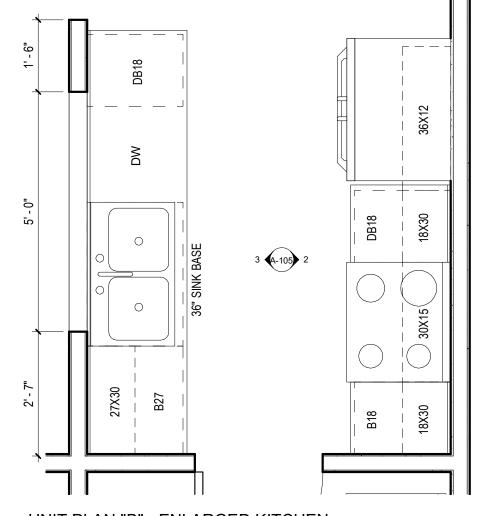












KITCHEN CABINETS

BATHROOM VANITIES

ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN

VANITY CABINETS WILL BE 30" HIGH

MANUFACTURER.

KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED

NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE

MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM

1-6"	DB18			
	MQ		36X12	
5 - 0"		BASB 3 (A-105) 2	DB18	
		3 (A-105) 2 3 (BY BY B	30X15	
2' - 7"	27X30 B27		B18	
\		<u></u>		
1 UNIT PLAN "B" - ENLARGED KITCHEN 1/2" = 1'-0"				

5' - 0"

4 UNIT "B" ELEV. @ M. BATH 1/2" = 1'-0"

3 UNIT "B" KITCHEN ELEV. - VIEW 2
1/2" = 1'-0"

2' - 3"

2' - 3" 3 1/2"

5' - 0"

48" HIGH HALF WALL W/ WOOD CAP-

3' - 0"

8' - 9"

1' - 6"

2' - 0" 1' - 6"

2 UNIT "B" KITCHEN ELEV. - VIEW 1 1/2" = 1'-0"

Description

Date

SCALE:

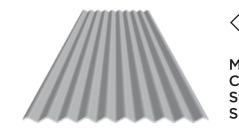
FRONT ELEVATION BLDG HT. -18'-02" LEFT ELEVATION BLDG HT. -22'-09" REAR ELEVATION BLDG HT. -RIGHT ELEVATION BLDG HT. -27'-04" 22'-09" TOTAL -BUILDING HT. -91'-00" 22'-09"

**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

2<u>ND FL</u>. <u>PL. HT.</u> 18' - 2" <u>Gas / Elec. Roof 2</u> 15' - 2" 2ND FL. FIN. FL. 9' - 2" B 1ST FLR. PL. HT. 8' - 0" Gas / Elec. Roof 1 6' - 0" _1<u>ST FL</u>. <u>FIN. FL.</u>





A EXTERIOR CORRUGATED PANEL

Manufacturer: Metal Sales Color: Silver Style: 2.5" Corrugated Size: 24" panel, 1/2" Rib Height



B DECK RAILING

Manufacturer: Deckorators Color: Black **Style:** Classic Aluminum Size: 8'x3' panels



C SHAKE SIDING

Manufacturer: Allura Color: Vary Style: Straight Edge Size: 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura Color: Vary **Style:** Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting Color: Antique Black
Style: Easton 60123, Full Cut-Off
Size: 17" x 12" x 11"



EXTERIOR

Color: White

Manufacturer: Synergy



G EXTERIOR DOOR

Manufacturer: Therma-Tru Color: Vary Model: SFGEM2115Z30LB Size: 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108



GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139



PT-1 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Urban Putty Color ID: SW 7532



Manufacturer: Sherwin Williams Color: Granite Peak Color ID: SW 6250



Manufacturer: Sherwin Williams Color: Urban Bronze

Color ID: SW 7048



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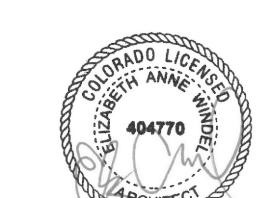
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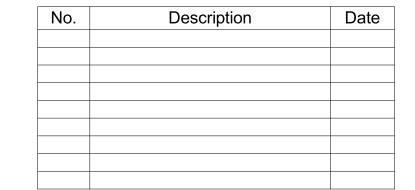
DOCUMENTS 2017-5 04.28.2020 MML / IPT

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ELEVATIONS

1/4" = 1'-0"

A-201 EXTERIOR



2ND FL. PL. HT.

≠-G/M\

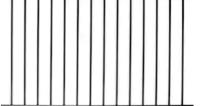
2 LEFT SIDE ELEVATION
1/4" = 1'-0"

1 FRONT ELEVATION 1/4" = 1'-0"

MATERIALS

Manufacturer: Metal Sales





Manufacturer: Deckorators Color: Black **Style:** Classic Aluminum



Color: Vary **Style:** Straight Edge **Size:** 12"x48", 5" Exposure



D LAP SIDING

Manufacturer: Allura Color: Vary Style: Traditional



E EXTERIOR SCONCE

Manufacturer: Sylvania Lighting Color: Antique Black Style: Easton 60123, Full Cut-Off **Size:** 17" × 12" × 11"



F EXTERIOR WINDOW

Manufacturer: Synergy Color: White



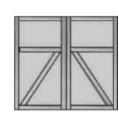
G EXTERIOR DOOR

Manufacturer: Therma-Tru Color: Vary Model: SFGEM2115Z30LB **Size:** 36"x 80"



H GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 108



GARAGE DOOR

Manufacturer: TBS Garage Doors Series: Cedar Accent Model: TBSD# 139



Manufacturer: Sherwin Williams Color: Acacia Haze Color ID: SW 9132



PT-2 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Backdrop Color ID: SW 7025



PT-3 EXTERIOR PAINT

Manufacturer: Sherwin Williams Color: Urban Putty Color ID: SW 7532



PT-4 EXTERIOR PAINT

Manufacturer: Sherwin Williams



PT-5 TRIM COLOR

Manufacturer: Sherwin Williams Color: Urban Bronze Color ID: SW 7048

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

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A-202 EXTERIOR

ELEVATIONS

1/4" = 1'-0" \frac{9}{5}

Date Description

2ND FL. FIN. FL.

<u>Gas / Elec.</u> Roof 1 6' - 0"

A EXTERIOR CORRUGATED PANEL Color: Silver



Size: 8'x3' panels













Color: Granite Peak Color ID: SW 6250

REAR ELEVATION
1/4" = 1'-0"

The Prospect Homestead Subdivision

Town of Mount Crested Butte, Colorado

BUILDING #8 - UNIT "C" 3 - BEDROOM PLANS LOTS 19-20



A	ABBREVIATI	ONS				MATERIAL INDICATION
	ABV ABOVE ACC ACCESSIBLE ACOUST ACOUSTICAL ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADF ACCESSIBLE DRINKING FOUNTAIN ADJ ADJUSTABLE/ ADJACENT ADH ADHESIVE AEWC ACCESSIBLE ELECTRIC WATER COOLER AFF ABOVE FINISH FLOOR AHJ AUTHORITY HAVING JURISDICTION ALAV ACCESSIBLE LAVATORY ALUM ALUMINUM ALT ALTERNATE AMI ACCESSIBLE MIRROR APPROX APPROXIMATE(LY) APPD APPROVED ASD ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE SOAP DISPENSER ASH ACCESSIBLE WINNAL B BEY BEYOND BD BOARD BLDG BUILDING BLK BLOCK BLKG BLOCKING BM BENCH MARK BO BY OTHERS BOT BOTTOM (OF) BRG BEARING BRKT BRACKET BSMT BASEMENT BTWN BETWEEN BUR BUILT UP ROOFING C CAB CABINET CB CHALKBOARD CC CENTER TO CENTER CEM CEMENT(IOUS) CI CAST IRON CFM CUBIC FEET PER MINUTE CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLR CLEAR CMP CORRUGATE METAL PIPE CO CLEANOUT CONC CONCRETE CONN CONNECTION CONC CONCRETE CONN CONTROL JOINT CL CELEAR CMP CORRUGATE METAL PIPE CO CLEANOUT COCOL COLUMN CONC CONCRETE CONN CONTROL JOINT CONC CONCRETE CONN CONTROL JOINT CL CENTERLINE CLG CEILING CLR CLEAR CMP CORRUGATE METAL PIPE CO CLEANOUT COCOL COLUMN CONC CONCRETE CONN CONTROLTON CONT CONTROLTON CONTROL CONTROL CONTROL CONTROL CONTROL CONTROL CONTROL CON	C (CONT.) CT CERAMIC TILE CTG COATING CTR CENTER CY CUBIC YARD(S) D DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DR DOOR DS DOWN SPOUT DWG DRAWING E E EAST EA EACH EF EACH FACE ELEC ELECTRIC(AL) ELEV ELEVATION EJ EXPANSION JOINT EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR F FA FIRE ALARM FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER BRACKET FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FH FIRE HOSE FHC FIRE HOSE CABINET FIN FINISH FIXT FIXTURE FLR FLOOR FLASH FLASHING FLEX FLEXIBLE FT FOOT FTG FOOTING G GA GAUGE GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GEN GENERAL GFRC GLASS FIBER REINFORCED CONCRETE GL GLASS GLZ TILE GLAZED TILE GPM GALLONS/MINUTE GR GRADE GYP GYPSUM	HB HOSE BIBB HD HEAD HDBD HEAD BOARD HDNR HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HTR HEATER HU HANDICAPPED URINAL HYD HYDRANT IC INTERCOM ID INSIDE DIAMETER IN INCHES INDIV INDIVIDUAL INSUL INSULATION INT INTERIOR INV INVERT J JST JOIST JT JOINT K K KIT KITCHEN L LAM LAMINATE LAV LAVATORY LGTH LENGTH LKR LOCKER LT LIGHT M MAS MASONRY MAS BLK MASONRY BLOCK MATL MATERIAL MAX MAXIMUM MB MARKER BOARD MC MISC. CHANNEL MECH MECHANICAL MFR MANUFACTURE(R) MH MANHOLE MI MIRROR MIN MINIMUM MO MASONRY OPENING MTD MOUNTED MTG HT MOUNTING HEIGHT MTL METAL N N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL	OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPP OPPOSITE P P PAGE PA PUBLIC ADDRESS PAAR PARALLEL PARTIN PARTITION PCP PORTLAND CEMENT PLASTER PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PNLG PANELING PR POURED GYPSUM PREFAB PREFABRICATED PT PAINT PTD PAINTED PTR PAPER TOWEL RECEPTACLE R R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECP RECEPTACLE REF REFRIGERATOR REINF REINFORCING REV REVERSE(D) REQD REQUIRED RFG ROOFING RPH ROLLED PAPER HOLDER S S SOUTH SCHED SCHEDULE SCR SHOWER CURTAIN ROD SD SOAP DISPENSER SECT SECTION SH SHOWER SIM SIMILAR SMLS SEAMLESS SND SANITARY NAPKIN DISPENSER SPCT SPECIAL COATING SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS SEAMLESS STEAL STD STORAGE	SUSP SUSPEND(ED) SY SQUARE YARD SYM SYMMETRICAL T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TB TACKBOARD TEL TELEPHONE TERM TERMINATE TERR TERRAZZO (TERRACE) TOC TOP OF CURB TOM TOP OF MASONRY TPD TOILET PAPER DISPENSER TRANS TRANSFORMER TS TUBE STEEL TYP TYPICAL U URINAL UNO UNLESS NOTED OTHERWISE US UTILITY SHELF V VENT VENTILATE VER VERIFY VTR VENT THRU ROOF VCT VINYL COMPOSITE TILE W W WEST WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANDE WH WALL HYDRANT WT T SECTION WWF WELDED WIRE FABRIC W/ WITH	EARTH/ PREPARED SUBGRADE GRAVEL, STONE CONCRETE CONCRETE MASONRY UNIT STONE BRICK SAND, GROUT, MORTAR IRON, STEEL ALUMINUM SHIM WOOD BLOCKING CERAMIC TILE CARPET ACOUSTIC PANEL CEILING SYSTEM GYPSUM WALLBOARD PLASTER FINISHED WOOD PLYWOOD RIGID INSULATION BATT INSULATION



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100% COMPLETE CONSTRUCTION

GENERAL NOTES

STANDARDS AND REGULATIONS

CONTRACTOR AND SUBCONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.

2.CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT, IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER IMMEDIATELY.

3.CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

4.CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-

5. ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATION, MANUFACTURER'S SPECIFICATIONS, INSTITUTE CRITERIA. CODE REQUIREMENTS. AND CURRENT PUBLISHED MANUFACTURER OR INSTITUTE INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL BE APPLICABLE TO MATERIALS SPECIFIED OR WORK

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OF THE WORK, THE CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE ARCHITECT WITH THE WORK IN QUESTION.

7. THE GENERAL AND SUBCONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

ADMINISTRATION OF THE WORK

1.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF

2.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND

KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

3.CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY

4.CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND GOVERNING AUTHORITIES, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.

5.CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH GOVERNMENT'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

6.EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. PROCEEDING WITH THE INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.

8.CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.

9.CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWENTY-FOUR HOURS PRIOR TO CLOSE-UP.

10.CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

THE GENERAL CONTRACTOR SHALL NOT SCALE THE DRAWINGS TO DETERMINE ANY DIMENSION. USE ONLY THE DIMENSIONS AS SHOWN ON THE DRAWINGS. SHOULD THERE BE A CRITICAL DIMENSION OMITTED OR AN UNCERTAINTY WITH THE DIMENSIONS SHOWN, VERIFY WITH THE ARCHITECT BEFORE PROCEEDING.

2.DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.

3.DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:

A.FACE OF STUD B.TO CENTERLINE OF COLUMNS, PARTY WALL, WINDOWS AND DOORS.

C.TO TOP OF STRUCTURAL DECK D.TO BOTTOM OF FINISHED CEILING

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND SUBMIT FOR REVIEW ANY SHOP DRAWINGS, MATERIAL SAMPLES AND MANUFACTURER'S PRINTED MATERIAL NECESSARY FOR AN ACCURATE COMPARISON TO BE MADE ON ANY ITEM SUBMITTED FOR INSTALLATION AND/OR SUBSTITUTION, ALL FINAL SELECTIONS SHALL BE MADE BY THE OWNER.

5. ALL CHANGES, OMISSIONS OR ADDITIONS TO THE SCOPE OF WORK DESCRIBED IN THESE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT

DEFINITIONS

1."ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.

2. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

3. "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE

4. "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.

5. "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITION THROUGHOUT.

6."+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

GENERAL CONSTRUCTION ISSUES

SUBMIT SHOP DRAWINGS FOR APPROVAL.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.

2. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED, OR TO BE USED FOR FORMS AND /OR TEMPORARY STRUCTURES.

3. ALL SURFACES SHALL BE PROPERLY PREPARED BEFORE THE APPLICATION OF FINISH MATERIALS.

4. TO BEGIN THE APPLICATION OF A FINISH MATERIAL MEANS THAT THE CONTRACTOR ACCEPTS THE SURFACE AND SUBSEQUENT RESPONSIBILITY FOR THE APPEARANCE OF THE FINAL FINISH. 5. ALL MATERIALS, FINISHES, AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THIS PROJECT SHALL BE

GUIDELINES SET FORTH IN THESE DOCUMENTS. 6. MILLWORK CONSTRUCTION TO CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK, DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER EXECUTION AND SHALL

INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AS WELL AS

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.

8. ALL MATERIALS, EQUIPMENT AND LABOR SHALL CARRY A MINIMUM OF ONE (1) YEAR WRITTEN WARRANTY / GUARANTEE AGAINST DEFECT STARTING FROM THE DATE OF APPROVAL FOR FINAL PAYMENT.

1. ALL WALL FRAMING LUMBER SHALL BE LODGEPOLE PINE UNLESS NOTED OTHERWISE.

...50LBS LIVE LOAD

2. ALL COMMON FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE UNLESS NOTED OTHERWISE. 3. OWNER AND/OR CONTRACTOR SHALL VERIFY THAT ALL FRAMING LUMBER MEETS ALL LOCAL CODE

4. ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

5. ANY FLOOR OR ROOF TRUSSES NOT INDICATED ON THE PLANS SHALL BE SIZED BY THE CONTRACTOR OR BY A QUALIFIED, LICENSED ENGINEER.

6. ALL LOADS (INCLUDING WIND, SNOW AND LATERAL) SHALL CONFORM TO ALL LOCAL BUILDING CODE REQUIREMENTS. THESE LOADS MUST BE CONFIRMED AND ALL ADJUSTMENTS MADE PRIOR TO CONSTRUCTION.

CONFIRM ANY NAILING SCHEDULES WITH YOUR LOCAL CODE REQUIREMENTS

ALL WALLS 12'-0" OR HIGHER MUST BE BALLOON FRAMED

MISC. NOTES

FLOOR LOADS...

1. ALL WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE DRAWN AT 45 DEGREES UNLESS NOTED OTHERWISE.

3. **DO NOT SCALE THESE DRAWINGS**. ALL CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED

4. CONFIRM ALL WINDOW OPENINGS WITH YOUR LOCAL EGRESS CODES.

OWNER

HOMESTEAD HOUSING, LLC 600 SOUTH WASHINGTON STREET

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PROJECT TEAM

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A-101.1	BUILDING #8 - 2ND FLC	OR PLAN
A-101.2	UNIT "C" EXT. LEFT PLA	ANS
A-101.3	UNIT "C" EXT. RIGHT PI	LANS
A-102	ROOF PLAN	
A-103	BUILDING #8 - ELECTR	ICAL PLAN 1ST FLOC
A-103.1	BUILDING #8 - ELECTR	ICAL PLAN 2ND FLOO
A-104	CONSTRUCTION DETA	ILS
A-104.1	PRESCRIPTIVE TABLE	
A-105	CABINET LAYOUT & EL	EVATIONS
A-201	EXTERIOR ELEVATION	S
A-202	EXTERIOR ELEVATION	S
	QUARE FOOTAGE PER UNIT	BUILDING PLANS SQ
	RIOR LEFT (CONDITIONED) ROOM	BUILDING #8 (CONDIT 1ST FLOOR
	40T FLOOD 607 0F	AND ELOOD

BUILDING #8 - 1ST FLOOR PLANS

COVER SHEET

PLOT PLAN

Sheet #

A-100

SHEET INDEX

Sheet Name

	3-BEDROOM	
	1ST FLOOR -	667 SF
	2ND FLOOR -	833 SF
	TOTAL (CONDITIONED) -	1,500 SF
	(UNCONDITIONED)	
	GARAGE -	314 SF
	TOTAL (UNCONDITIONED) -	314 SF
VIT "C"	EXTERIOR RIGHT (CONDITION	ONED)
	3-BEDROOM	
	1ST FLOOR -	667 SF
	2ND FLOOR -	831 SF
	TOTAL (CONDITIONED) -	1,498 SF
	,	,

(UNCONDITIONED)

TOTAL (UNCONDITIONED) - 319 SF

UARE FOOTAGE TOTAL (CONDITIONED) - 3,003 SF (UNCONDITIONED) TOTAL (UNCONDITIONED) - 633 S

Description

DOCUMENTS

Project number	2017-
Date	04.28.202
Drawn by	MMI
Checked by	EAW

Date



Southern Design Group, LLC

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017
Date	04.28.20
Drawn by	MN
Checked by	EA'

A-100 PLOT PLAN

Date

SCALE:

Description

As indicated

LINE TABLE LINE # DIRECTION LENGTH N74°52'25"W 4.50' N55°00'28"W 4.32'

6.84' N55°00'28"W 3.67' N74°52'25"W N88°31'08"W S46°41'23"W S30°47'45"E

CURVE TABLE

			CURVE TAE	BLE	
CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECT	TON CHORD LENGTH
C1	22.28'	31.98'	39°54'15"	S85°11'06"W	21.83'
C2	10.37'	92.00'	6°27'19"	N71°38'46W	10.36'
C3	21.53'	92.00'	13°24'39"	N61°42'47"W	21.48'
C4	20.53'	32.00'	36°45'53"	N36°37'31'W	20.18'
C5	7.16'	20.00'	20°31'13"	S65°32'08"E	7.12'
C6	21.48'	50.99'	24°08'02"	N59°34'51"E	21.32'
C7	19.63'	72.00'	15°37'23"	N26°44'39"W	19.57'
C8	25.70'	72.00'	20°27'07"	N44°46'54"W	25.56'
C9	24.47'	132.00'	10°37'20"	N69°33'45"W	24.44'
C10	7.31'	72.00'	5°48'53"	N77°46'52"W	7.30'
C11	30.51'	71.96'	24°17'33"	S69°04'58"W	30.28'
C12	24.81'	72.08'	19°43'29"	S47°04'03"W	24.69'
C14	93.88'	52.00'	103°26'12"	S53°24'29"W	81.64'
C19	38.83'	112.00'	19°51'58"	N64°56'26'W	38.64'
C20	62.81'	52.00'	69°12'43"	N20°24'06"W	59.06'
C25	99.09'	80.00'	70°58'09"	N34°59'10"E	92.88'
C26	74.40'	100.00'	42°37'34"	N21°48'41"W	72.69'
C27	86.53'	410.00'	12°05'34"	S80°19'59"E	86.37'
C28	159.52'	250.00'	36°33'37"	S87°26'00"W	156.83'
C31	18.13'	32.00'	32°27'42"	S17°55'14"W	17.89'
C32	17.37'	32.00'	31°05'32"	S49°41'51"W	17.15'
C33	18.12'	32.00'	32°26'50"	N02°01'10"W	17.88'
C34	8.52'	32.00'	15°15'33"	N21°50'02"E	8.50'
C35	22.73'	72.00'	18°05'25"	N89°44'01"W	22.64'
C36	21.30'	132.00'	9°14'36"	N59°37'47"W	21.27'
C37	11.96'	72.00'	9°30'56"	S14°10'30"E	11.94'
C38	16.01'	20.00'	45°51'31"	S32°20'47"E	15.58'

SITE TABLE
1/8" = 1'-0"

N88°31'11"W

38.14'

-SNOW

STORAGE

EASMENT-

C35

1 PLOT PLAN 1" = 10'-0"

L5

LOT 20

2,205 SF

UNIT "C"

EXTERIOR LEFT -

LH GARAGE

UNIT "C"

EXTERIOR RIGHT -

LH GARAGE

LOT 19

1,697 SF

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS: ALL DOOR SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

55' - 6"

2' - 9 1/2"

3' - 6"

48" HIGH WALL WITH-

Family Room

263 SF

WOOD CAP

3' - 0"|x 5' - 0<u>"</u> ||

8' - 2"

3' - 0" x 5' - 0"

Breakfast

70 SF

68 SF

Utility

40 SF

55' - 6"

4' - 1 1/2"

4' - 0 1/2"

27' - 9"

9' - 10"

HVAC (8)

Powder

36 SF

19 SF 🗓

=====∺4

27' - 9"

19' - 7"

_ 3' - 0" x 5' - 0

3' - 6"

48" HIGH WALL WITH

Family Room

253 SF

WOOD CAP

_ 3' - 0" x 5' - 0<u>"</u> |

E/M+°

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.

27' - 9"

E/M→o o

17 SF

27' - 9"

=====#

Powder

HVAC 68

9' - 6"

8' - 5 1/2"

3' - 0" x 5' - 0"

Breakfast

68 SF

Kitchen

66 SF

4' - 1"

4' - 4 1/2"

19' - 3 1/2"

DOOR INFORMATION:

- ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR. INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
- GARAGE TO HOUSE DOOR: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR
- GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL FIBER BATTS IN DOUBLE FRAMED WALL

ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL

- AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL
- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.

ENERGY ANALYSIS AND RATINGS SPECIFICATIONS.

- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS.
- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL
- CHANGES SHOULD BE PART OF THE PROJECT COST. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNABLE FROM THE EXISITING CONDITIONS OR THE PROJECT DOCUMENTS
- REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF NEW WORK.
- TYPICAL TOP OF FIRST FLOOR SUBFLOOR ELEVATION IS REFERENCED AS 0'-0". CONTRACTOR SHALL VERIFY BUILDING FINISH FLOOR ELEVATIONS WITH ACTUAL CONDITIONS. COORDINATION OF ACTUAL GRADE WITH CIVIL
- PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. MEP SUBCONTRACTORS TO PRESENT A SCHEMATIC DIAGRAM INDICATING ALL LOCATIONS PRIOR TO BEGINNING THE NEW WORK.
- CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHER TIGHT
- WATERTIGHT, AIRTIGHT, ETC. PERFORMANCE. ALL DOOR HARDWARE SHALL BE COORDINATED WITH OWNER BY BUILDING
- ALL EXPOSED CABINET ENDS TO HAVE FINISHED PANELS, INCLUDING BUT NOT LIMITED TO END OF CABINET RUN ADJACENT TO REFRIGERATOR, LOCATIONS
- OF VERTICAL OFFSETS. SEE ELECTRICAL AND REFLECTED CEILING PLANS FOR ELECTRIC DEVICE
- LAYOUTS. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT 10' ON CENTER VERTICALLY, TYPICAL. CONTRACTOR TO PROVIDE FIRE BLOCKING AT FIRE SEPARATION WALLS AT ALL BACK-TO-BACK ELECTRICAL
- ALL PENETRATIONS INTO FIRE-RATED ASSEMBLIES ARE TO BE FIRESTOPPED WITH UL APPROVED FIRESTOPPING ASSEMBLIES. UL INFORMATION SHALL BE PROVIDED BY TRADE RESPONSIBLE FOR PENETRATION.
- PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS REQUIRED AND IN
- ACCORDANCE WITH 2015 IRC.
- PROVIDE SOUND ATTENUATION INSULATION OVER ALL BATHROOM CEILINGS. TYPICAL ALL UNITS.
- PRIME, PAINT, AND SEAL EXISTING WALLS COLUMNS, AND CEILINGS AS REQUIRED PRIOR TO INSTALLATION OF MEP/TELEPHONE/SECURITY INSTALLATION.
- ALL UNITS TO HAVE APPROPRIATE NUMBER OF SMOKE DETECTORS INSTALLED, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP PER CODE, INCLUDING (1) IN EACH BEDROOM. ALL UNITS TO HAVE APPROPRIATE NUMBER OF CARBON MONOXIDE DETECTORS, HARD-WIRED, WITH BATTERY BACKUP PER CODE.
- SMOKE DETECTION / ALARMS SHALL BE INSTALLED PER SECTION R314 OF THE
- CARBON MONOXIDE DETECTION SHALL BE INSTALLED PER SECTION R315 OF THE 2015 IRC.

PLUMBING GENERAL NOTES

WITH ARCHITECT

- THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR
- STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING. COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE
- CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS. ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.
- COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

No.	Description	Date



Southern Design Group, LLC

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

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CONSULTANTS:

STRUCTURAL

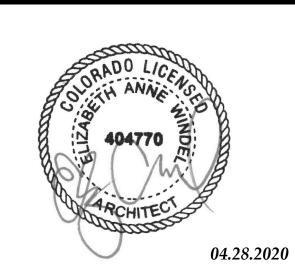
Williams Engineering

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#8

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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101 **BUILDING #8 - 1ST** FLOOR PLANS

SCALE: As indicated

1 BUILDING #8 - 1ST FLOOR PLAN [√] 1/4" = 1'-0"

WINDOW INFORMATION: ALL WINDOW SIZES ARE INDICATED ON PLANS:

U-VALUES - .32-.29

EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



DOOR INFORMATION:

ALL DOOR SIZES ARE INDICATED ON PLANS:

ENTRY/PATIO DOORS: RELIABILT 6-PANEL STEEL ENTRY DOOR.

- INTERIOR DOORS: MASONITE CHEYENNE 2-PANEL SMOOTH DOOR (HOLLOW
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 - (SOLID CORE). 20-MIN. RATED
- MECHANICAL ROOM DOOR: RELIABILT FLUSH LAUAN STEEL DOOR GARAGE DOOR: STANDARD RAISED PANEL 16X7 CHI MODEL# 2250

INSULATION

- R15 BLOWN WALL: CERTAINTEED INSULSAFE SP APPLIED TO ALL EXTERIOR WALL CAVITIES
- ATTIC: CLOSED CELL FOAM SPRAY @ R49 ENERGY SEAL PACKAGE: SOUDAL (WINDOW DOOR) FOAM OR CAULK ALL
- WINDOWS, DOORS, TOP-PLATE, VERTICAL SEAMS & ALL HOLE PENETRATIONS. SOUND DAMPENING: AT PARTY WALLS - ACOUSTIC FIBERGLASS OR MINERAL
- FIBER BATTS IN DOUBLE FRAMED WALL AIR SEALING: AIR SEALING TO EXCEED ENERGY STAR. SEAL BETWEEN WALL BOTTOM PLATES AND DECK WITH A BEAD OF CONSTRUCTION ADHESIVE. BLOWER DOOR TESTING REQUIRED TO MEET OR EXCEED RESIDENTIAL
- ENERGY ANALYSIS AND RATINGS SPECIFICATIONS. 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS.
- GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- ALL WORK NEW UNLESS NOTED OTHERWISE
- ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, HANDICAP, AND LIFE SAFETY CODES AND REQUIREMENTS
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST
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No.	Description	Date



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www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

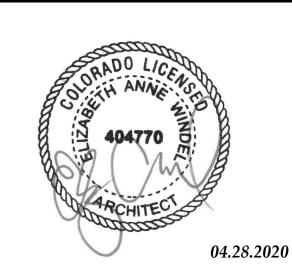
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100% COMPLETE CONSTRUCTION **DOCUMENTS**

2017-5 Project number 04.28.2020 **EAW** Checked by

A-101.1 BUILDING #8 - 2ND FLOOR PLAN

SCALE:

As indicated

1 BUILDING #8 - 2ND FLOOR PLAN

··· 1/4" = 1'-0"

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

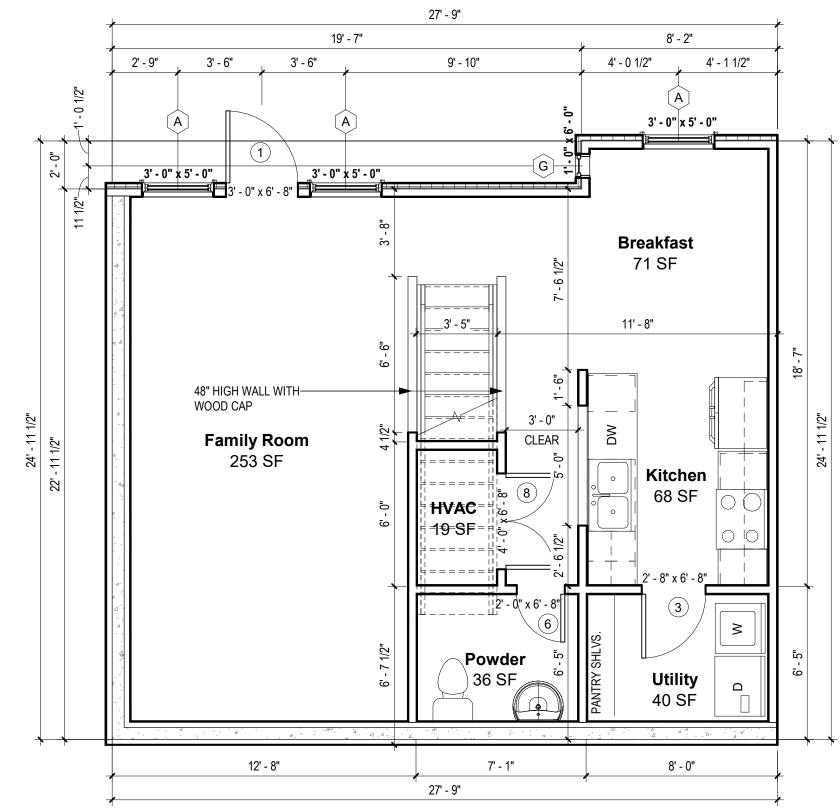
27' - 9" 11' - 8" 12' - 8" 3' - 5" 7' - 6 1/2" 4' - 1 1/2" 3' - 6" COV. BALCONY 3'-0" x 5'-0" 3'-0" x 6'-8" 3' - 0" x 5' - 0" 3' - 0" * 5' - 0" WIC 17 SF Bedroom #2 128 SF M. Bedroom 182 SF -48" TALL WALL W/ WOOD CAP FOAM-IN UNDER SHOWER PAN UNDER 42" X 30" SHOWER-M. Bath Hall WIC LINEN 24 \$F 3' - 5 1/2" 3' - 5" WIC 2' - 0" x 6' - 8" 2' -0" x 6' - 8" LINEN 128 SF 1-Car Garage 9' - 0" **x** 8' - 0" CONCRETE DRIVEWAY-4' - 0 1/2" 4' - 0 1/2" ___1' - 6" 8' - 1" 6' - 4" 6' - 4" 3' - 11" 11' - 2" 12' - 8" 27' - 9"

UNIT PLAN C - EXT. LEFT 2ND FLOOR -

2 LH GARAGE 1/4" = 1'-0"

WINDOW INFORMATION: **ALL WINDOW SIZES ARE INDICATED ON PLANS:**

- U-VALUES .32-.29
- 2. EGRESS AREA MEETS IRC 2015, SECTION 310.2.1 MINIMUM OF 5.7 SF.



UNIT PLAN C - EXT. LEFT 1ST FLOOR -

1 LH GARAGE 1/4" = 1'-0"

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- (SOLID CORE). 20-MIN. RATED
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INSULATION

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- 1" RIGID INSULATION (R-5 DOW BLUE BOARD OR EQUIVALENT) ON EXTERIOR SIDE OF FOUNDATION WALL, 3' BELOW SLAB

PLAN GENERAL NOTES

- SEE COVER SHEET FOR GENERAL NOTES.
- FRONT PORCH / REAR PATIO PER STRUCTURAL PLANS. GARAGE SLAB TO SLOPE A MIN. 1/4" PER FOOT TO DOOR.
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WITH ARCHITECT.

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No.	Description	Date



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207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL

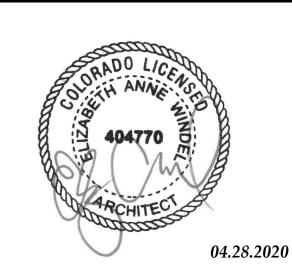
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100% COMPLETE CONSTRUCTION DOCUMENTS

2017-5
04.28.2020
MML
EAW

A-101.2 UNIT "C" EXT. LEFT **PLANS**

As indicated

SCALE:

NOTES *SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

3' - 6"

3' - 6"

COV. BALCONY

3'-0" x 5'-0" 3'-0" x 6'-8" 3'-0" x 5'-0"

M. Bedroom

182 SF

FOAM-IN UNDER

SHOWER PAN

42" X 30" SHOWER- 2' - 4" x 6' - 8"

1-Car Garage

285 SF

9' - 0" x 8' - 0"

11' - 0"

CONCRETE

DRIVEWAY-

12' - 9"

6' - 4"

3' - 5"

WIC

17 SF

Hall

PORCH

LINEN

11' - 7"

3' - 0" 🗴 5' - 0"

4' - 1"

7' - 6"

Bedroom #2

-48" TALL WALL

W/ WOOD CAP

Bath #2

FOAM IN

UNDER

15/SF

Bedroom #3

4' - 0 1/2"

4' - 0 1/2"

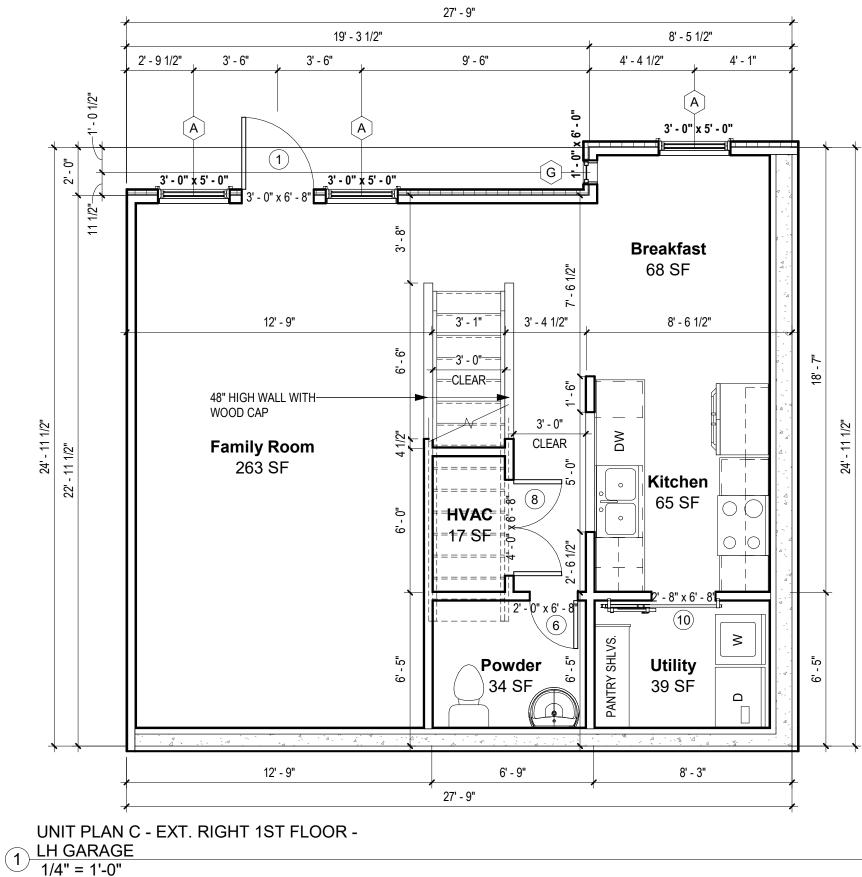
8' - 1"

1' - 11 1/2" 1' - 6"

3' - 11"

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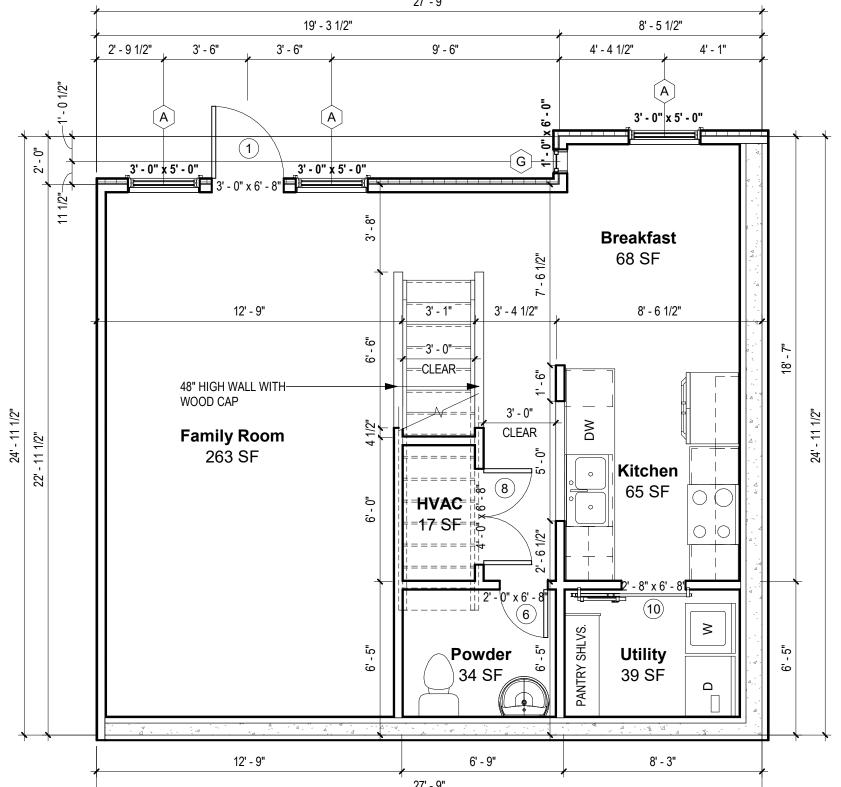
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BACKUP PER CODE.

WITH ARCHITECT.

THE CONTRACTOR SHALL COOORDINATE THE ROUTING AND PATH OF PIPING WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THIS CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR PIPING AS NEEDED TO INSTALL THE PLUMBING SYSTEM TO CLEAR STRUCTURE AND OTHER SYSTEMS IN CONFLICT WITH PIPE ROUTING.

COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.

ALL WATER PIPING SHALL BE 3/4" UNLESS NOTED OTHERWISE NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. COORDINATE EXACT ROUTING OF ALL PIPING WITH OTHER TRADES, EQUIPMENT AND PLUMBING FIXTURES.

COORDINATE LOCATIONS OF FLOOR DRAINS WITH MECHANICAL EQUIPMENT NOT ALL CLEANOUTS ARE SHOWN FOR DRAWING CLARITY. CONTRACTOR SHALL INSTALL ALL CODE REQUIRED CLEANOUTS. COORDINATE LOCATIONS

> Date Description

ARCHITECTS

Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

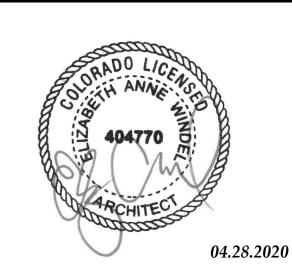
Williams Engineering

400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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100% COMPLETE CONSTRUCTION **DOCUMENTS**

Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-101.3 UNIT "C" EXT. RIGHT **PLANS**

SCALE: As indicated

UNIT PLAN C - EXT. RIGHT 2ND FLOOR -

6' - 5"

2 LH GARAGE 1/4" = 1'-0"

NOTES

*SPRINKLERS WILL BE PER APPLICABLE NFPA CODE

GENERAL NOTES:

- ALL RAFTERS TO BE 2X6'S @ 24" O.C. UNLESS NOTED OTHERWISE.
 ROOF PITCH 6:12 UNLESS NOTED OTHERWISE ON
- 3. ALL HIPS, RIDGES AND VALLEYS TO BE 2X8'S UNLESS NOTED OTHERWISE. 4. ALL SPANS OVER 14' WILL BE BRACED AS INDICATED
- ON PLAN.
 5. PROVIDE HURRICANE CLIPS ON EVERY OTHER RAFTER.

ELEVATION NOTES:

1. AS INDICATED ON PLOT PLAN (A-100) AND EXTERIOR ELEVATIONS (A-201)

ROOF STYLE:

1. ALL ROOF PLANES WILL BE 6:12 PITCH
2. PLATE HEIGHTS ARE NOTED ON EXTERIOR

ELEVATIONS (A-201)



Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

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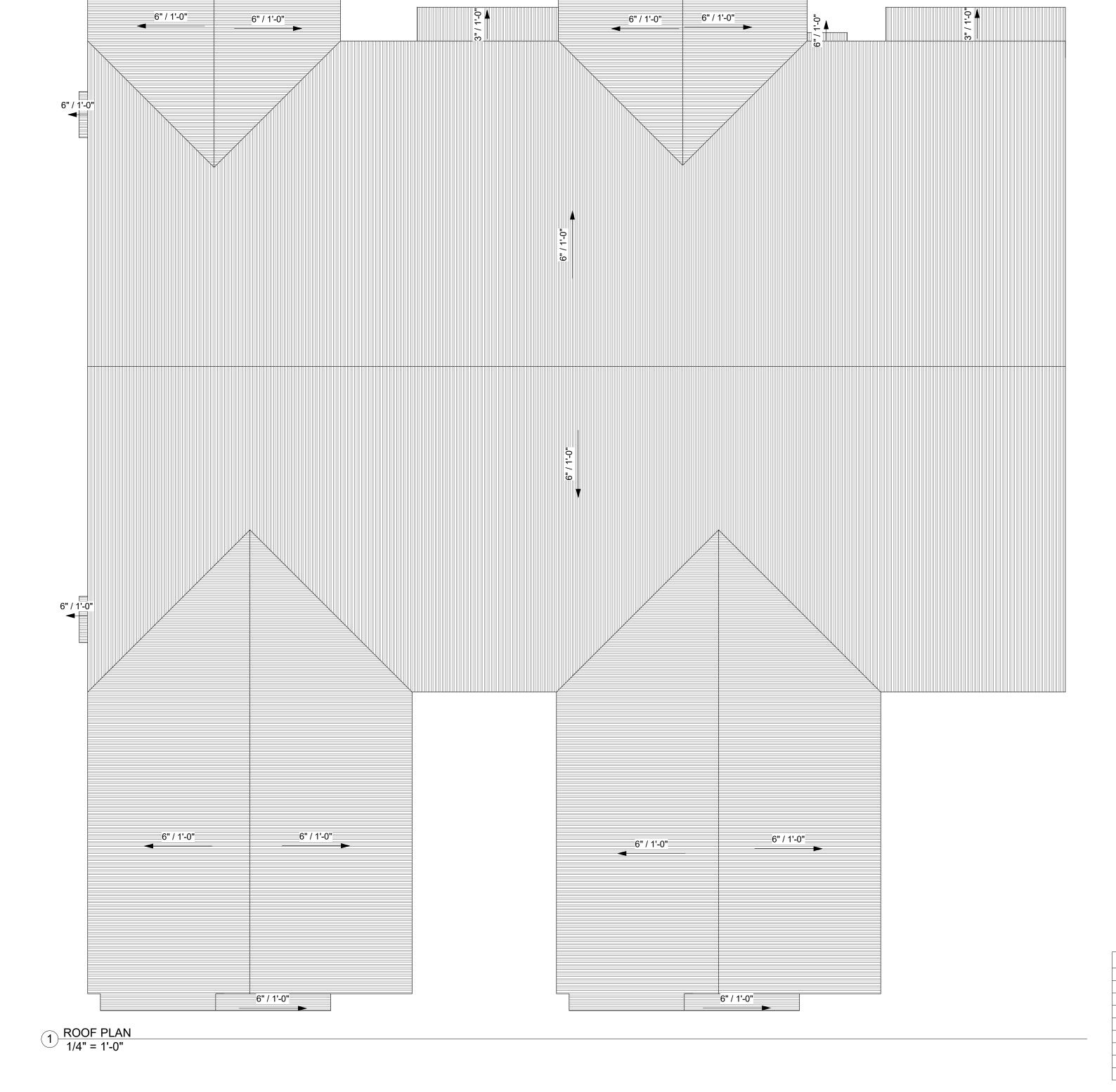
Project number	2017
Date	04.28.20
Drawn by	M
Checked by	EA
· . · . · . · . · . · . · . · . ·	

A-102 ROOF PLAN

Date

Description

As indicated



GENERAL ELECTRICAL NOTES:

- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE OF DIFFUSER NECK UNLESS NOTED OTHERWISE.
- THE MECHANICAL SUBCONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF THE DUCTWORK AND IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR DUCTWORK AND PIPING AS NEEDED TO INSTALL THE HVAC SYSTEM AS IT IS DESIGNED WITHIN THE STRUCTURE.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LONG SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH OF DRYER VENT FOR EACH INSTALLATION.

ELECTRICAL LEGEND / SCHEDULE XA WALL MOUNT FIXTURE, 36" WIDE **●**K BATHROOM EXHAUST FAN ▲ PHONE / DATA B SURFACE MOUNT FIXTURE, 11 1/4" DIA. C SURFACE MOUNT FIXTURE, 15 1/4" DIA. D WALL MOUNT FIXTURE, 24" WIDE ▲ CABLE ZE 5-LIGHT CHANDELIER 52" FAN, WITH LIGHT KIT 52" CEILING FAN (ENERGY STAR CERTIFIED) H GOOSENECK LIGHT - FULL CUT-OFF WITH LIGHT KIT, MEDIUM BASE BULBS, 60W MAX, PROVIDE CFL BULBS □ RECESSED CAN LIGHT, PROVIDE CFL BULBS *SEE ARCHITECT SPECIFICATIONS FOR LIGHTING FIXTURE SELECTIONS*



CONSULTANTS:

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Ardmore, OK 73401

580.798.0373 (PH)

www.sdg-architects.com

CO License #: 404770

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

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2017-5 04.28.2020 Checked by

> A-103 BUILDING #8 -**ELECTRICAL PLAN**

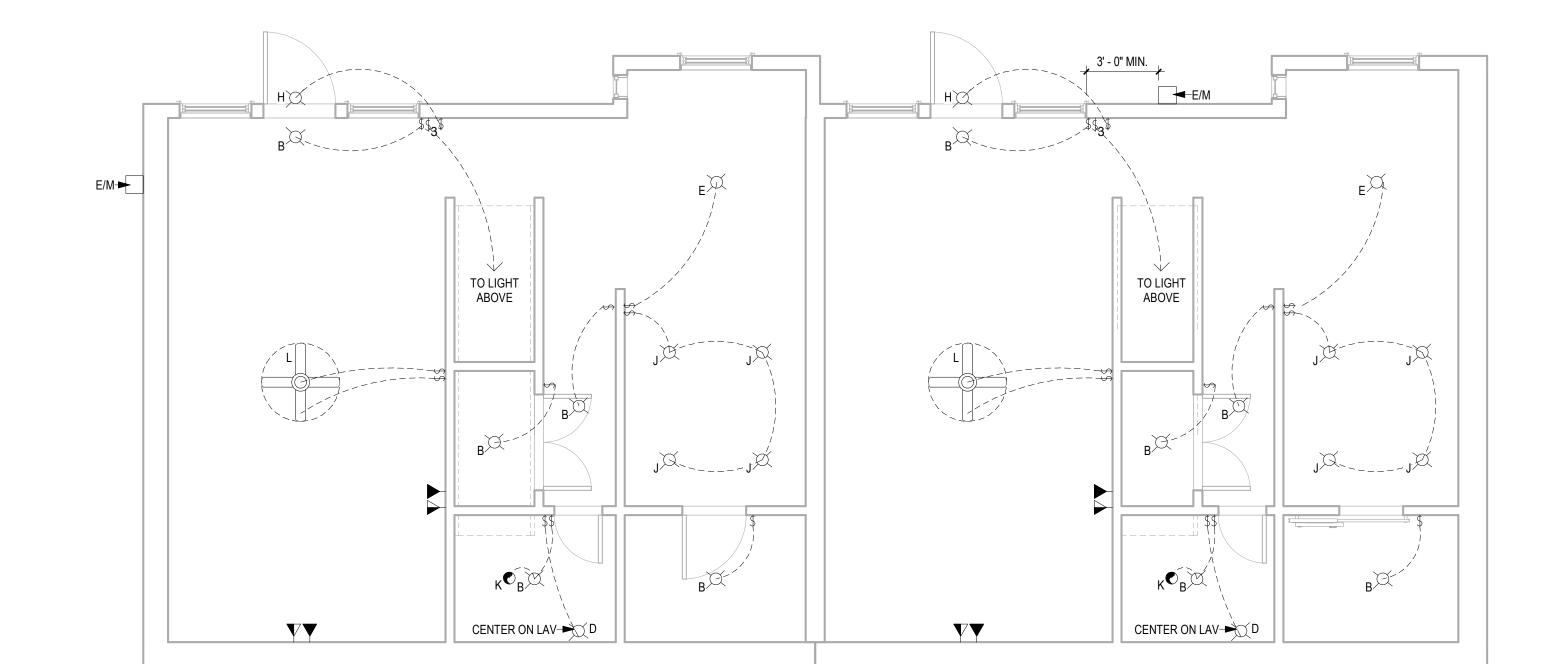
1ST FLOOR

SCALE:

Date

Description

As indicated



1 ELECTRICAL PLAN - 1ST FLOOR 1/4" = 1'-0"

GENERAL ELECTRICAL NOTES:

- OUTLETS, UNLESS SHOWN OTHERWISE ON PLAN, WILL BE PER APPLICABLE CODE
- 2. ALL ELECTRICAL TO BE RAN IN CONDUIT ALONG WALL FACE. DO NOT RECESS OUTLETS IN EXTERIOR WALLS.
- ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH WALL COLOR.
- ALL WORK NEW UNLESS NOTED OTHERWISE.
- INSTALL ALL FIRE ALARMS AND SMOKE DETECTORS IN ACCORDANCE WITH IRC 2015.
- CO2 DETECTORS SHALL BE INSTALLED AT THE OUTSIDE OF EVERY SLEEPING AREA AND LOCATED ON A WALL OR CEILING AS PER THE MANUFACTURER'S INCLUDED INSTRUCTIONS.
- 7. ALL WORK SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) AND ALL LOCAL BUILDING CODES.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT, DETECTORS, ETC. WITH MECHANICAL CONTRACTOR.
- 10. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.
- 11. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
- 12. 5/8" (#5) REBAR GROUND ROD UNDER SERVICE PANEL IN GARAGE.

GENERAL MECHANICAL NOTES:

- BROAN ZB80 INSTALLED IN BATH #2 FOR MECHANICAL WHOLE HOUSE VENTILATION.
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- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS. PROVIDE CEILING RADIATION DAMPERS AT ALL CEILING GRILLES AND DIFFUSERS LOCATED IN RATED FLOOR CEILING ASSEMBLY.
- TRANSITION DUCTWORK AS REQUIRED TO CONNECT TO AIR HANDLERS.
- PROVIDE RECESSED DRYER WALL BOX AT DRYER VENT ROUGH-IN. DRYER VENT DUCTS SHALL UTILIZE LON SWEEP DRYER ELBOWS. PROVIDE DRYER PLACARD AT WALL BOX LISTING THE NET EQUIVALENT LENGTH (DRYER VENT FOR EACH INSTALLATION.

	ELECT	FRICAL LEGEND / SCHEDULE	
SS	ΏA	WALL MOUNT FIXTURE, 36" WIDE	●K BATHROOM EXHAUST FAN
ID IS	⊠В	SURFACE MOUNT FIXTURE, 11 1/4" DIA.	A PHONE / DATA
PING	ЖС	SURFACE MOUNT FIXTURE, 15 1/4" DIA.	
IG	ΧD	WALL MOUNT FIXTURE, 24" WIDE	▲ CABLE
	ŒΕ	5-LIGHT CHANDELIER	52" FAN, WITH LIGHT KIT
ONG I OF	ЖF	EXTERIOR FLOODLIGHT	
	ЖH	GOOSENECK LIGHT - FULL CUT-OFF	52" CEILING FAN (ENERGY STAR CERTIFIED) WITH LIGHT KIT, MEDIUM BASE BULBS,
	ΧJ	RECESSED CAN LIGHT, PROVIDE CFL BULBS	60W MAX, PROVIDE CFL BULBS
		SEE ARCHITECT SPECIFICATION	ONS FOR LIGHTING FIXTURE SELECTIONS



ARCHITECTS

Southern Design Group, LLC

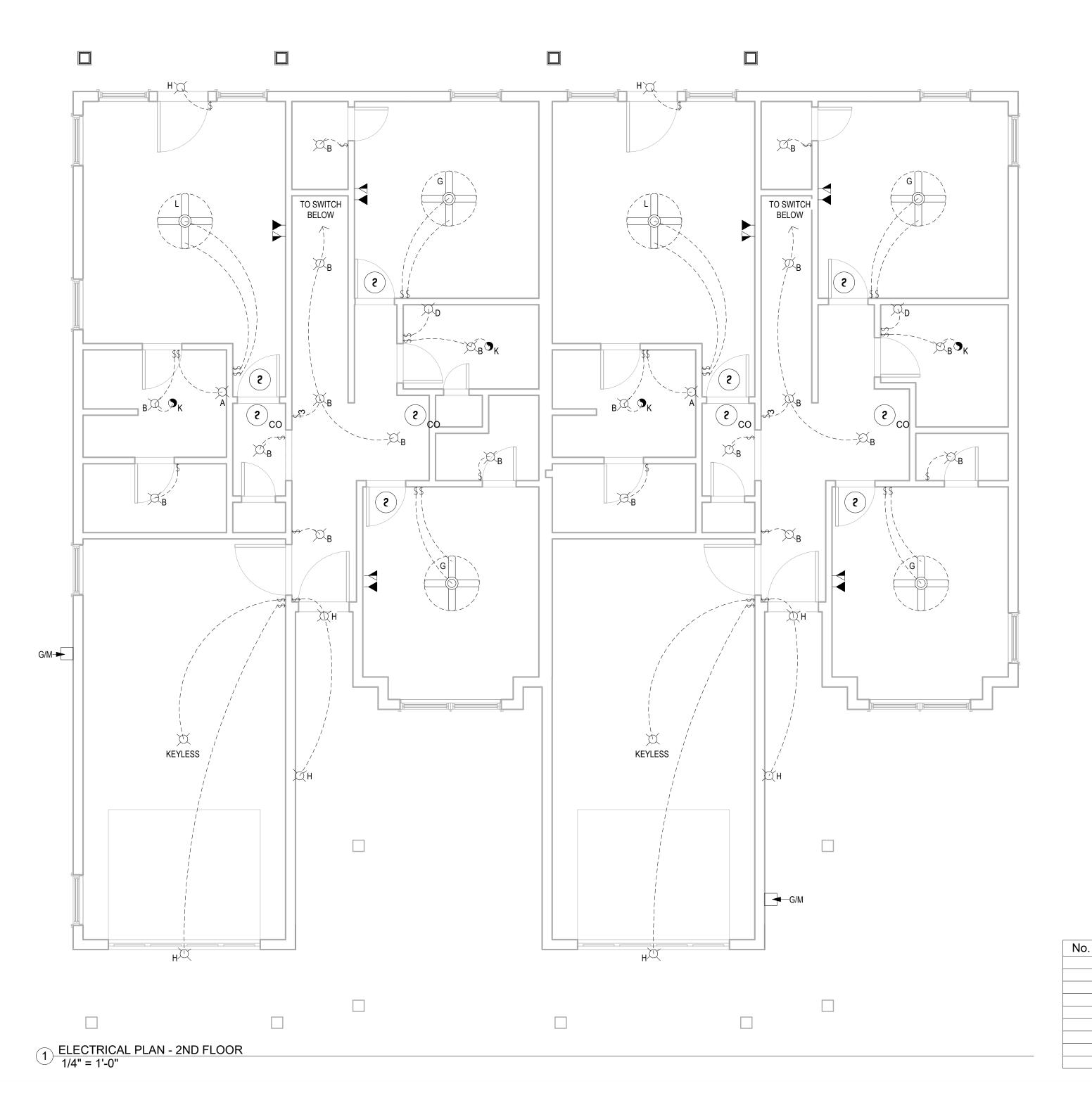
207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

CONSULTANTS:

STRUCTURAL

(PH) 970.641.2499

Williams Engineering 400 N. Main Street Gunnison, CO 81230



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2017-5 **Project number** 04.28.2020 Checked by

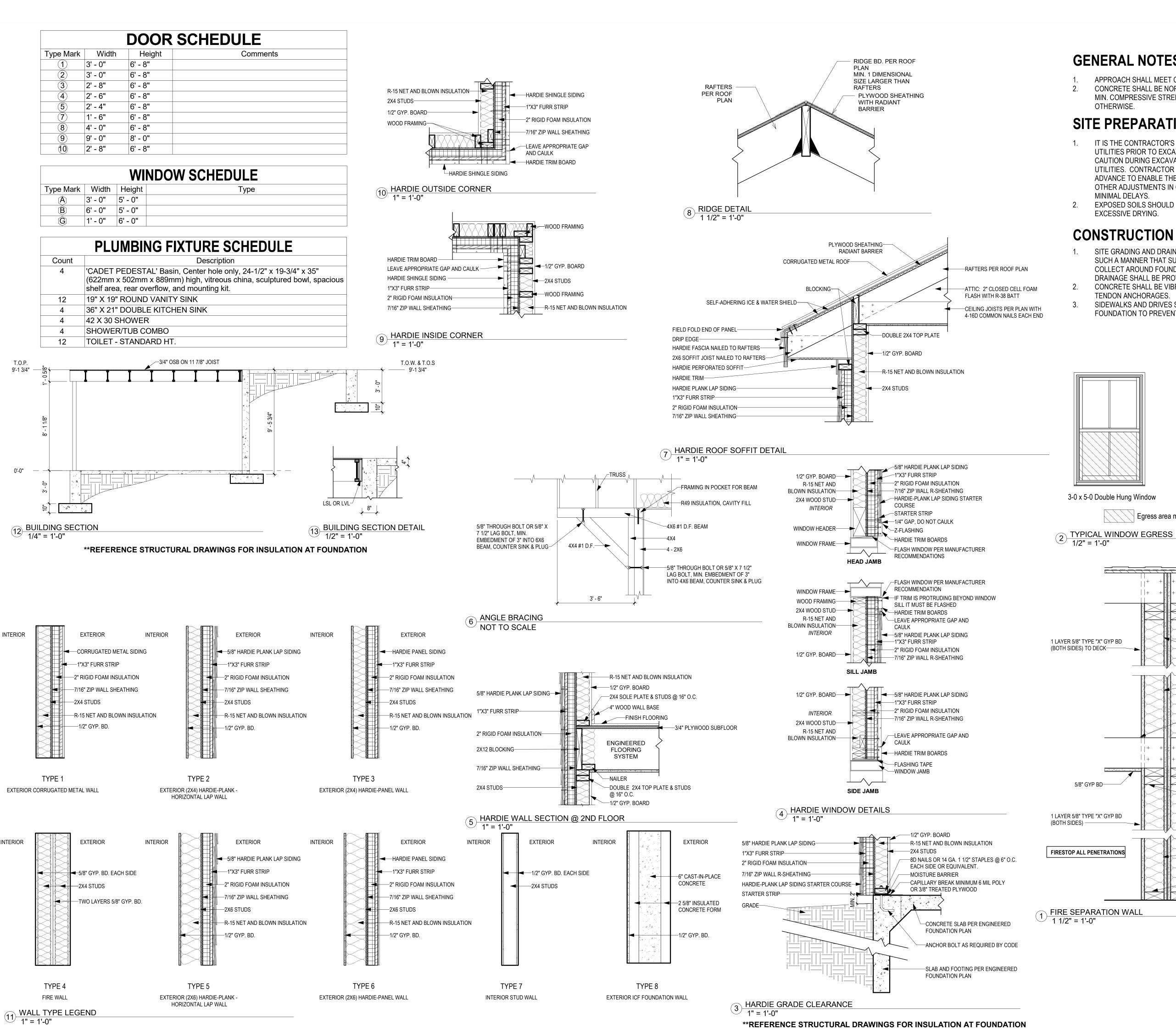
A-103.1 BUILDING #8 -**ELECTRICAL PLAN**

2ND FLOOR SCALE:

Date

Description

As indicated



GENERAL NOTES:

- APPROACH SHALL MEET CITY SPECIFICATIONS.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE.

SITE PREPARATION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.

CONSTRUCTION NOTES:

- SITE GRADING AND DRAINAGE SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION/DRIVES. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.

6-0 x 5-0 Twin Double Hung Window

-2X6 WD RAFTERS PER ROOF FRAMING PLAN

-3-1/2" GLASS FIBERINSULATION

FRICTION FIT BETWEEN STUDS

-2X4 WD STUDS, MAX 16" O.C.

& GYP BD

—2X4 WD STUDS

-FIRE FOAM GAPS AT JOIST

-1 LAYER 5/8" TYPE "X" GYP BD (BOTH SIDES)

Description

Date

-2X4 WD STUDS, MAX 16" O.C.

-2X4 TREATED BOTTOM PLATES

-CLNG JOISTS PER INDIVIDUAL FLOOR

-1 LAYER 5/8" TYPE "X" GYP BD (BOTH SIDES) TO DECK

ARCHITECTURAL SHINGLE

1/2" PLYWOOD SHEATHING

15# FELT PAPER

Egress area meets IRC Section 310.1.1 minimum of 5SF.

SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO PREVENT PONDING OF WATER



CONSULTANTS:

STRUCTURAL

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA

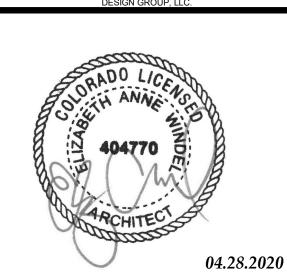
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Project number	2017-5
Date	04.28.2020
Drawn by	MML
Checked by	EAW

A-104 CONSTRUCTION **DETAILS**

As indicated

SCALE:

2015 Prescriptive R-value Table Compliance Specification Declare to the Code official that the pathway for compliance is the prescriptive path



TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE	FENESTRATION U-FACTOR	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC b, e	CEILING Fi-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL R-VALUE	SLAB ^d R-VALU E & DEPTH	SPACE ^G WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ⁹	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. L-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the insulation shall not be less than the F-value specified in the table.
- b. The fenestration L-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge F-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second F-value applies when more than half the insulation is on the interior of the mass wall.

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2017-5 **Project number** 04.28.2020 Checked by

> A-104.1 **PRESCRIPTIVE**

TABLE

SCALE:

13

No.	Description	Date

ARCHITECTS Southern Design Group, LLC 207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA

CONSULTANTS:

STRUCTURAL

Williams Engineering 400 N. Main Street Gunnison, CO 81230 (PH) 970.641.2499

CO License #: 404770



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100% COMPLETE CONSTRUCTION

DOCUMENTS Project number

2017-5 04.28.2020 Date Drawn by MML EAW Checked by

A-105 CABINET LAYOUT & **ELEVATIONS**

As indicated

SCALE:

Date Description

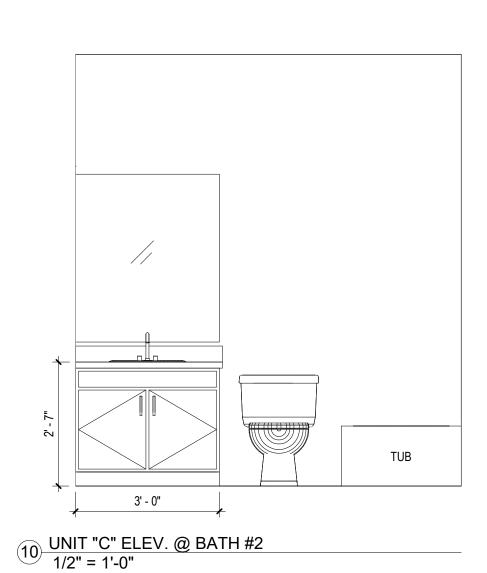
KITCHEN CABINETS

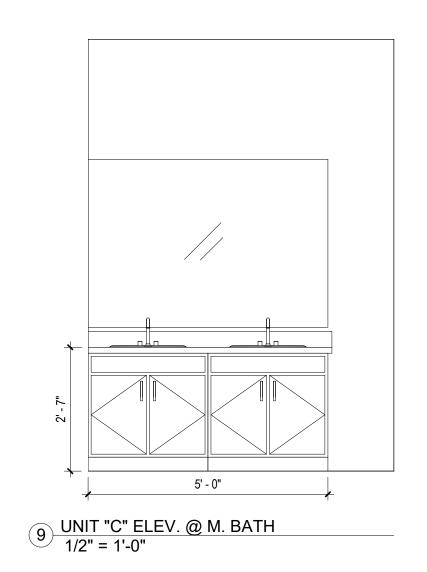
KITCHEN BASE CABINETS WILL BE 36" HIGH COUNTERTOP & BACKSPLASHES: SEE SPECIFICATION SECTION 06415 GRANITE

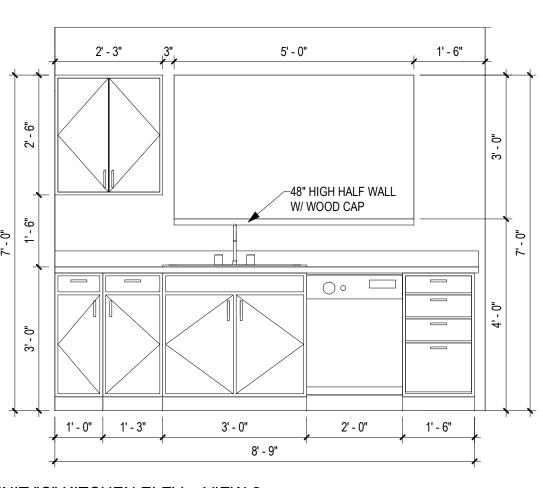
BATHROOM VANITIES

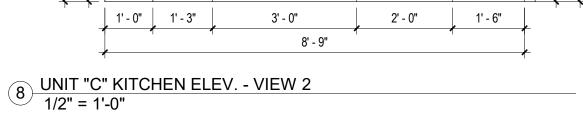
VANITY CABINETS WILL BE 30" HIGH COUNTERTOPS & BACKSPLASHES: ONE-PIECE MOLDED SINK/COUNTERTOP, CULTURED MARBLE, COLOR TO BE DETERMINED FROM STANDARD COLORS AVAILABLE FROM MANUFACTURER.

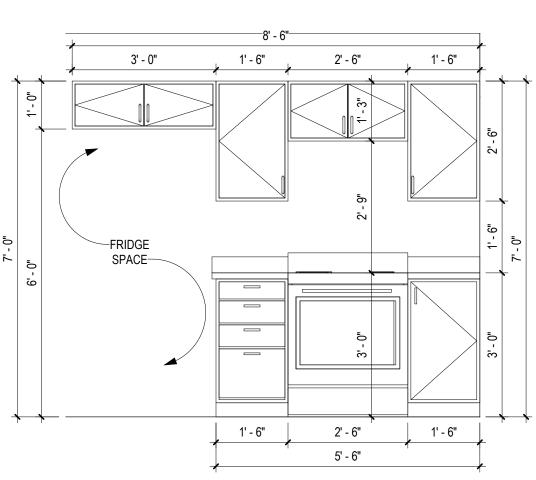
NOTE: EQUIPMENT SHOWN ON ELEVATIONS IS FOR PLACEHOLDER. DIMENSIONS & TYPE ARE CORRECT, BUT STYLE MAY VARY FROM WHAT IS SHOWN











7 UNIT "C" KITCHEN ELEV. - VIEW 1
1/2" = 1'-0"

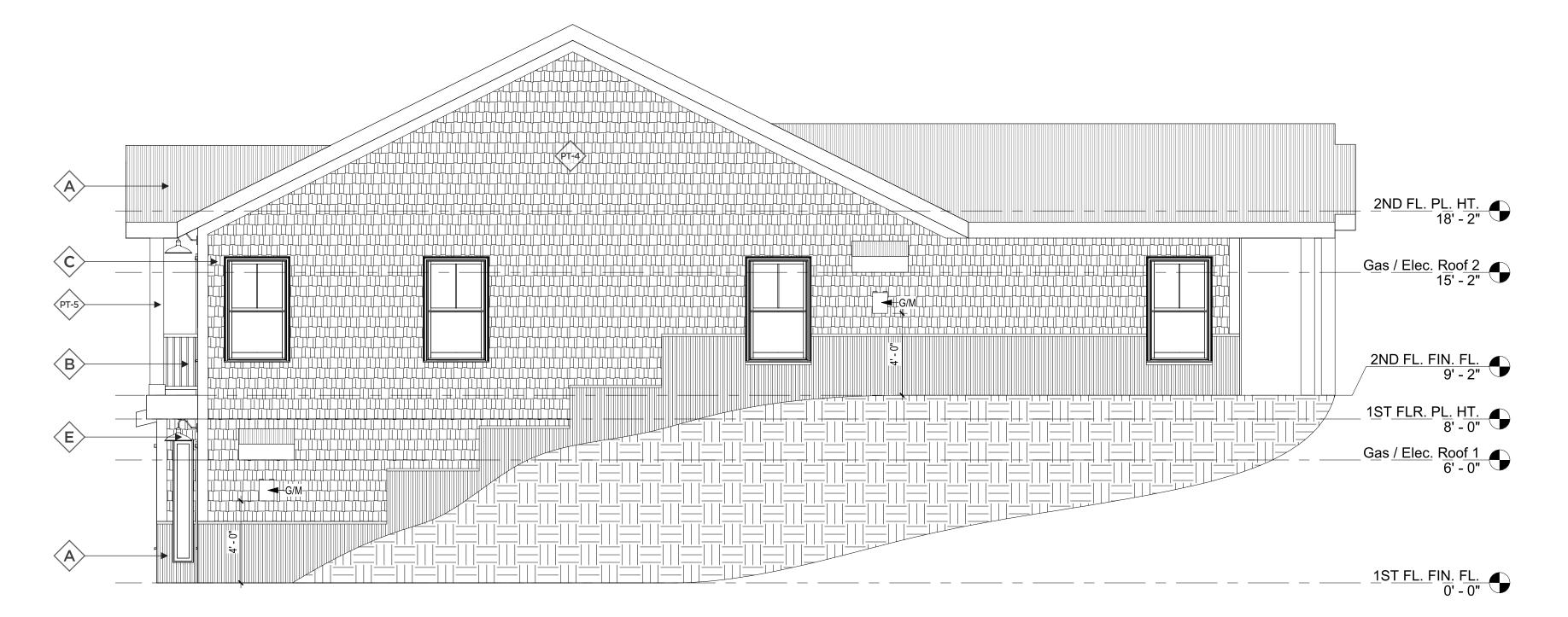
6 UNIT PLAN "C" - ENLARGED KITCHEN 1/2" = 1'-0"

8 (A-105) 7

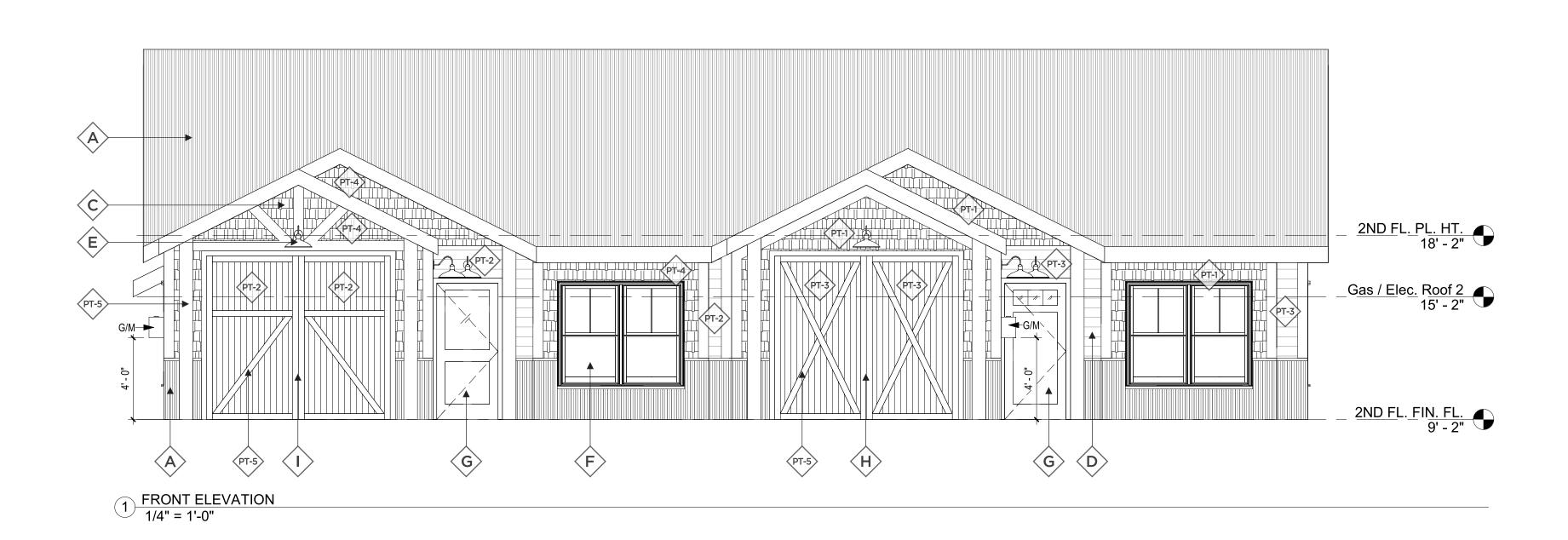
FRONT ELEVATION BLDG HT. - 18'-02"
LEFT ELEVATION BLDG HT. - 22'-09"
REAR ELEVATION BLDG HT. - 27'-04"
RIGHT ELEVATION BLDG HT. - 22'-09"
TOTAL - 117'-00"
BUILDING HT. - 91'-00"

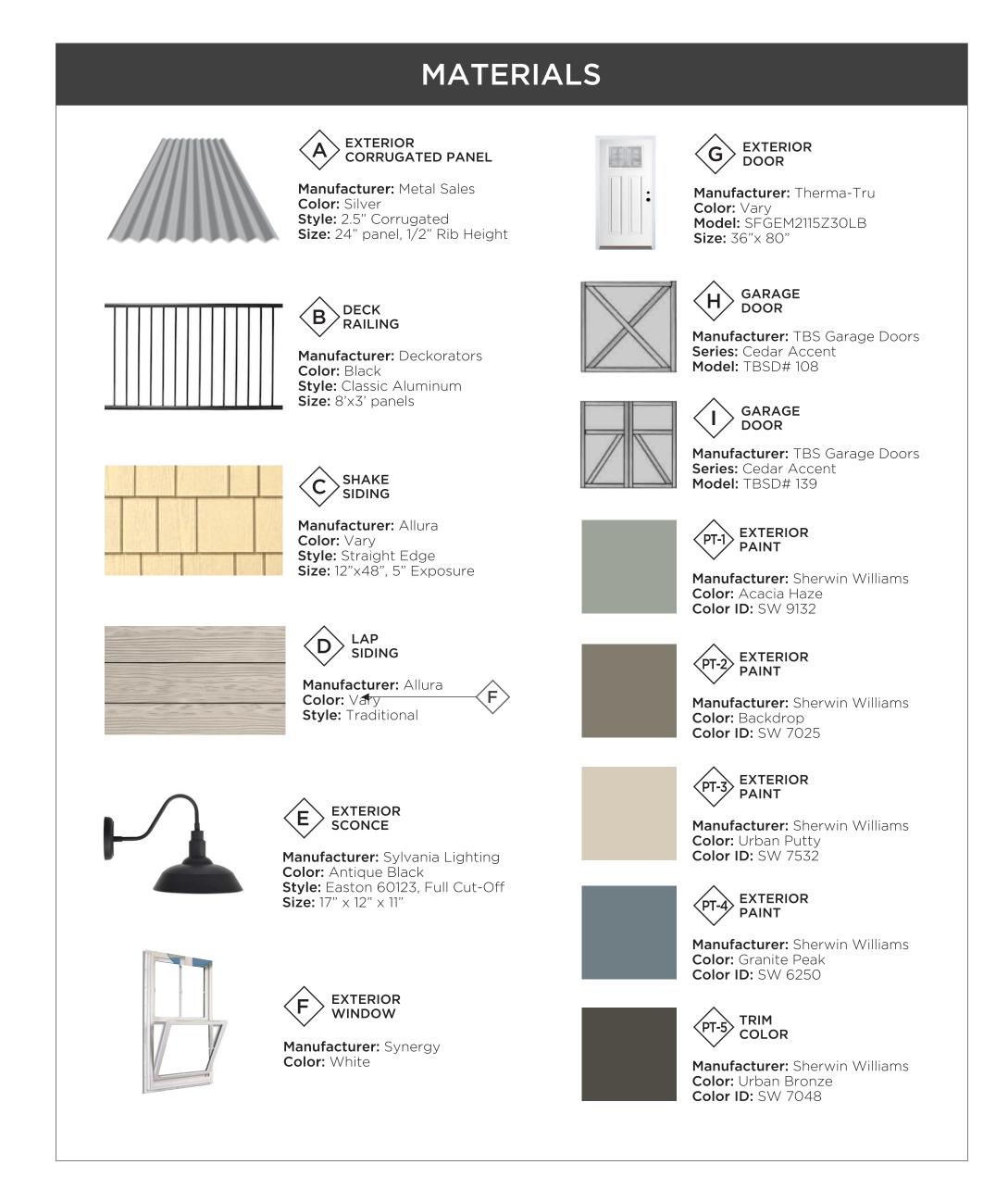
**REFERENCE FLOOR PLAN FOR COVERED PATH OF TRAVEL

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING



2 LEFT SIDE ELEVATION 1/4" = 1'-0"







Southern Design Group, LLC

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Ardmore, OK 73401

580.798.0373 (PH)

www.sdg-architects.com

Architect of Record: Elizabeth Windel, AIA

CO License #: 404770

CONSULTANTS:

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Williams Engineering 400 N. Main Street Gunnison, CO 81230

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of Mount Crested
utte, Colorado

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Project number 2017-5

Date 04.28.2020

Drawn by MML / IPT

Checked by EAW

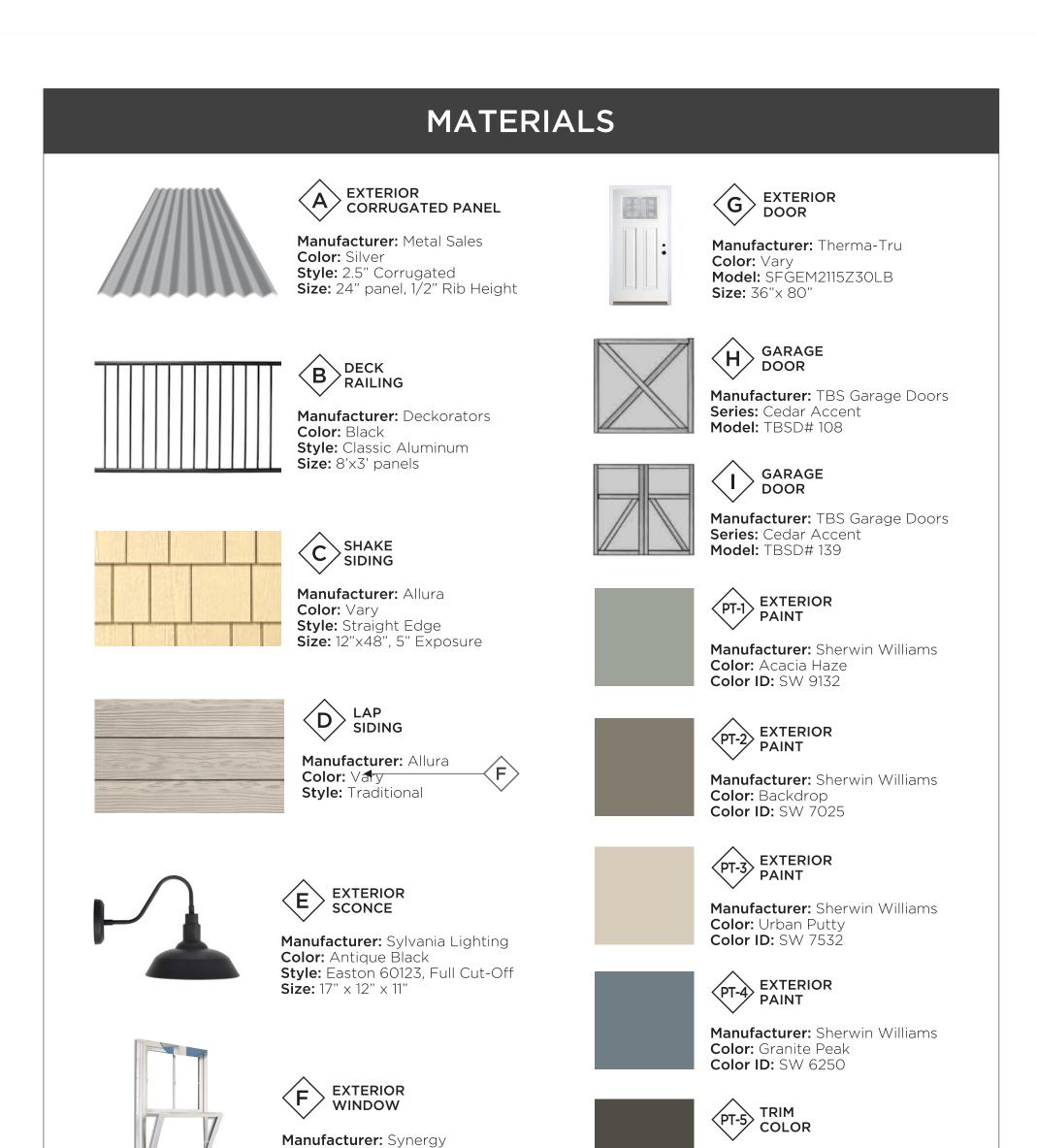
A-201 EXTERIOR ELEVATIONS

1/4" = 1'-0" 70'0'7'7'

SCALE:

Date

Description



Color: White

**REFERENCE CIVIL DRAWINGS FOR SPECIFIC GRADING

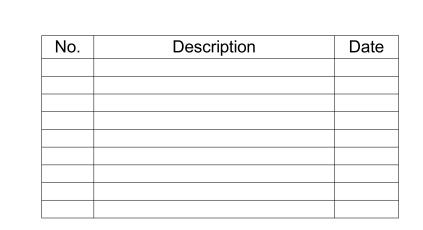


2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

Manufacturer: Sherwin Williams

Color: Urban Bronze **Color ID:** SW 7048







Southern Design Group, LLC

207 Caddo St. Ardmore, OK 73401 580.798.0373 (PH) www.sdg-architects.com Architect of Record: Elizabeth Windel, AIA CO License #: 404770

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100% COMPLETE CONSTRUCTION

DOCUMENTS 2017-5 04.28.2020 MML / IPT

> A-202 EXTERIOR **ELEVATIONS**

SCALE:

Checked by

1/4" = 1'-0"